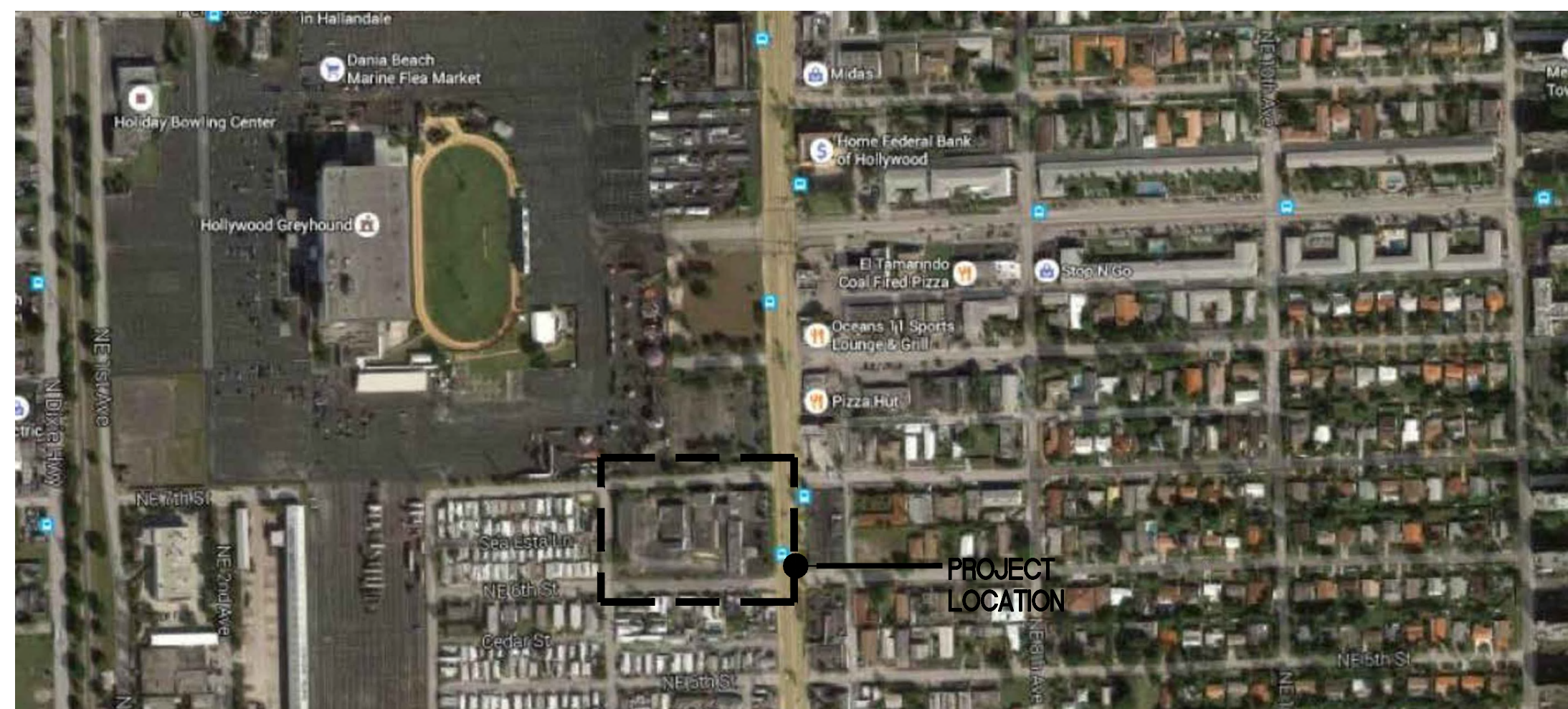


LOCATION MAP



LEGAL DESCRIPTION

ALL OF BLOCK 1 OF "HOLLYWOOD PINES ESTATES", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, AT PAGE 41 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE EAST 7 FEET THEREOF, TOGETHER WITH A PORTION OF VACATED NE 7TH STREET AS VACATED BY ORDINANCE RECORDED IN O.R. BOOK 45890, PAGE 376 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

"EXHIBIT 4"



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SEAL

LICENSE NO. AA26001863

ATLANTIC VILLAGE III

601 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 3, LLC.

REV	DATE	DESCRIPTION
1	10.01.2019	DRG COMMENTS

DESIGN DELIVERABLE:
ISSUE DATE: 05/20/19

PROJECT NUMBER: 1546-180926
DRAWN BY: JS
CHECKED BY: JS

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ARCHITECTURAL
SITE PLAN

APPROVED DRAWING

SHEET NUMBER:
AS-101

1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'



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RAC CORRIDOR / DESIGN SUBDISTRICT REQUIREMENTS TABLE 32-195(a)		
	REQUIRED	PROVIDED
LOT WIDTH	50' MIN.	227'-4"
LOT AREA	5,000 S.F. MIN / 100,000 S.F. MAX.	66,482 S.F.
LOT COVERAGE	95% MAX.	90.47 %
LANDSCAPE AREA	5% MIN.	9.53 %
FEDERAL HWY. SETBACK	15' MIN. / 20' MAX.	38'-8" (INCLUDES 30' MIN. CIVIC OPEN SPACE PER SEC. 32-202)
PRIMARY STREET SETBACK	10' MIN. / 15' MAX.	N/A
SECONDARY STREET SETBACK	10' MIN.	10'-1" (NE 6TH ST.) 13'-2" (NE 7TH ST.)
STREET SETBACK ABOVE THE 5TH STORY	20' MIN.	38'-8" (FEDERAL HWY.) 23'-5" (NE 6TH ST.) 137'-6" (NE 7TH ST.)
INTERIOR SIDE SETBACK	0' MIN.	N/A
SIDE SETBACK ABOVE THE 5TH STORY	30' MIN.	N/A
REAR SETBACK	10' MIN.	N/A (SEE TRANSIT CORE TABLE REQUIREMENTS)
REAR SETBACK ABOVE THE 5TH STORY	30' MIN.	212'-8" (NE 4TH AVE)
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN. / 100% MAX.	FEDERAL HWY. : 212'-8" = 93.55%
MIN. HEIGHT PRIMARY STREETS	2 STORIES, OR 1 STORY 20 FT. HIGH	6 STORY BLDG. = 11 STORIES PER FIGURE 32-194(a)
CIVIC OPEN SPACE: ALL SITES EXCEEDING BASE DENSITY OR BASE HEIGHT LIMIT	4,986.15 S.F. = 7.5%	7,205 S.F. = 10.84 %

TRANSIT CORE / DESIGN SUBDISTRICT REQUIREMENTS TABLE 32-196(a)		
	REQUIRED	PROVIDED
LOT WIDTH	50' MIN.	224'-4"
LOT AREA	5,000 S.F. MIN / 100,000 S.F. MAX.	32,434 S.F.
LOT COVERAGE	95% MAX.	93.15 %
LANDSCAPE AREA	5% MIN.	6.85 %
PRIMARY STREET SETBACK	10' MIN. / 15' MAX.	N/A
SECONDARY STREET SETBACK	10' MIN.	13'-2" (NE 7TH ST.) 13'-8" (NE 4TH AVE.) 10'-8" (NE 6TH ST.)
STREET SETBACK ABOVE THE 5TH STORY	20' MIN.	N/A
INTERIOR SIDE SETBACK	0' MIN.	N/A
SIDE SETBACK ABOVE THE 5TH STORY	30' MIN.	N/A
REAR SETBACK	10' MIN.	13'-8"
REAR SETBACK ABOVE THE 5TH STORY	20' MIN.	N/A
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN.	N/A
MIN. HEIGHT PRIMARY STREETS	2 STORIES, OR 1 STORY 20 FT. HIGH	N/A
MAX. HEIGHT LIMIT	8 STORIES	3 STORIES
CIVIC OPEN SPACE: SITES 40,000 S.F. OR MORE	5%	N/A

BUILDING DATA											
BUILDING / STORY	BUILDING USE	GROSS BUILDING AREA	COVERED EXTERIOR COMMON AREA	GARAGE PARKING AREA	NET AREA FOR PARKING CALCULATIONS	PARKING RATIO	OFF-STREET PARKING REQUIRED	OFF-STREET PARKING PROVIDED	ON-STREET PARKING PROVIDED	ADA PARKING	
										REQUIRED	PROVIDED
GROUND FLOOR	RET./ REST.	30,174 S.F.	13,146 S.F.	N/A	30,174 S.F. (GFA)	1/300 S.F.	101 SPACES	N/A	FBC ACCESS. TABLE 208.2		
	OFFICE COMMON AREA	2,105 S.F.	N/A	N/A	N/A	N/A	N/A	N/A			
	GARAGE	N/A	N/A	29,880 S.F.	N/A	N/A	N/A	45 SPACES			
SECOND FLOOR	RET./ REST.	9,826 S.F.	9,188 S.F.	N/A	9,826 S.F. (GFA)	1/300 S.F.	33 SPACES	N/A			
	OFFICE/ COMMON AREA	13,888 S.F.	N/A	N/A	11,814 S.F. (NFA)	1/300 S.F.	39 SPACES	N/A			
THIRD FLOOR	OFFICE	20,048 S.F.	3,780 S.F.	N/A	16,134 S.F. (NFA)	1/300 S.F.	54 SPACES	N/A			
	GARAGE	N/A	N/A	44,449 S.F.	N/A	N/A	N/A	108 SPACES			
FOURTH FLOOR	OFFICE	20,542 S.F.	N/A	N/A	16,629 S.F. (NFA)	1/300 S.F.	56 SPACES	N/A			
	OPEN ROOF GARAGE	N/A	N/A	40,207 S.F.	N/A	N/A	N/A	105 SPACES			
FIFTH FLOOR	OFFICE	11,678 S.F.	1,277 S.F.	N/A	8,682 S.F. (NFA)	1/300 S.F.	29 SPACES	N/A			
SIXTH FLOOR	OFFICE	12,040 S.F.	N/A	N/A	9,503 S.F. (NFA)	1/300 S.F.	32 SPACES	N/A			
TOTAL		120,301 S.F.	27,391 S.F.	159,172 S.F.	76,126 S.F.		344 SPACES	366 SPACES	16 SPACES	8 SPACES	8 SPACES



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SITE INFORMATION:

CURRENT ZONING: RAC CORRIDOR/ RAC NEIGHBORHOOD SUBDISTRICTS
(*) PROPOSED RE-ZONING: RAC NEIGHBORHOOD AREA TO TRANSIT CORE
PROPOSED USE: RETAIL / OFFICE / RESTAURANT
UTILITIES:
ELECTRIC - FP & L
WATER AND SEWER - CITY OF HALLANDALE BEACH

SITE CALCULATIONS:

TOTAL SITE AREA : (2.51 ACRES) 109,446 SQ. FT.
- 25' R.O.W. DEDICATION AREA : -10,530 SQ. FT.
TOTAL SITE AREA : (2.27 ACRES) 98,916 SQ. FT. 100.00%
RAC CORRIDOR AREA : (1.53 ACRES) 66,482 SQ. FT. 67.21%
TRANSIT CORE AREA (*): (0.74 ACRES) 32,434 SQ. FT. 32.79%

SITE CALCULATIONS RAC CORRIDOR AREA:

TOTAL AREA: 66,482 SQ. FT. 100.00 %
TOTAL LANDSCAPE AREA : 6,338 SQ. FT. 9.53 %
TOTAL IMPERVIOUS AREA : 60,144 SQ. FT. 90.47 %

LANDSCAPE AREA:

TOTAL PROVIDED: 6,338 SQ. FT. 9.53 %

IMPERVIOUS AREA:

TOTAL PROVIDED: 60,144 SQ. FT. 90.47 %

BLDG. FOOTPRINT/ COVER WALK AREA: 33,478 SQ. FT. 50.36 %
WALKS: 14,476 SQ. FT. 21.77 %
VEHICULAR USE AREA (V. U. A.): 12,190 SQ. FT. 18.34 %

SITE CALCULATIONS TRANSIT CORE AREA:

TOTAL AREA: 32,434 SQ. FT. 100.00 %
TOTAL LANDSCAPE AREA : 2,221 SQ. FT. 6.85 %
TOTAL IMPERVIOUS AREA : 30,213 SQ. FT. 93.15 %

LANDSCAPE AREA:

TOTAL PROVIDED: 2,221 SQ. FT. 6.85 %

IMPERVIOUS AREA:

TOTAL PROVIDED: 30,213 SQ. FT. 93.15 %

BLDG. FOOTPRINT/ COVER WALK AREA: 14,465 SQ. FT. 44.60 %
WALKS: 311 SQ. FT. 0.96 %
VEHICULAR USE AREA / GARAGE: 15,437 SQ. FT. 47.59 %

TOTAL SITE CALCULATIONS RAC CORRIDOR + TRANSIT CORE:

TOTAL AREA: 98,916 SQ. FT. 100.00 %
TOTAL LANDSCAPE AREA : 8,559 SQ. FT. 8.65 %
TOTAL IMPERVIOUS AREA : 90,357 SQ. FT. 91.35 %

LANDSCAPE AREA:

TOTAL PROVIDED: 8,559 SQ. FT. 8.65 %

IMPERVIOUS AREA:

TOTAL PROVIDED: 90,357 SQ. FT. 91.35 %

BLDG. FOOTPRINT/ COVER WALK AREA: 47,943 SQ. FT. 48.47 %
WALKS: 14,787 SQ. FT. 14.95 %
VEHICULAR USE AREA / GARAGE: 27,627 SQ. FT. 47.59 %

ATLANTIC VILLAGE III

601 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.
CLIENT: ATLANTIC VILLAGE 3, LLC.

