



KallerArchitecture

LETTER OF INTENT

633 W HALLANDALE BEACH BLVD

PROJECT ADDRESS: 633 W HALLANDALE BEACH BLVD
HALLANDALE BEACH, FL 33009
FOLIO NUMBER: 5142-28-12-0130
OWNER: GUSPAB LLC
PROJECT NUMBER: 22198



North-east façade

We are proposing a single-story commercial building which is 4,671 SQ. FT., we anticipate this development to have 2-3 tenants/businesses and 8-15 employees. As seen in the rendering, the development has a clean and modern design, highlighting its double height and radical volumetric composition, which has a dialogue with the neighboring building located to the east of the property and harmonizes with the existing and future surroundings. Being a one-story building, this development will have a minimal impact on the neighboring properties due to shade from solar exposure.

PROPOSED MATERIAL BOARD:



The main materials are: Black fenestration and white exterior walls (smooth finish stucco) to create the illusion that the frame is floating, it also has a vertical garden on the east façade and UPVC panels into a grid to bring dynamism to the composition.



East view façade

Regarding energy consumption, this will be defined more thoroughly with the tenants to meet their specific requirements and all the details will be coordinated with the MEP engineer to make the relevant calculations to reduce energy consumption as much as possible.

The proposed building conforms with the local designs and zoning code requirements including but not limited to the height, scale, landscaping, etc. the building provides a significant amount of glazing and pedestrian access with a welcoming communication with the public.

Please see attached the City of Hallandale Beach Community Bus System Map and the location of the subject site.



Route 1

HALLANDALE CITY HALL & LIBRARY	THE BIG EASY CASINO	YOUNG CIRCLE	NE 14 AVE & ATLANTIC SHORES BLVD	GOLDEN ISLES SC/ PUBLIX SE 14 AVE	OCEAN DR COUNTY LINE RD	NORTH BEACH FIRE STATION	WALMART HALLANDALE BEACH BLVD	DIPLOMAT PKWY/ HALLANDALE BEACH BLVD	FAIRWAYS RIVIERA	DIPLOMAT MALL	HALLANDALE CITY HALL & LIBRARY
1	2	3	4	5	6	7	8	9	10	11	1
7:00a	7:13a	7:23a	7:29a	7:37a	7:47a	7:53a	7:58a	8:03a	8:09a	8:15a	8:25a
7:45a	7:58a	8:08a	8:14a	8:22a	8:32a	8:38a	8:43a	8:48a	8:54a	9:00a	9:10a
8:30a	8:43a	8:53a	8:59a	9:07a	9:17a	9:23a	9:28a	9:33a	9:39a	9:45a	9:55a
9:15a	9:28a	9:38a	9:44a	9:52a	10:02a	10:08a	10:13a	10:18a	10:24a	10:30a	10:40a
10:00a	10:13a	10:23a	10:29a	10:37a	10:47a	10:53a	10:58a	11:03a	11:09a	11:15a	11:25a
10:45a	10:58a	11:08a	11:14a	11:22a	11:32a	11:38a	11:43a	11:48a	11:54a	12:00p	12:10p
11:30a	11:43a	11:53a	11:59a	12:07p	12:17p	12:23p	12:28p	12:33p	12:39p	12:45p	12:55p
12:15p	12:28p	12:38p	12:44p	12:52p	1:02p	1:08p	1:13p	1:18p	1:24p	1:30p	1:40p
1:00p	1:13p	1:23p	1:29p	1:37p	1:47p	1:53p	1:58p	2:03p	2:09p	2:15p	2:25p
1:45p	1:58p	2:08p	2:14p	2:22p	2:32p	2:38p	2:43p	2:48p	2:54p	3:00p	3:10p
2:30p	2:43p	2:53p	2:59p	3:07p	3:17p	3:23p	3:28p	3:33p	3:39p	3:45p	3:55p
3:15p	3:28p	3:38p	3:44p	3:52p	4:02p	4:08p	4:13p	4:18p	4:24p	4:30p	4:40p
4:00p	4:13p	4:23p	4:29p	4:37p	4:47p	4:53p	4:58p	5:03p	5:09p	5:15p	5:25p
4:45p	4:58p	5:08p	5:14p	5:22p	5:32p	5:38p	5:43p	5:48p	5:54p	6:00p	6:10p
5:30p	5:43p	5:53p	5:59p	6:07p	6:17p	6:23p	6:28p	6:33p	6:39p	6:45p	7:00p
6:15p	6:28p	6:38p	6:44p	6:52p	7:02p	7:08p	7:13p	7:18p	7:24p	7:30p	7:45p