REV	DATE	DESCRIPTION
1	10.01.2019	DRC COMMENTS
2	11.18.2019	DRC COMMENTS

DESIGN DELIVERABLE:
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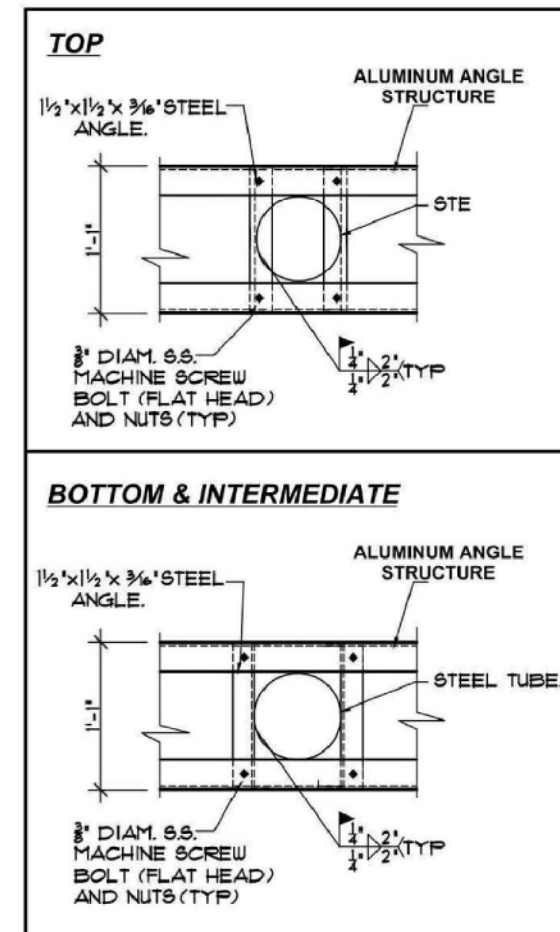
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ARCHITECTURAL FIRST FLOOR PLAN

APPROVED DRAWING

SHEET NUMBER:

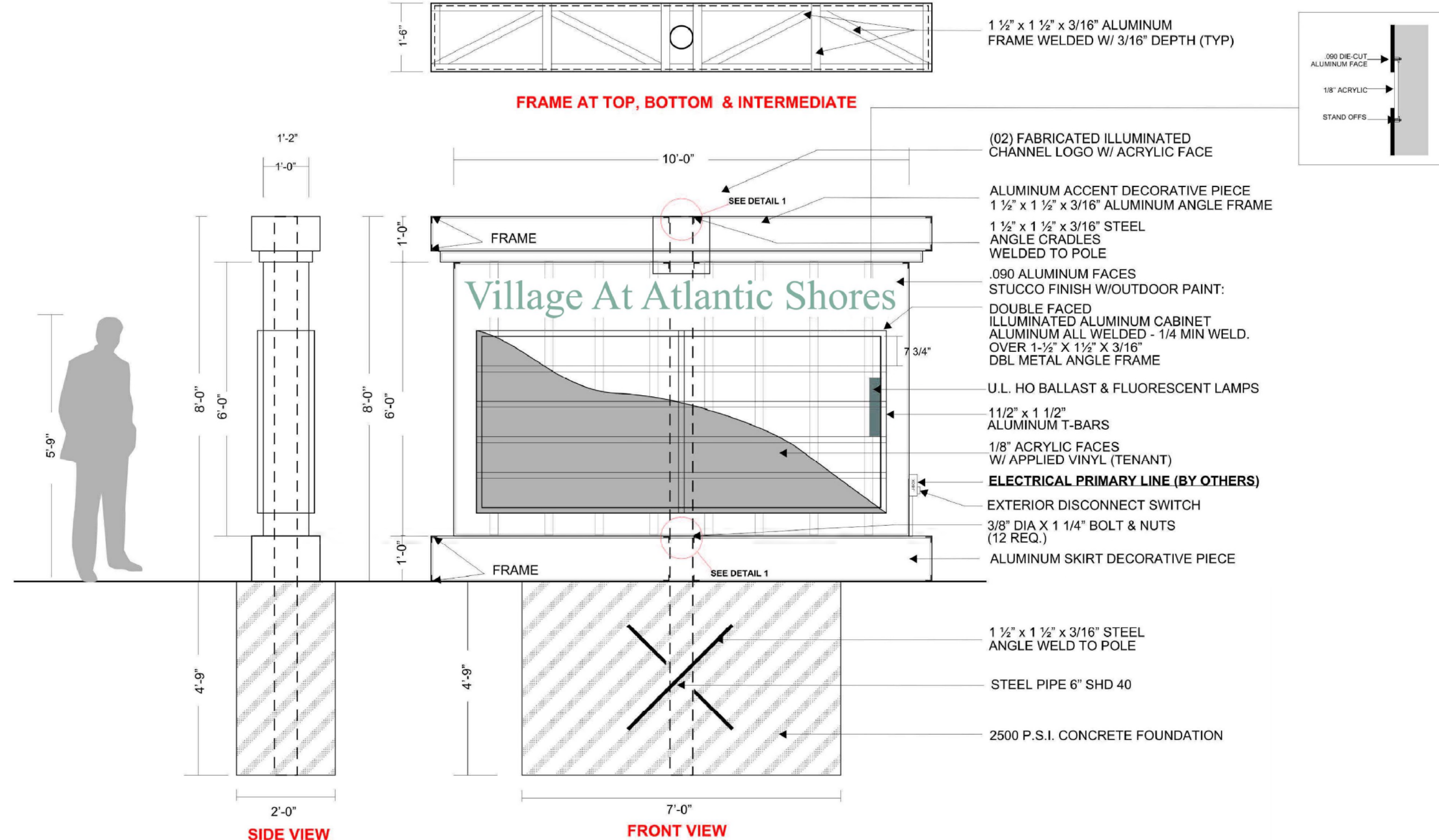
AS-102



STRUCTURAL NOTES
ALUMINUM TUBES & SHAPES TO BE ALLOY T 6061-T6 OR SIMILAR ALUMINUM PLATES AND SHAPES TO BE ALLOY 5052H32

PER FBC 2218.3 AND/OR 2003.8.14 WELDING IN THE SHOP OR FIELD MAY BE DONE ONLY BY AWS CERTIFIED WELDERS.

NOTE: CONTRACTOR SHALL SUBMIT MONUMENT SIGN UNDER SEPARATE PERMIT WITH REQUIRED SHOP DRAWINGS WITH ARCHITECT'S OR ENGINEER'S OF RECORD APPROVED STAMP TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION



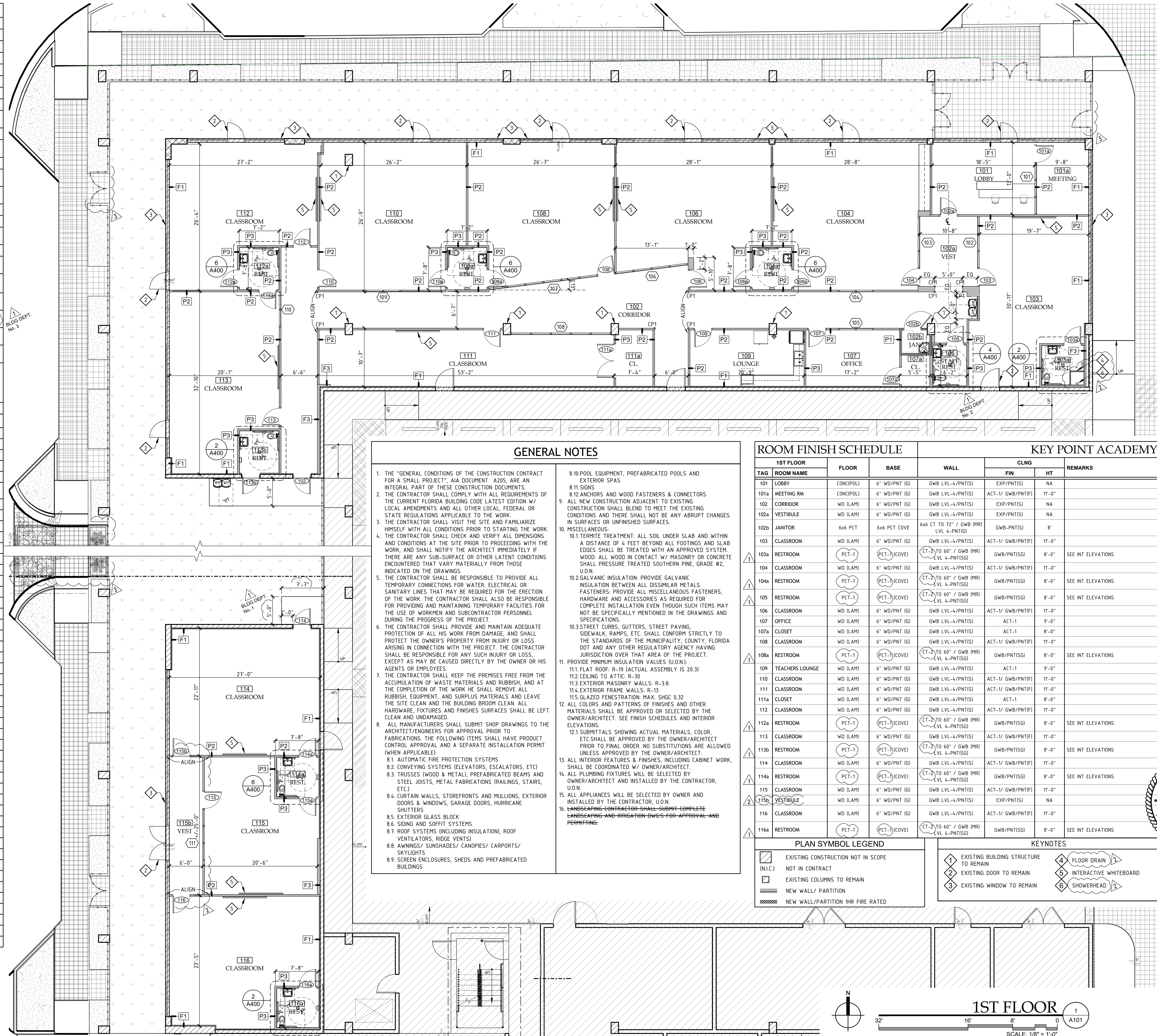
AREA OF SIGN: 6'-0" (H) X 10'-0" (W) = 60 S.F.
MONUMENT SIGN - MAX. HEIGHT: 8'-0" (H)

FINISH SCHEDULE NOTES

- 1 COLOR TO BE SELECTED BY OWNER/ARCHITECT
- 2 TEXTURE TO BE SELECTED BY OWNER/ARCHITECT
- 3 FINISH TO BE SELECTED BY OWNER/ARCHITECT
- 4 SEE INTERIOR ELEVATIONS
- 5 LIGHT BROOM FINISH W/ JOINTS TOOLED
- 6 STEEL TROWEL FINISH - SEALED CONCRETE
- 7 TOOLED CONCAVE JOINTS
- 8 FLUSH JOINTS
- 9 SUBMIT FULL SIZE MOCKUP SAMPLE FOR ARCHITECT'S APPROVAL/SELECTION
- 10 ALL CERAMIC TILE TO BE INSTALLED ON CEM BACKER BOARD.
- 11 GWB FINISH LEVELS (GWB LVL 1 TO 4) AS PER GYPSUM ASSOCIATION 6A-214-96 "RECOMMENDED LEVELS OF GYPSUM BOARD FINISH"
- 12 ACOUSTIC CLNG TILE (O.A.E.)
ACT-1: 24"x48"x3/4" ARMSTRONG #1714 'SCHOOL ZONE' FINE FISSURED HIGH ACOUSTICS LAY-IN 15/16" GRID PRELUDE
ACT-2: 24"x48"x5/8" - #793 GEORGIAN HIGH WASHABILITY SQUARE LAY-IN 15/16" GRID
ACT-3: 24"x24" ARMSTRONG
- 13 VINYL COMPOSITION TILE
VCT-1: 12"x12"x1/8" COMMERCIAL GRADE VCT TILE TBS BY ARCHITECT/OWNER
VCT-2: 12"x12"x1/8" COMMERCIAL GRADE VCT TILE TBS BY ARCHITECT/OWNER
VCT-3: 12"x12"x1/8" COMMERCIAL GRADE VCT TILE TBS BY ARCHITECT/OWNER
- 14 TILE - COLOR TBS BY ARCHITECT/OWNER (DALTILE O.A.E.)
PCT-1-FLOOR: 12x12 SLIP-RESISTANT COLOR-THRU PORCELAIN TBS BY ARCHITECT/OWNER
PCT-2-FLOOR: 8x8 PORCELAIN STONE TILE, CROSSDOT (C), W/ EPOXY GROUT, NON-SLIP RESISTANT (COLOR & PATTERN - TBD) CROSSVILLE
CT-1 WALL - 6X6 GLAZED GLOSSY CERAMIC TILE COLOR WHITE TBS BY ARCHITECT/OWNER
CT-2 WALL - 12X12 GLAZED GLOSSY CERAMIC TILE COLOR TBS BY ARCHITECT/OWNER
CTT-1: OUTSIDE CORNERS/EDGES: RONDTec-PRO PG 'CLASSIC GREY' SCHLUTER
- 15 CP-1 CORNER GUARD - VA-250N 2.5" LEGS C/S ACROVYN (THROUGHOUT) COLOR WHITE TBS BY ARCHITECT/OWNER
- 16 CONC(POL): AGGREGATE EXPOSURE CLASS C - MEDIUM AGGREGATE FINISH. REMOVE 1/8" OF CONCRETE SURFACE. FINISHED GLOSS LEVEL 2 - MEDIUM GLOSS APPEARANCE. NOT LESS THAN 4 STEP PROCESS W/ FULL REFINEMENT OF EACH DIAMOND TOOL & ONE APPLICATION OF DENSIFIER. DYE COLOR TBS.
- 17 WD: 9/16x5-1/4 POPLAR, PAINTED, COLOR DARK GRAY

FINISH SCHEDULE ABBREVIATIONS

ACT	ACOUSTICAL TILE (12)
ALU	ALUMINUM (3)
CBD	CEMENTITIOUS BOARD
CONC	CONCRETE (3)
CMU	CONCRETE BLOCK (MASONRY UNIT)
CONC(SEAL)	CONCRETE STEEL TROWEL'D & SEALED W/ SILANE/SILOXANE PENETRATING SEALER
CONC(POL)	POLISHED CONCRETE (1) (16)
CP	CONCRETE PAVERS (1)
CP-1	CORNER GUARD (15)
CPT	CARPET (1) (15)
CT	CERAMIC TILE - (1) (14)
CTT	CERAMIC TILE TRIM - (1) (14)
EC(P)	ELASTOMERIC COATING, PEDESTRIAN (1) (18)
EC(V)	ELASTOMERIC COATING, VEHICULAR (1) (19)
EXP	EXPOSED
FRP	FIBER
GL	GLASS
GWB	GYPSUM WALL BOARD (11)
JNT	JOINT
LVL-1	LEVEL 1 GYPSUM FINISH
LVL-2	LEVEL 2 GYPSUM FINISH
LVL-3	LEVEL 3 GYPSUM FINISH
LVL-4	LEVEL 4 GYPSUM FINISH
MR	MOISTURE RESISTANT
PNT(F)	PAINT - FLAT (1)
PNT(G)	PAINT - GLOSS (1)
PNT(S)	PAINT - SATIN (1)
PNT(SG)	PAINT - SEMI-GLOSS (1)
PRG	ONE COAT PARGED CEMENT PLASTER (2)
PCT	PORCELAIN TILE (1) (14)
RAF	RESILIENT ATHLETIC FLOORING
QT	QUARRY TILE (1) (PRICE GROUP 1-3) (14)
SAS	SIMULATED ACOUSTICAL SPRAY (KNOCK DOWN) (2)
SKCT	SKIM COAT (2)
SEAL	SEALER, SEALANT
ST	STUCCO - 2-COAT CEMENT PLASTER (2)
ST/LATH	STUCCO ON LATH (2)
STN	STONE (1)
TER	TERRAZZO (1)
TBS	TO BE SELECTED
T&G	TONGUE & GROOVE
TRWL	TROWELLED (6)
N.I.C.	NOT IN CONTRACT
VCT	VINYL COMPOSITION TILE (1) (13)
VIN	VINYL WOOD
WC	WAINSCOT
WD	WOOD



GENERAL NOTES

- THE "GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT FOR A SMALL PROJECT" AND DOCUMENT A205 ARE AN INTEGRAL PART OF THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT FLORIDA BUILDING CODE LATEST EDITION W/ LOCAL AMENDMENTS AND ALL OTHER LOCAL, FEDERAL OR STATE REGULATIONS APPLICABLE TO THE WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS PRIOR TO STARTING THE WORK. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO PROCEEDING WITH THE WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY SUB-SURFACE OR OTHER LATENT CONDITIONS ENCOUNTERED THAT VARY MATERIALLY FROM THOSE INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL TEMPORARY CONNECTIONS FOR WATER, ELECTRICAL OR SANITARY LINES THAT MAY BE REQUIRED FOR THE ERECTION OF THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY FACILITIES FOR THE USE OF WORKMEN AND SUBCONTRACTOR PERSONNEL DURING THE PROGRESS OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION OF ALL HIS WORK FROM DAMAGE, AND SHALL PROTECT THE OWNER'S PROPERTY FROM INJURY OR LOSS ARISING IN CONNECTION WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SUCH INJURY OR LOSS, EXCEPT AS MAY BE CAUSED DIRECTLY BY THE OWNER OR HIS AGENTS OR EMPLOYEES.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH, AND AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL RUBBISH, EQUIPMENT, AND SURPLUS MATERIALS AND LEAVE THE SITE CLEAN AND THE BUILDING BROOM CLEAN. ALL HARDWARE, FIXTURES AND FINISHES SURFACES SHALL BE LEFT CLEAN AND UNDAMAGED.
- ALL MANUFACTURERS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT/ENGINEERS FOR APPROVAL PRIOR TO FABRICATIONS. THE FOLLOWING ITEMS SHALL HAVE PRODUCT CONTROL APPROVAL AND A SEPARATE INSTALLATION PERMIT (WHEN APPLICABLE):
 - AUTOMATIC FIRE PROTECTION SYSTEMS
 - CONVEYING SYSTEMS (ELEVATORS, ESCALATORS, ETC)
 - TRUSSES (WOOD & METAL), PREFABRICATED BEAMS AND STEEL JOISTS, METAL FABRICATIONS (RAILINGS, STAIRS, ETC.)
 - CURTAIN WALLS, STOREFRONTS AND MULLIONS, EXTERIOR DOORS & WINDOWS, GARAGE DOORS, HURRICANE SHUTTERS
 - EXTERIOR GLASS BLOCK
 - SIDING AND SOFFIT SYSTEMS
 - ROOF SYSTEMS (INCLUDING INSULATION, ROOF VENTILATORS, RIDGE VENTS)
 - AWNINGS/ SUNSHADES/ CANOPIES/ CARPORTS/ SKYLIGHTS
 - SCREEN ENCLOSURES, SHEDS AND PREFABRICATED BUILDINGS
- POOL EQUIPMENT, PREFABRICATED POOLS AND EXTERIOR SPAS
 - SIENS
 - ANCHORS AND WOOD FASTENERS & CONNECTORS
- ALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION SHALL BLEND TO MEET THE EXISTING CONDITIONS AND THERE SHALL NOT BE ANY ABRUPT CHANGES IN SURFACES OR UNFINISHED SURFACES.
- MISCELLANEOUS:
 - TERMITE TREATMENT: ALL SOIL UNDER SLAB AND WITHIN A DISTANCE OF 4 FEET BEYOND ALL FOOTINGS AND SLAB EDGES SHALL BE TREATED WITH AN APPROVED SYSTEM. WOOD: ALL WOOD IN CONTACT W/ MASONRY OR CONCRETE SHALL PRESSURE TREATED SOUTHERN PINE, GRADE #2, U.O.N.
 - GALVANIC INSULATION: PROVIDE GALVANIC INSULATION BETWEEN ALL DISSIMILAR METALS. FASTENERS: PROVIDE ALL MISCELLANEOUS FASTENERS, HARDWARE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION EVEN THOUGH SUCH ITEMS MAY NOT BE SPECIFICALLY MENTIONED IN THE DRAWINGS AND SPECIFICATIONS.
 - STREET CURBS, GUTTERS, STREET PAVING, SIDEWALK, RAMPS, ETC. SHALL CONFORM STRICTLY TO THE STANDARDS OF THE MUNICIPALITY, COUNTY, FLORIDA DOT AND ANY OTHER REGULATORY AGENCY HAVING JURISDICTION OVER THAT AREA OF THE PROJECT.
 - PROVIDE MINIMUM INSULATION VALUES (U.O.N.)
 - FLAT ROOF: R-19 (ACTUAL ASSEMBLY IS 20.3)
 - CEILING TO ATTIC: R-30
 - EXTERIOR MASONRY WALLS: R-3.8
 - EXTERIOR FRAME WALLS: R-13
 - GLAZED FENESTRATION: MAX. SHGC 0.32
 - ALL COLORS AND PATTERNS OF FINISHES AND OTHER MATERIALS SHALL BE APPROVED OR SELECTED BY THE OWNER/ARCHITECT. SEE FINISH SCHEDULES AND INTERIOR ELEVATIONS.
 - SUBMITTALS SHOWING ACTUAL MATERIALS, COLOR, ETC. SHALL BE APPROVED BY THE OWNER/ARCHITECT PRIOR TO FINAL ORDER. NO SUBSTITUTIONS ARE ALLOWED UNLESS APPROVED BY THE OWNER/ARCHITECT.
 - ALL INTERIOR FEATURES & FINISHES, INCLUDING CABINET WORK, SHALL BE COORDINATED W/ OWNER/ARCHITECT.
 - ALL PLUMBING FIXTURES WILL BE SELECTED BY OWNER/ARCHITECT AND INSTALLED BY THE CONTRACTOR, U.O.N.
 - ALL APPLIANCES WILL BE SELECTED BY OWNER AND INSTALLED BY THE CONTRACTOR, U.O.N.
 - LANDSCAPING CONTRACTOR SHALL SUBMIT COMPLETE LANDSCAPING AND IRRIGATION DWGS FOR APPROVAL AND PERMITTING.

ROOM FINISH SCHEDULE KEY POINT ACADEMY

TAG	ROOM NAME	FLOOR	BASE	WALL	CLNG		REMARKS
					FIN	HT	
101	LOBBY	CONC(POL)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	EXP/PNT(S)	NA	
101a	MEETING RM	CONC(POL)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
102	CORRIDOR	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	EXP/PNT(S)	NA	
102a	VESTIBULE	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	EXP/PNT(S)	NA	
102b	JANITOR	6x6 PCT	6x6 PCT COVE	6x6 CT TO 72" / GWB (MR) LVL 4-PNT(SG)	GWB-PNT(S)	8'	
103	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
103a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
104	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
104a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
105	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
106	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
107	OFFICE	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1	9'-0"	
107a	CLOSET	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1	8'-0"	
108	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
108a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
109	TEACHERS LOUNGE	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1	9'-0"	
110	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
111	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
111a	CLOSET	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1	8'-0"	
112	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
112a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
113	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
113a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
114	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
114a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS
115	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
115a	VESTIBULE	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	EXP/PNT(S)	NA	
116	CLASSROOM	WD (LAM)	6" WD/PNT (G)	GWB LVL-4/PNT(S)	ACT-1/ GWB/PNT(F)	11'-0"	
116a	RESTROOM	PCT-1	PCT-3 (COVE)	(CT-2) TO 60" / GWB (MR) LVL 4-PNT(SG)	GWB/PNT(SG)	8'-0"	SEE INT ELEVATIONS

PLAN SYMBOL LEGEND

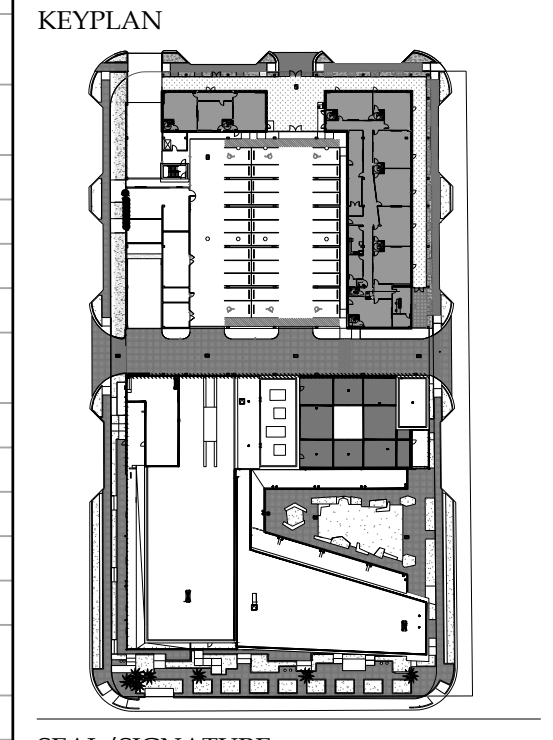
- (N.I.C.) EXISTING CONSTRUCTION NOT IN SCOPE
- (N.I.C.) NOT IN CONTRACT
- EXISTING COLUMNS TO REMAIN
- NEW WALL/ PARTITION
- NEW WALL/PARTITION 1HR FIRE RATED

KEYNOTES

- 1 EXISTING BUILDING STRUCTURE TO REMAIN
- 2 EXISTING DOOR TO REMAIN
- 3 EXISTING WINDOW TO REMAIN
- 4 FLOOR DRAIN
- 5 INTERACTIVE WHITEBOARD
- 6 SHOWERHEAD

No.	DATE	REVISION	BY
1	06.22.22	PERMIT CMTS	CP
2	12.05.22	OWNER REQ.	CP
3	10.26.23	OWNER REQ.	CP

DRAWN BY: CP
APPROVED BY: RL
DATE: 2022-03-01
SCALE: As Shown

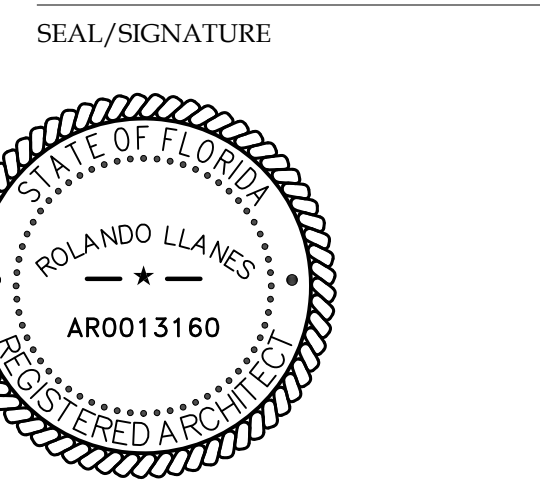
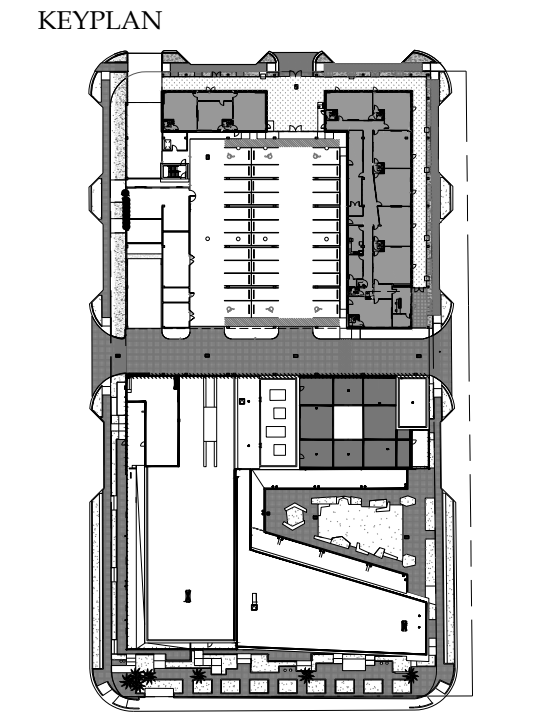