Route 2

PUBLIX SE 14 AVE RK PLAZA	GOLDEN ISLES DR LAKE POINT TOWER	WALMART HALLANDALE BEACH BLVD	THREE ISLANDS BLVD & PARKVIEW DR	DIPLOMAT MALL WINN-DIXIE	NE 14 AVE ATLANTIC SHORES BLVD	THE BIG EASY CASINO	HALLANDALE BEACH CITY HALL & PUBLIC LIBRARY	AVENTURA HOSPITAL	PUBLIX SE 14 AVE RK PLAZA
1	2	3	4	5	6	7	8	9	1
7:00a	7:05a	7:12a	7:18a	7:27a	7:35a	7:39a	7:47a	7:53a	8:03a
8:04a	8:09a	8:16a	8:22a	8:31a	8:39a	8:43a	8:51a	8:57a	9:07a
9:08a	9:13a	9:20a	9:26a	9:35a	9:43a	9:47a	9:55a	10:01a	10:11a
10:12a	10:17a	10:24a	10:30a	10:39a	10:47a	10:51a	10:59a	11:05a	11:15a
11:16a	11:21a	11:28a	11:34a	11:43a	11:51a	11:55a	12:04p	12:11p	12:21p
12:22p	12:27p	12:34p	12:40p	12:48p	12:57p	1:01p	1:11p	1:18p	1:28p
1:29p	1:34p	1:41p	1:47p	1:56p	2:04p	2:08p	2:18p	2:25p	2:35p
2:36p	2:41p	2:48p	2:54p	3:03p	3:11p	3:15p	3:25p	3:32p	3:42p
3:42p	3:47p	3:54p	4:00p	4:09p	4:17p	4:21p	4:31p	4:38p	4:48p
4:48p	4:53p	5:00p	5:06p	5:15p	5:23p	5:27p	5:37p	5:44p	5:54p
5:54p	5:59p	6:06p	6:12p	6:21p	6:29p	6:33p	6:43p	6:50p	7:00p

Route 3

HALLANDALE BEACH CITY HALL & PUBLIC LIBRARY	FASHION ROW NW 1 AVE	HEPBURN CENTER (NW 10 ST / PEMBROKE RD NW 8 AVE)	HOLLYWOOD STATION TRAIL-45 EXPRESS	BROWARD SOUTH COMMUNITY HEALTH SERVICES - HOLLYWOOD	LAKE SIDE SHOPS IHOP	WINN-DIXIE / HALLANDALE BEACH BLVD & SW 10 TER	GULFSTREAM ACADEMY OF HALLANDALE BEACH K-8	SW 10 TER & HALLANDALE BEACH	HALLANDALE BEACH CITY HALL & PUBLIC LIBRARY
1	2	3	4	5	6	7	8	9	1
7:00a	7:07a	7:13a	7:23a	7:30a	7:36a	7:41a	7:45a	7:52a	8:02a
8:05a	8:12a	8:18a	8:28a	8:35a	8:41a	8:46a	8:50a	8:57a	9:07a
9:10a	9:17a	9:23a	9:33a	9:40a	9:46a	9:51a	9:55a	10:02a	10:12a
10:15a	10:22a	10:28a	10:38a	10:45a	10:51a	10:56a	11:00a	11:07a	11:17a
11:20a	11:27a	11:33a	11:43a	11:50a	11:56a	12:01p	12:05p	12:13p	12:23p
12:25p	12:32p	12:39p	12:47p	12:56p	1:03p	1:08p	1:12p	1:20p	1:30p
1:30p	1:37p	1:44p	1:52p	2:01p	2:08p	2:13p	2:17p	2:25p	2:35p
2:37p	2:44p	2:51p	2:59p	3:08p	3:15p	3:20p	3:24p	3:32p	3:42p
3:44p	3:51p	3:58p	4:06p	4:15p	4:22p	4:27p	4:31p	4:39p	4:49p
4:52p	4:59p	5:06p	5:14p	5:23p	5:30p	5:35p	5:39p	5:47p	5:57p
6:00p	6:07p	6:14p	6:22p	6:33p	6:39p	6:42p	6:46p	6:50p	7:00p