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No.	DATE	REVISION	BY
3	10.26.23	OWNER REQ.	CP

DRAWN BY: CP APPROVED BY: RL
DATE: 2022-03-01 SCALE: As Shown



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SHEET TITLE
EXISTING SITE PLAN AND LIMITS OF WORK

SHEET NUMBER
A020

PROPERTY INFORMATION		
FOLIO:	5142-22-35-0010	
SUB-DIVISION:	HOLLYWOOD PINES ESTATES	
PROPERTY ADDRESS:	601 N FEDERAL HWY HALLANDALE BEACH, FL 33009	
CURRENT OWNER:	ATLANTIC VILLAGE 3 LLC	
MAILING ADDRESS:	801 N FEDERAL HWY, STE 221 HALLANDALE BEACH, FL 33009	
ZONING DISTRICT:	RAC CORRIDOR/TRANSIT CORE SUBDISTRICT	
WATER/WASTEWATER SERVICE PROVIDER:	CITY OF HALLANDALE BEACH	
PRIMARY LAND USE:	(M) MERCANTILE, (B) BUSINESS, (S-2) LOW HAZARD STORAGE	
LOT SIZE (sq.ft.):	109,446.00	
LOT SIZE (ACRES):	2.51	
PROPOSED USE:	EDUCATIONAL	
GROSS FLOOR AREA (sq.ft.):	10,000	9.14%
LOT COVERAGE (sq. ft.):	47,943	43.81%
OPEN SPACE (sq. ft.):	61,503	56.19%
LANDSCAPED AREA (sq. ft.):	8,559	7.82%
VEHICULAR USE AREA:	27,627	25.24%
BUILDING HEIGHT:	97'-10"	
STRUCTURE LENGTH:	178'-2"	
# OF STORIES:	6 STORY	
EXISTING SETBACK TABLE TO REMAIN		
YARD	PROVIDED	
PRIMARY STREET	N/A	
REAR	13'-8"	
SIDE (INTERIOR)	N/A	
SECONDARY STREET	10'-1" / 13'-2"	
SIDE (ABOVE 5TH STORY)	N/A	

PARKING TABLE		
PARKING REQUIRED: (DAY CARE CENTERS AND NURSERIES: 2 SPACES PER 1,000 sq. ft. GROSS FLOOR AREA, PLUS SUFFICIENT STACKING SPACES FOR PICK-UP AND DROP-OFF) :	20 SPACES (1 ADA ACCESSIBLE SPACE)	
PARKING PROVIDED:	20 SPACES (1 ADA ACCESSIBLE SPACE)	
LOADING SPACES:	NOT REQUIRED FOR DAYCARE CENTERS AND NURSERIES	
CHILD CARE REQUIREMENTS		
CODE	REQUIRED	PROVIDED
REQUIRED OUTDOOR RECREATIONAL AREA (45 sq. ft. PER CHILD CALCULATED IN TERMS OF HALF OF THE PROPOSED MAXIMUM NUMBER OF CHILDREN FOR ATTENDANCE AT THE SCHOOL AT ONE (1) TIME):	4,365 sq. ft. (195 STUDENTS / 2 = 97 CHILDREN x 45 sq. ft. = 4,365 sq. ft.)	4,420 sq. ft.
REQUIRED CLASSROOM AREA (FOR DAY NURSERY/KINDERGARTEN, PRESCHOOL AND AFTER SCHOOL CARE 35 sq. ft. x NUMBER OF CHILDREN):	6,813 sq. ft. (195 x 35 sq. ft. = 6,813 sq. ft.)	6,813 sq. ft.

SITE PLAN KEYNOTES	
1	EXISTING SIDEWALK TO REMAIN.
2	EXISTING LANDSCAPED AREAS TO REMAIN
3	EXISTING PARKING SPACES TO REMAIN
4	PROPOSED 6' HIGH METAL PICKET FENCE.
5	PROPOSED 6' METAL PICKET GATE.
6	PROPOSED PLAY AREA
7	PROPOSED PAVERS TO MATCH EXIST SIDEWALK
8	PROPOSED ARTIFICIAL TURF
9	PROPOSED ABOVE GRADE PLANTER

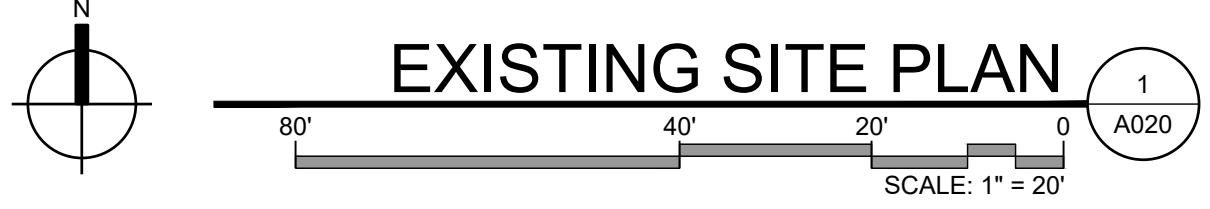
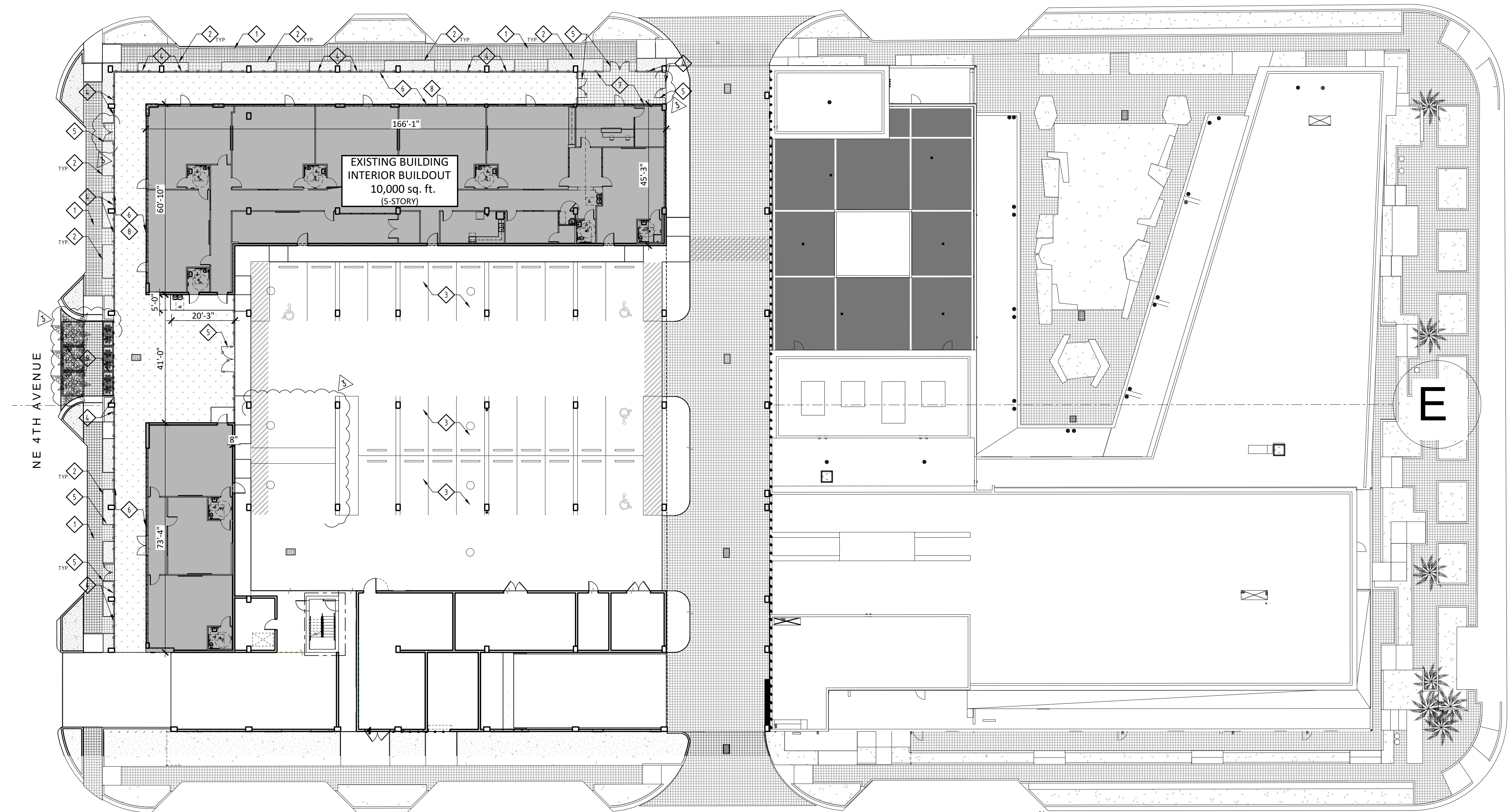
SCOPE OF WORK:
EXISTING CMU RETAIL BUILDING FACILITY TO BE RENOVATED FOR EDUCATIONAL USE. LEVEL OF ALTERATION AS PER FBC-EXISTING SHALL BE CHANGE OF OCCUPANCY. THIS PERMIT SHALL PROVIDE NEW FIRE ALARM, SPRINKLER SYSTEM AND NEW ELECTRICAL, MECHANICAL AND PLUMBING UPGRADES AS PER FBC AND FPFC (LATEST).
1ST FLOOR
• INTERIOR BUILT-OUT IMPROVEMENT.
** TOTAL AREA TO BE RENOVATED: 10,000 SQ. FT.

GENERAL NOTES:
1) CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL EXTERIOR WORK INCL. METAL FENCE, SIGNED & SEALED BY A STATE OF FLORIDA LICENSED ENGINEER (UNDER A SEPARATE PERMIT).
2) DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWIST OF WRIST TO OPERATE.
3) PERMANENT EMERGENCY INFORMATION SIGNAGE MUST BE TACTILE AND BRAILLE.
4) ALL FLOORING TO BE SLIP RESISTANT.
5) SLOPE OF GROUND AND FLOOR SURFACES CAN NOT EXCEED 2%.

FBC-2020(7th ED) CH. 10 / NFPA 101- TABLE A.7.6.1

TYPE OF OCCUPANCY.....	EDUCATIONAL (GROUP E)
BUILDING TYPE.....	TYPE I-B, SPRINKLERED
TRAVEL DISTANCE LIMIT.....	200'-0" MAX ALLOWED
COMMON PATH LIMIT.....	75'-0" MAX ALLOWED
DEAD END LIMIT.....	20'-0" MAX ALLOWED

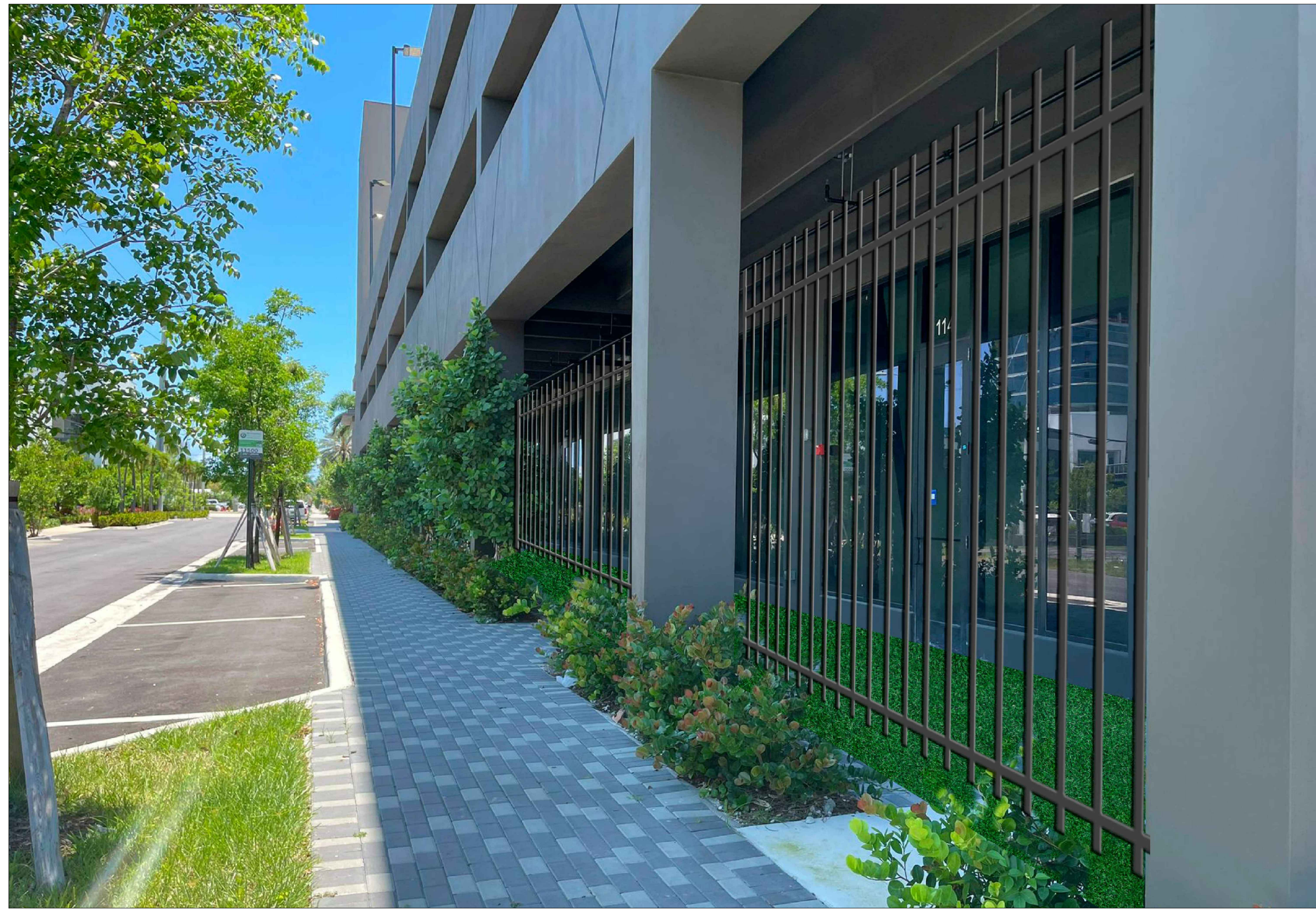
FLAME SPREAD CLASSIFICATION TABLE
- FBC-2020(7TH ED) & NFPA 101-2018(7TH ED)
- INTERIOR FINISHES IN COMPLIANCE W/ NFPA 14.3.3.2:
EXIT SHALL BE.....TYPE "A"
EXIT ACCESS SHALL BE.....TYPE "A" OR "B"
ALL OTHER SPACES SHALL BE.....TYPE "B"
LOW-HEIGHT PARTITIONS NOT EXCEEDING 5'-0" USED IN LOCATIONS OTHER THAN EXITS SHALL BE PERMITTED TO BE CLASS-A, CLASS-B, OR CLASS-C.



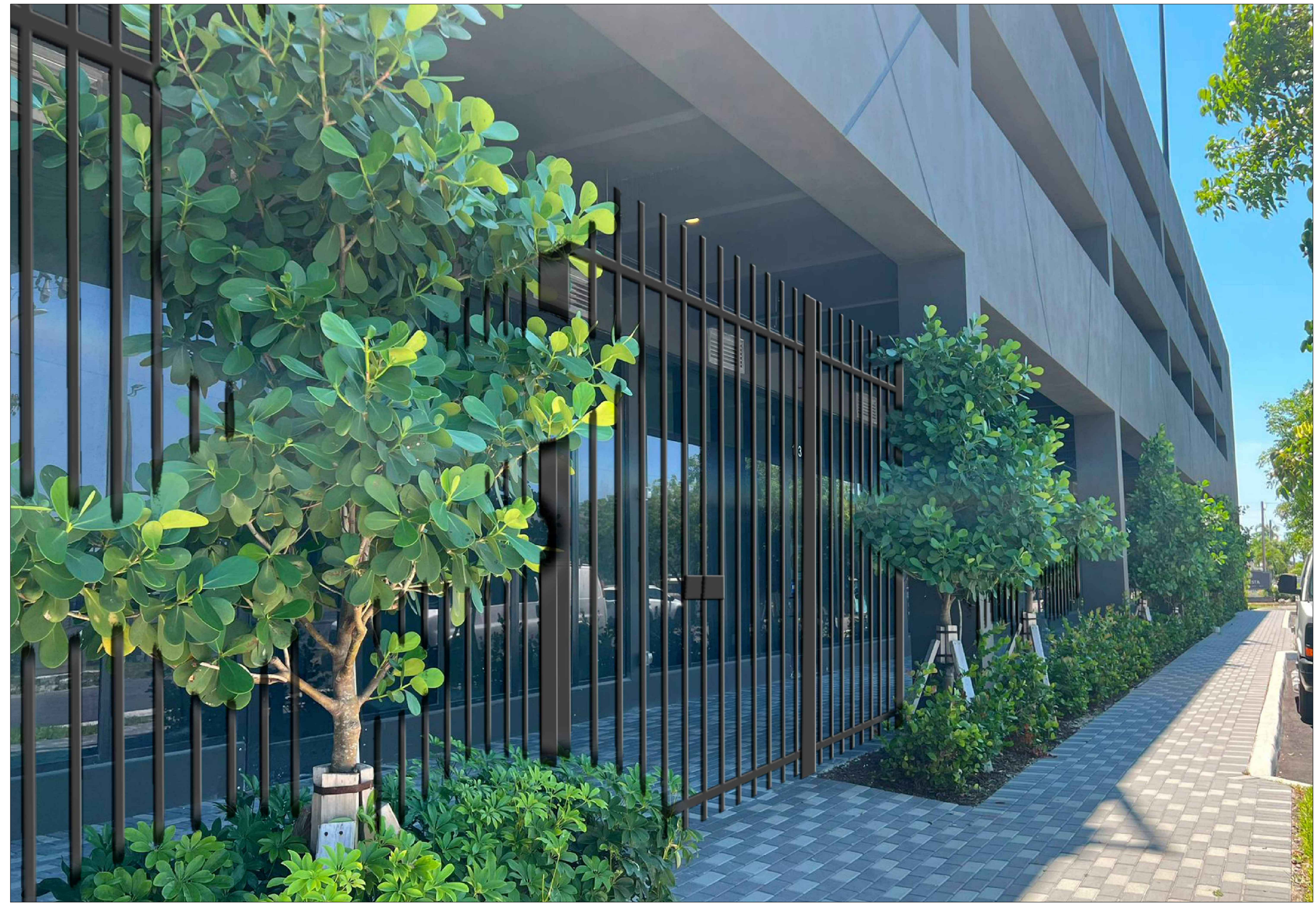
EXISTING SITE PLAN 1

A020

SCALE: 1" = 20'



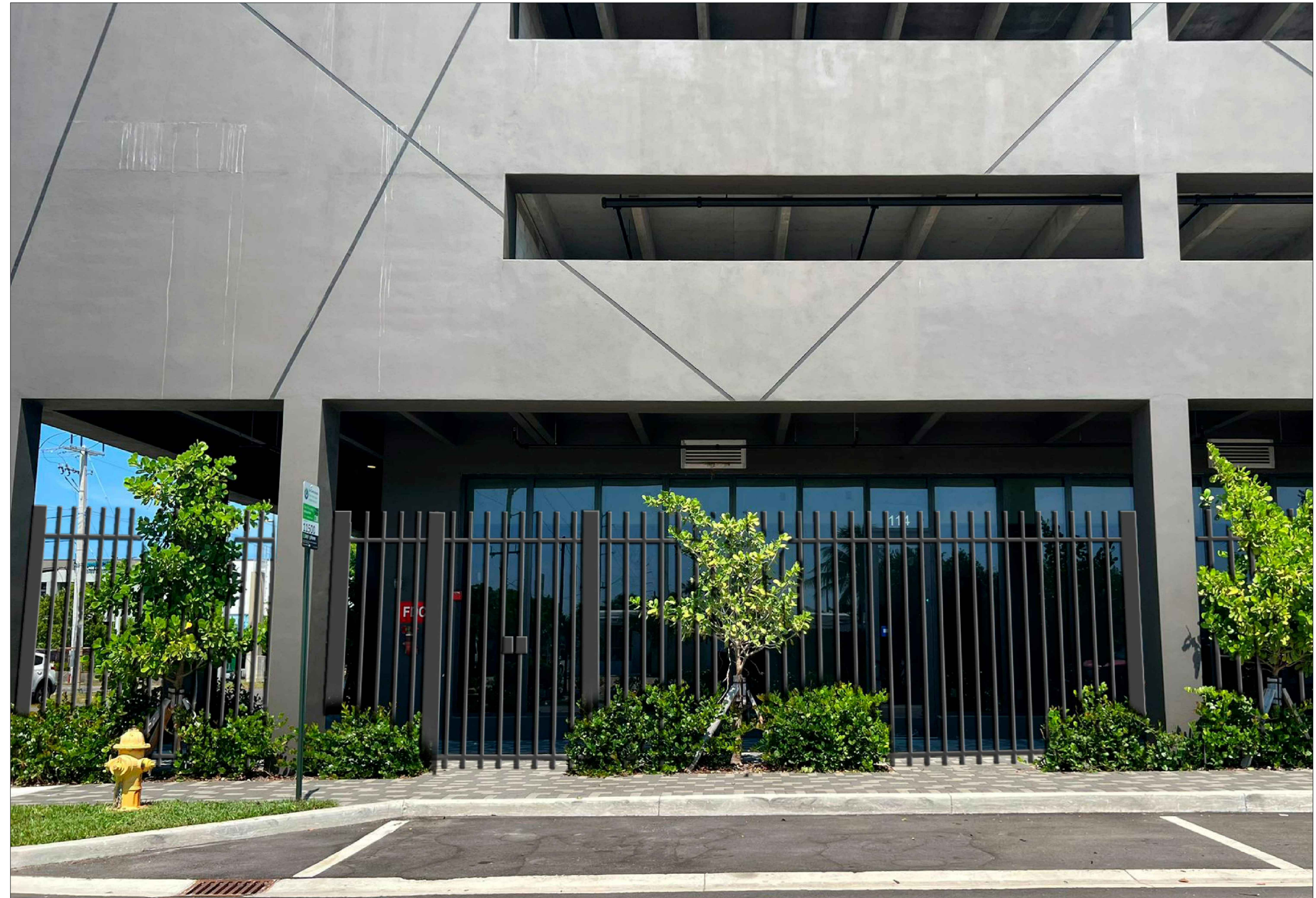
1 N.W. VIEW



2 N.E. VIEW



3 NORTH VIEW



3 WEST VIEW



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ATLANTIC VILLAGE III

601 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 3, LLC.

REV	DATE	DESCRIPTION
1	10.01.2019	DRG. COMMENTS
3	07.03.2023	SITE PLAN AMENDMENT

DESIGN
DELIVERABLE:
ISSUE DATE: 05/20/19

PROJECT NUMBER: 1546-180926
DRAWN BY: JS
CHECKED BY: JS

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SHEET TITLE:
**PROPOSED VIEWS
ALUMINUM FENCE**

SHEET NUMBER:
A-101.1

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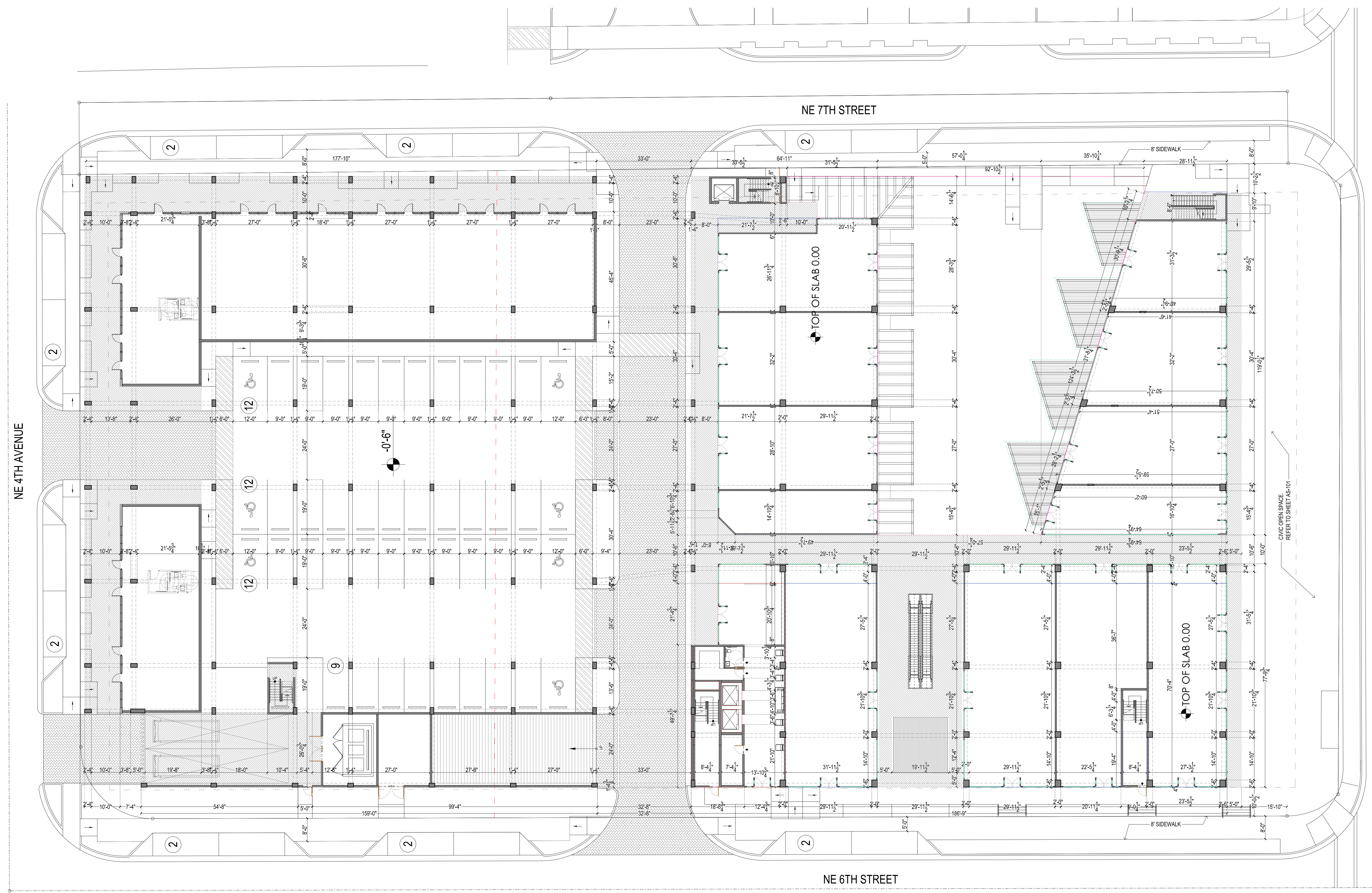
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SHEET TITLE:
**ARCHITECTURAL
FIRST FLOOR PLAN**