Route 4

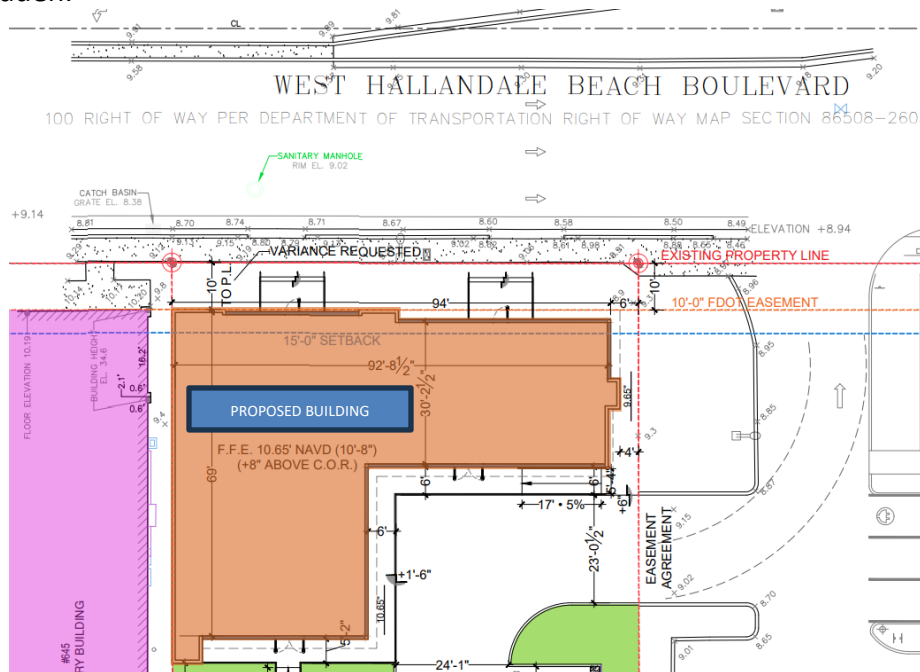
HEPBURN CENTER NW 8 AVE SOUTH OF NW 10 ST	FOSTER RD NW 8 AVE	FASHION ROW NE 1 AVE	GOLDEN ISLES SC/PUBLIX SE 14 AVE	DIPLOMAT MALL	HALLANDALE BEACH CITY HALL & PUBLIC LIBRARY	SW 10 TER / SW 10 STREET HALLANDALE BEACH	GULFSTREAM ACADEMY OF HALLANDALE BEACH K-8	WINN-DIXIE HALLANDALE BEACH BLVD & SW 10 TER	LAKE SIDE SHOPS IHOP	HEPBURN CENTER NW 8 AVE SOUTH OF NW 10 ST
1	2	3	4	5	6	7	8	9	10	1
7:00a	7:03a	7:07a	7:15a	7:19a	7:28a	7:38a	7:41a	7:45a	7:48a	7:57a
8:00a	8:03a	8:07a	8:15a	8:19a	8:28a	8:38a	8:41a	8:45a	8:48a	8:57a
9:00a	9:03a	9:07a	9:15a	9:19a	9:28a	9:38a	9:41a	9:45a	9:48a	9:57a
10:00a	10:03a	10:07a	10:15a	10:19a	10:28a	10:38a	10:41a	10:45a	10:48a	10:57a
11:00a	11:03a	11:07a	11:15a	11:19a	11:28a	11:38a	11:41a	11:45a	11:48a	11:57a
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5:00p	5:03p	5:07p	5:15p	5:19p	5:28p	5:38p	5:41p	5:45p	5:48p	5:57p
6:00p	6:03p	6:07p	6:15p	6:19p	6:29p	6:39p	6:42p	6:46p	6:50p	7:00p