APPROVED DRAWING

SHEET NUMBER:
A-101



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'

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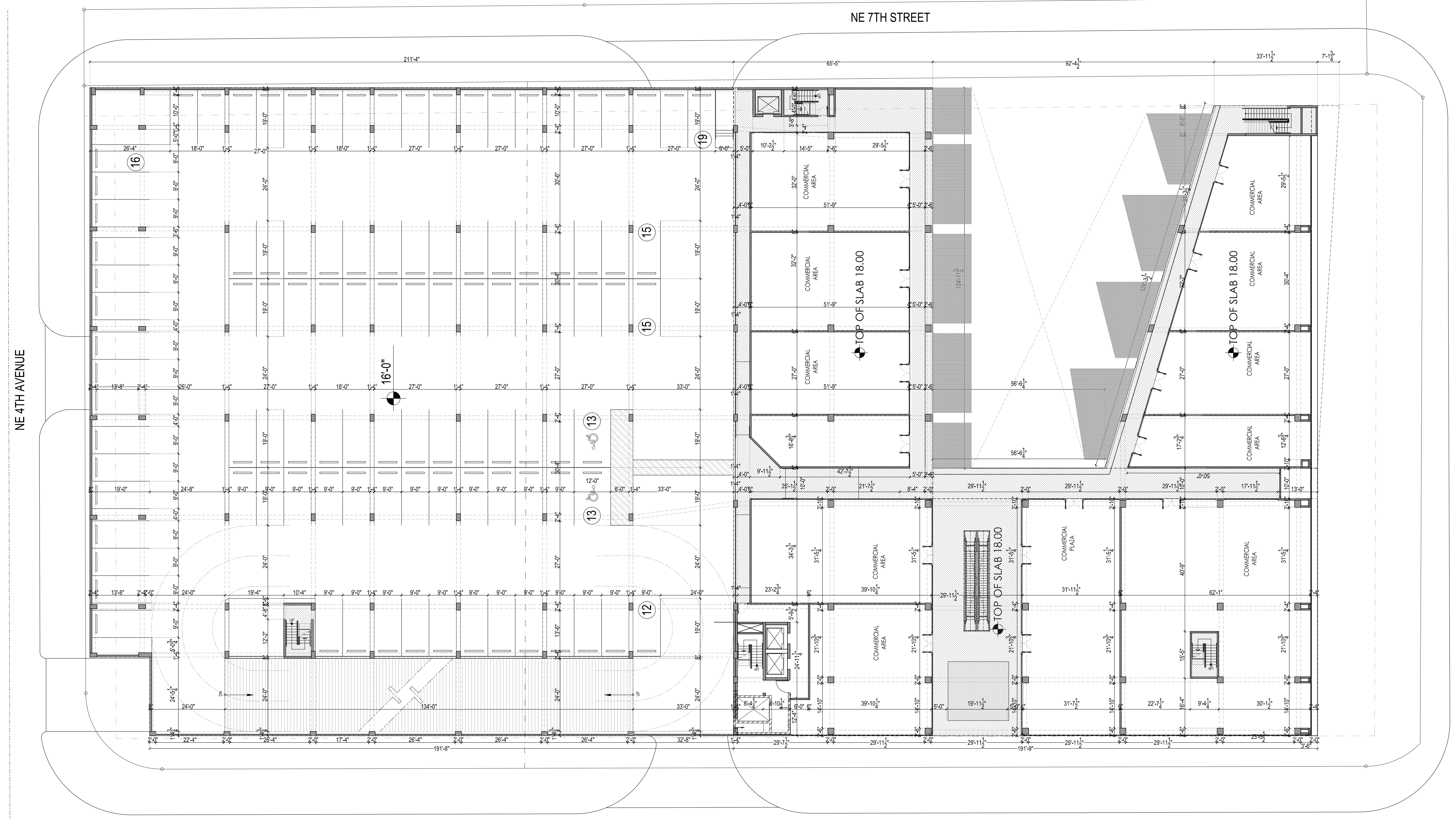
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3	07.03.2023	SITE PLAN AMENDMENT

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SHEET TITLE:
**ARCHITECTURAL
SECOND FLOOR PLAN**

SHEET NUMBER:
A-102



NORTH FEDERAL HWY.

NE 7TH STREET

NE 6TH STREET

NE 4TH AVENUE

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1 SECOND FLOOR PLAN
SCALE: 1/16" = 1'



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1	10.01.2019	DRG COMMENTS

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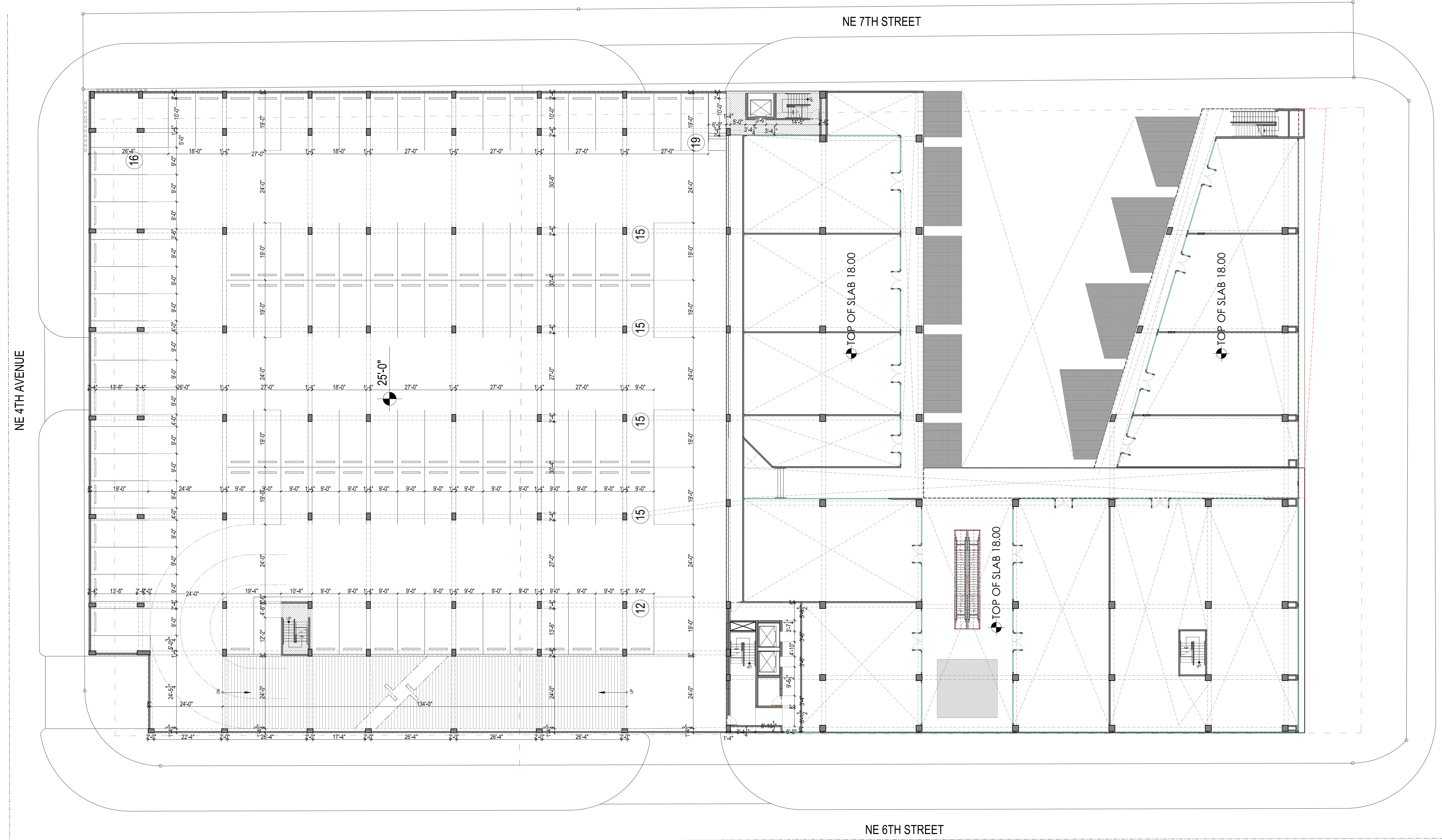
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SHEET TITLE:
**ARCHITECTURAL
THIRD FLOOR GARAGE**



SHEET NUMBER:

A-103



NORTH FEDERAL HWY.

NE 7TH STREET

NE 6TH STREET

NE 4TH AVENUE



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1	10.01.2019	DRG COMMENTS
2	11.18.2019	DRG COMMENTS

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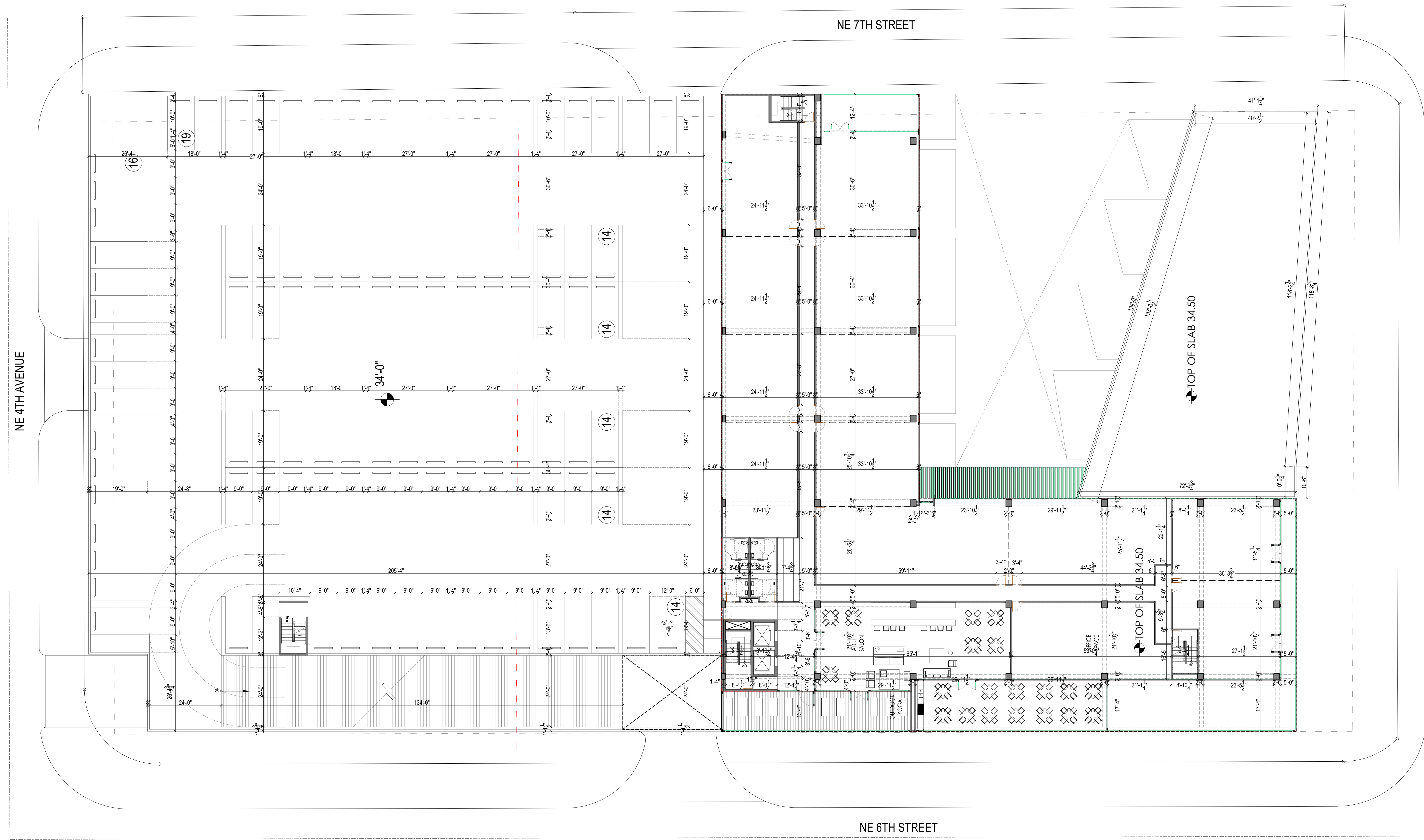
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**ARCHITECTURAL
THIRD FLOOR PLAN**

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SHEET NUMBER:

A-104



NORTH FEDERAL HWY.

NE 7TH STREET

NE 6TH STREET

NE 4TH AVENUE



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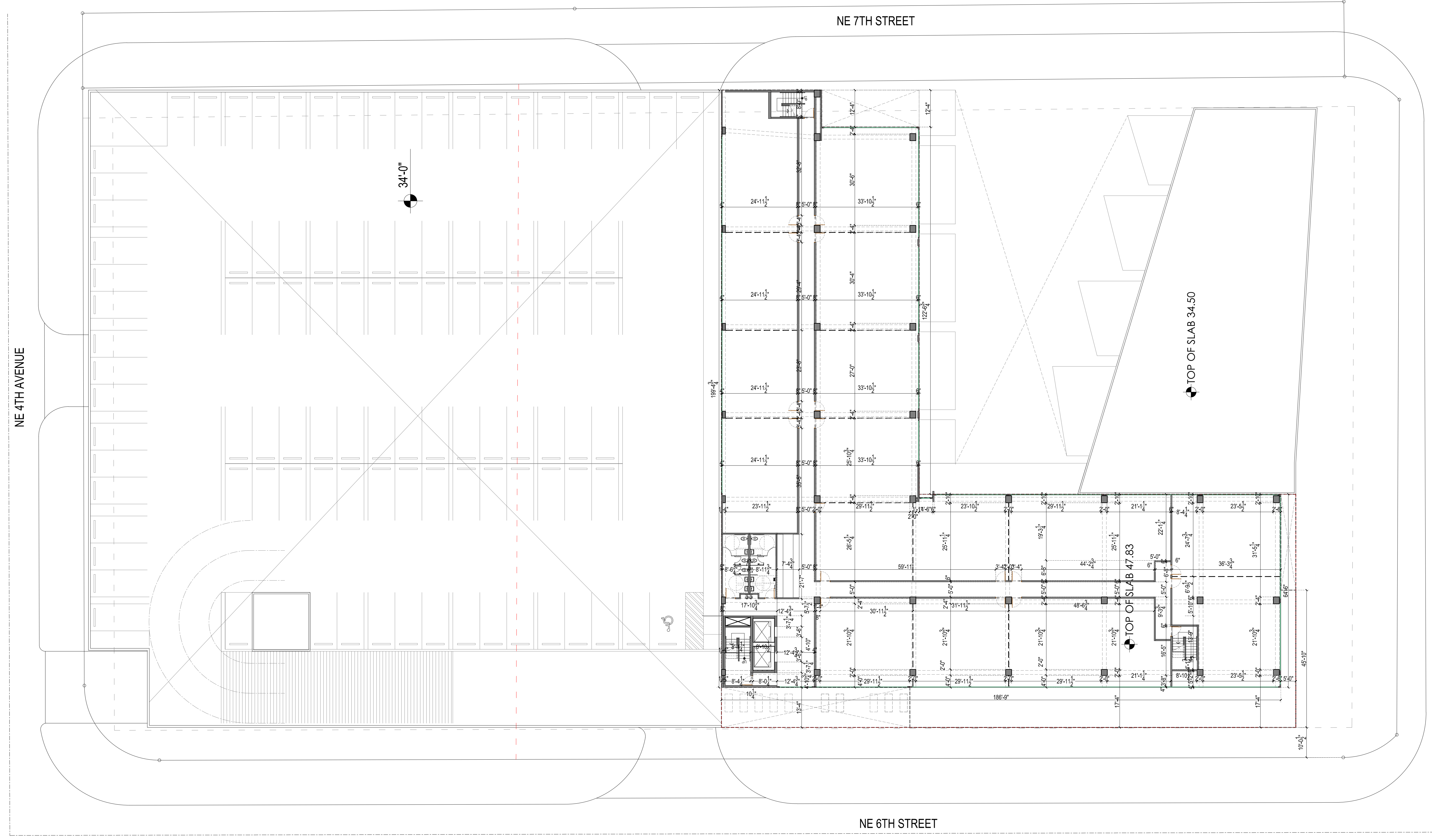
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SHEET TITLE:
**ARCHITECTURAL
FOURTH FLOOR PLAN**

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A-105



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REV	DATE	DESCRIPTION
1	10.01.2019	DRG COMMENTS
2	11.18.2019	DRG COMMENTS

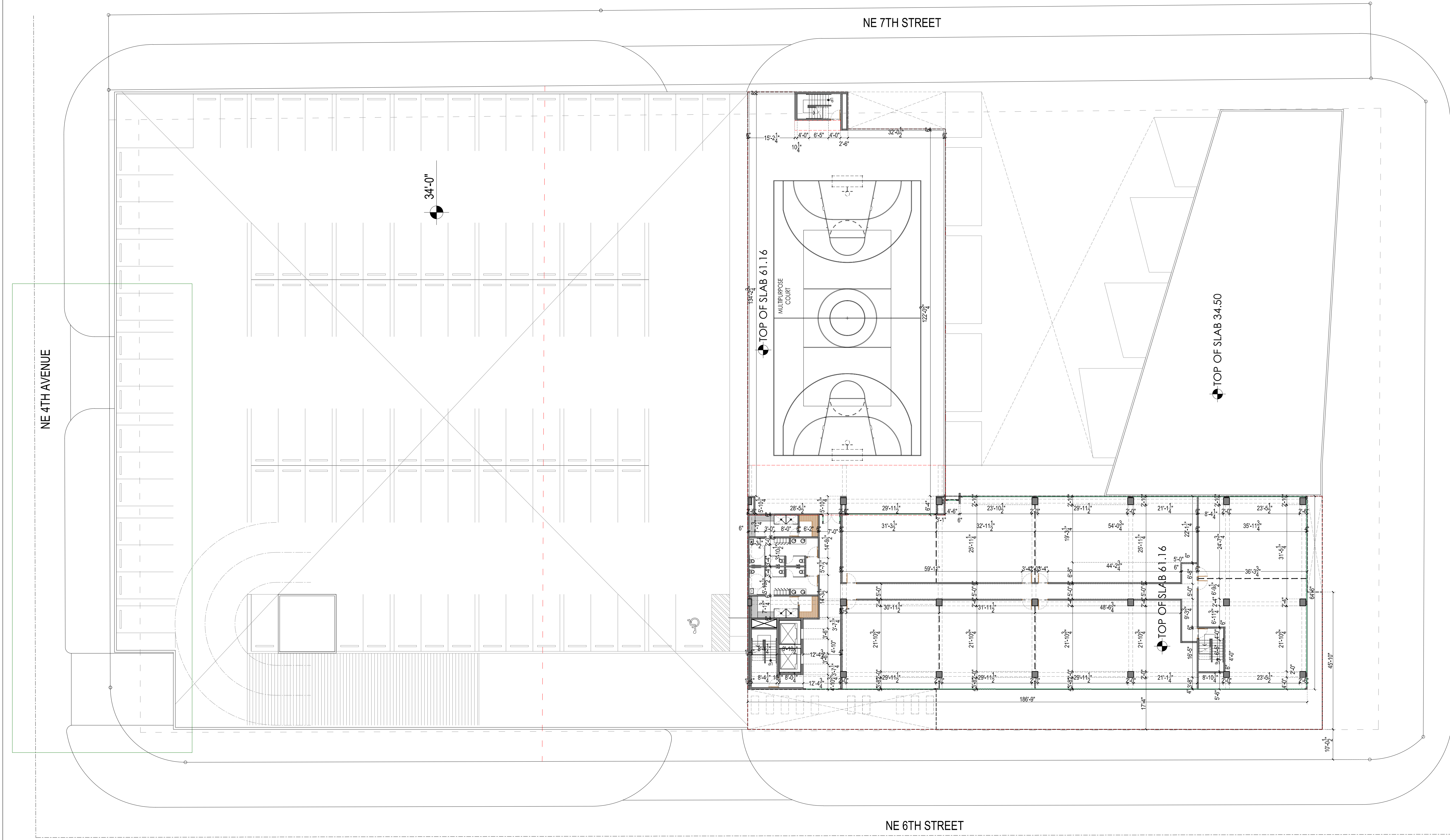
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**ARCHITECTURAL
FIFTH FLOOR PLAN**

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SHEET NUMBER:
A-106





S.E. VIEW



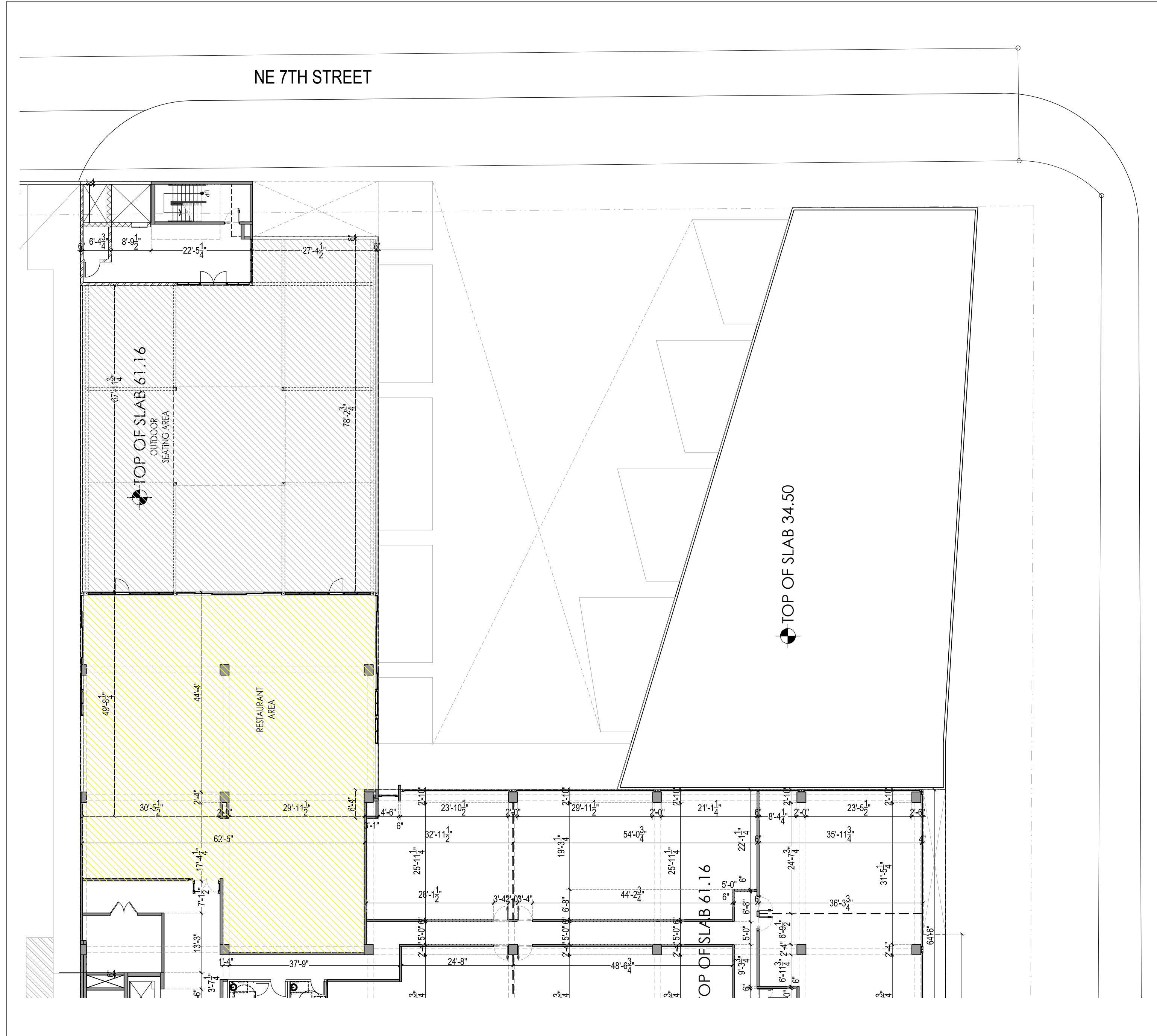
S.W. VIEW



N.W. VIEW



N.E. VIEW



1 FIFTH FLOOR RESTAURANT AREA
SCALE: 1/16" = 1'



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REV	DATE	DESCRIPTION
1	10.01.2019	DRG COMMENTS
2	11.18.2019	DRG COMMENTS
3	07.03.2023	SITE PLAN AMENDMENT

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SHEET TITLE:
ARCHITECTURAL
FIFTH FLOOR
RESTAURANT AREA/
OUTDOOR VIEWS

SHEET NUMBER:
A-106.1

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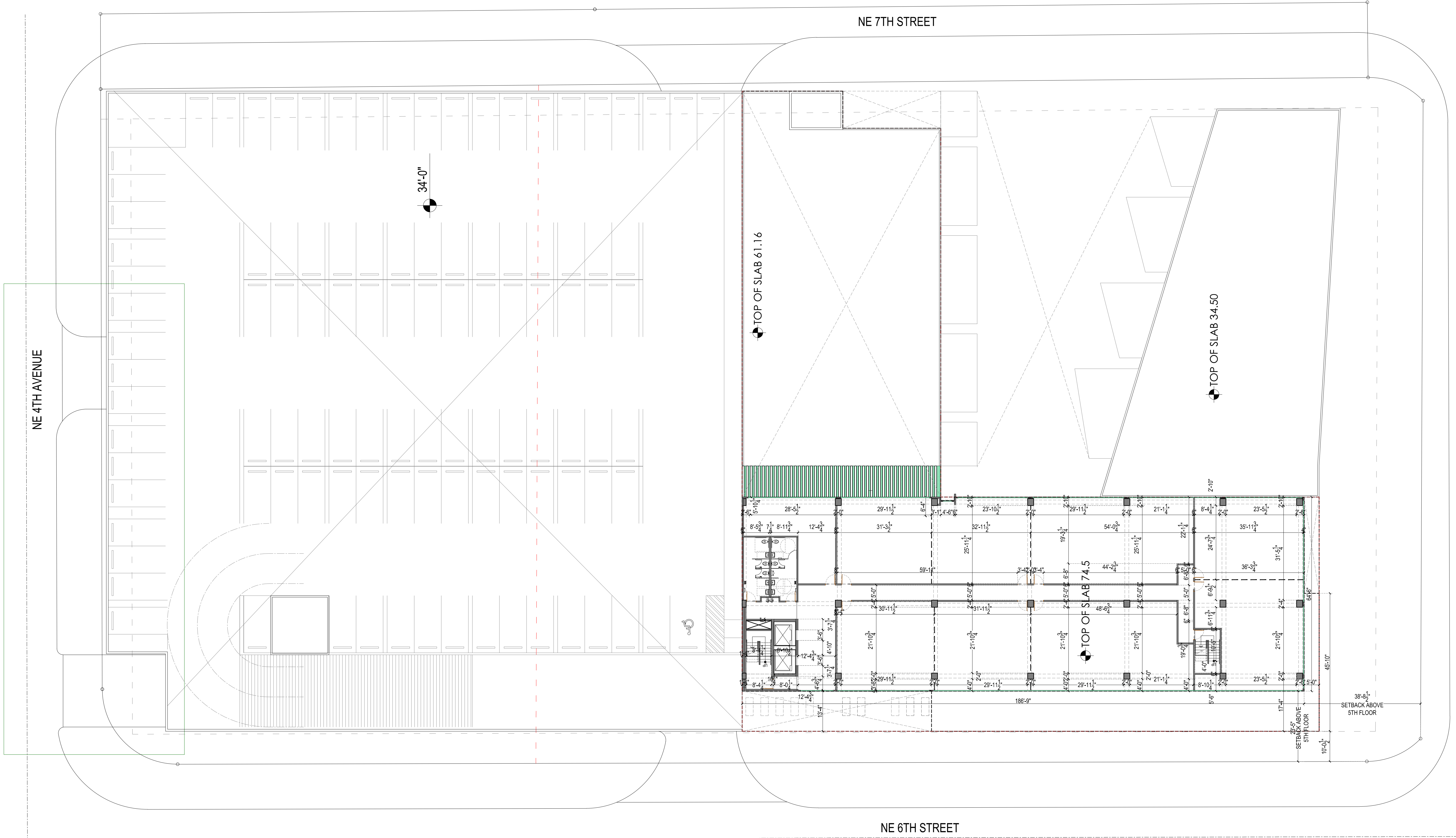
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SHEET TITLE:
**ARCHITECTURAL
SIXTH FLOOR PLAN**

APPROVED DRAWING

SHEET NUMBER:
A-107

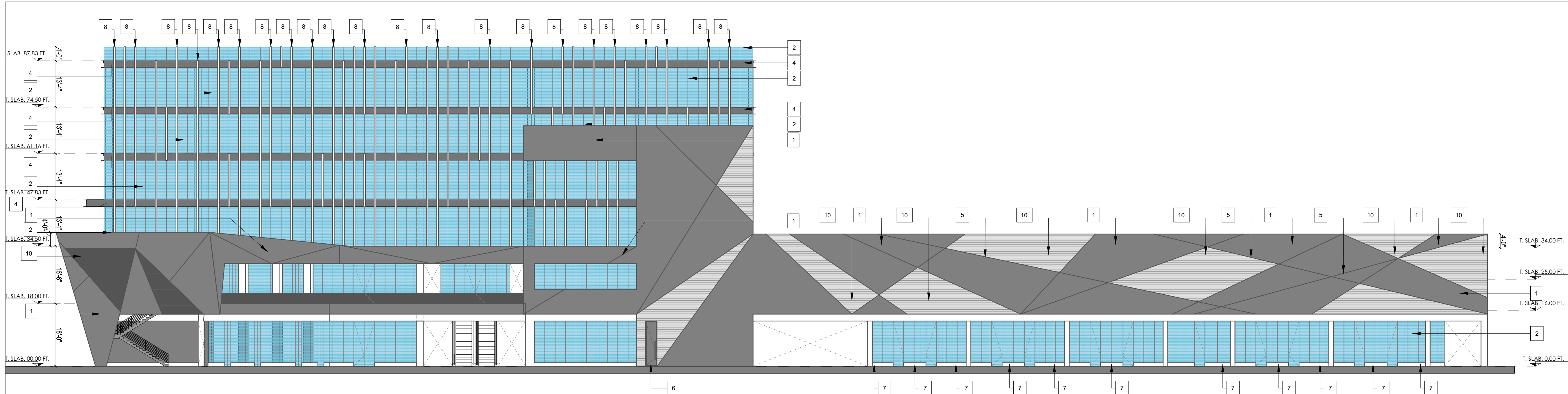


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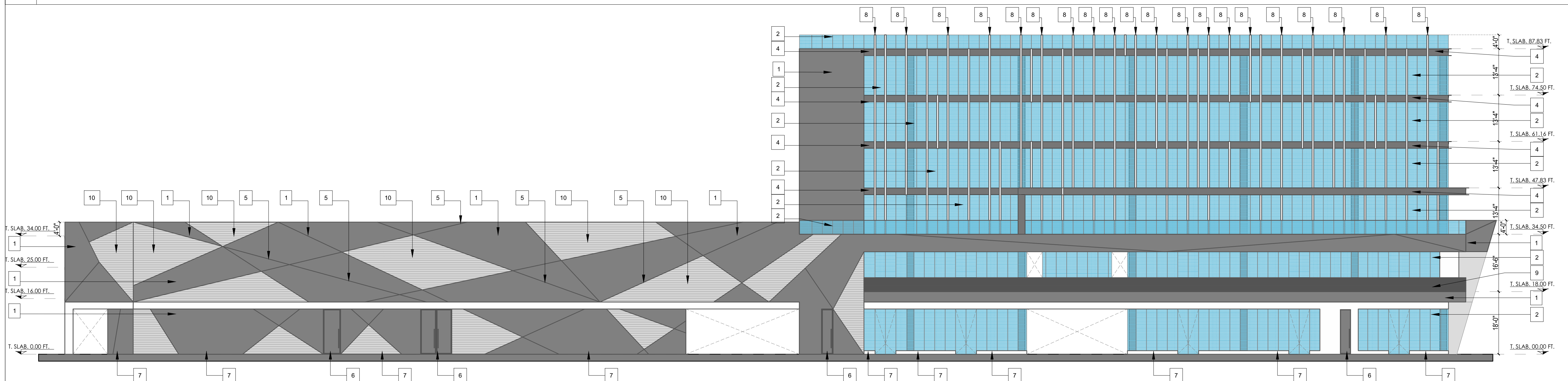
ATLANTIC VILLAGE III

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HALLANDALE BEACH, FL.

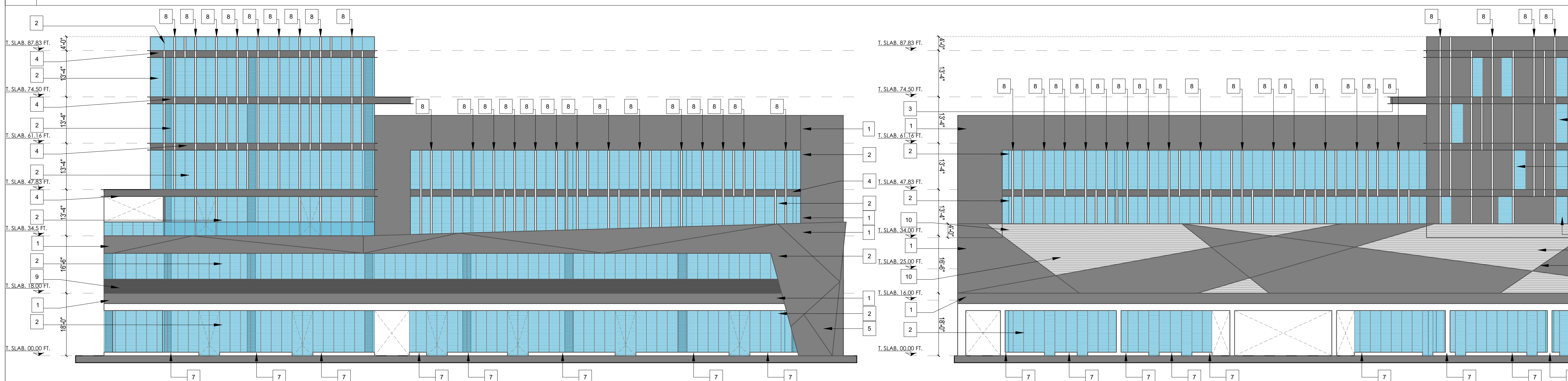
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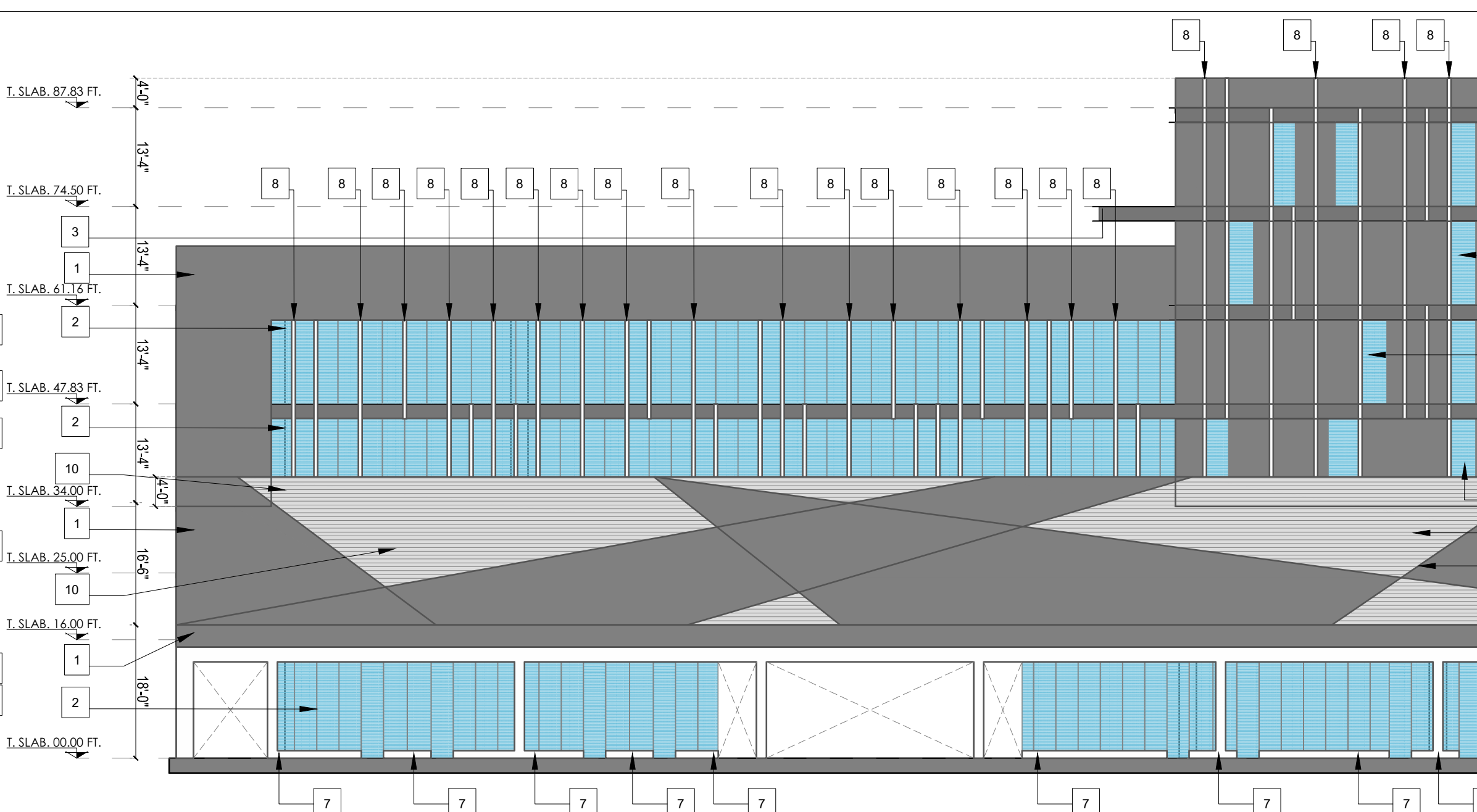
1 NE 7TH STREET FACADE
SCALE: 1/16" = 1'-0"



2 NE 6TH STREET FACADE
SCALE: 1/8" = 1'-0"



3 NORTH FEDERAL HIGHWAY FACADE
SCALE: 1/16" = 1'-0"



4 NE 4TH AVENUE FACADE
SCALE: 1/16" = 1'-0"

1. SMOOTH STUCCO FINISH
2. WINDOW WALL GLAZING SYSTEM
3. METAL CAP
4. DECORATIVE ALUMINUM CHANNEL
5. RECESSED STRIP LIGHT MOUNTED ON WALL
6. TYPICAL 12" HIGH FLOOD BARRIER PANEL SYSTEM TO BE PROVIDED AT ALL DOOR OPENINGS. GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH ARCHITECT'S OF RECORD APPROVED STAMP TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION
7. TYPICAL AT ALL PERIMETER EXTERIOR WALLS: 12" HIGH FLOOR PROOFED FROM FINISH FLOOR WITH DRYLOK OIL BASE MASONRY WATERPROOFER OR APPROVED EQUAL. GENERAL CONTRACTOR SHALL SUBMIT PRODUCT DATA SHEET WITH ARCHITECT'S OF RECORD APPROVED STAMP TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
8. EXTERIOR ALUMINUM DECORATIVE PROFILE
9. SIMULATED WOOD STUCCO FINISH
10. ALUMINIUM LOUVER

REV	DATE	DESCRIPTION
1	10.01.2019	DRG COMMENTS

DESIGN
DELIVERABLE:
ISSUE DATE: 05/20/19

PROJECT NUMBER: 1546-180926
DRAWN BY: JS
CHECKED BY: JS

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SHEET TITLE:
**ARCHITECTURAL
ELEVATIONS**

APPROVED DRAWING

SHEET NUMBER:
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