REQUESTED VARIANCE #1

REQUIRED FRONT SETBACK: 15 FEET

PROPOSED FRONT SETBACK: 10 FEET (FDOT EASEMENT AGREEMENT)

In order to better harmonize the project with the neighboring buildings we are requesting this variance., Consists of aligning the main façade (north) with the neighboring project façade (west of our property) located at 645 W Hallandale beach Blvd., to accomplish this we are proposing a 10 feet front setback (required setback: 15 feet), the purpose of this is to better harmonize the project with the surroundings and give it visibility since being recessed 5 feet the project is hidden.

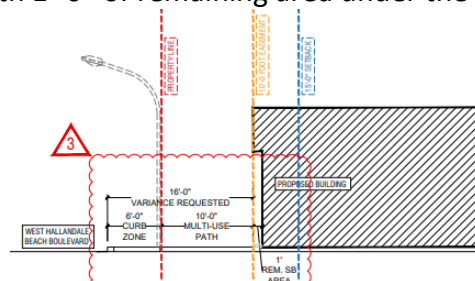


REQUESTED VARIANCE #2

REQUIRED STREETScape WIDTH: 20 FEET

PROPOSED STREETScape WIDTH: 16 FEET

In order to align our building with the western neighboring property, and in conjunction with the previously requested variance, we must reduce the remaining streetscape area, resulting in a 16'-0" wide streetscape with 1'-0" of remaining area under the canopy.



CHECKLIST ITEMS PER SECTION 32-965

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not generally applicable to other lands, structures, or buildings in the same zoning district. (Describe what special conditions or circumstances affect your property and/or building and how these conditions and circumstances are different from those of neighboring properties).

R/ The neighboring building is extruded 5 feet from our required development setback causing it to be hidden.

2. That the special conditions and circumstances do not result from the action of the applicant. (State whether the need for a variance was caused by something you did on the property, or is the situation caused by the actions of others).

R/ We are requesting this variance due to the fact that the neighboring building is affecting the visibility of our development.

3. Granting the variance requested will not confer on the applicant any special privilege that is denied by the Code to other lands, buildings, or structures in the same district. (Will the variance allow you to do something that owners of neighboring properties are not allowed to do? If not, explain why not).

R/ Per zoning code we are not allowed., We are proposing to match the neighboring building setback.

4. The literal interpretation of the provisions of the Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Code and would work unnecessary and undue hardship on the applicant. (What are the rights you believe are being taken away from you by your having to comply with the requirements of the zoning district?

What is the hardship (other than monetary) or problem, which is being created by having to comply?)

R/ Our development is losing visibility due to neighboring building setback.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure. (Describe what alternatives or options you have considered in order to minimize your variance request and still have reasonable use of your property.)

R/ There is no alternative since we can't modify an existing condition on a neighboring property owned by others/out of our property line.

6. That the granting of the variance will be in harmony with the general intent and purpose of the Code. (State how your request is in harmony with the City regulations to promote, protect and improve the public's health, safety, comfort, good order, appearance, etc.)

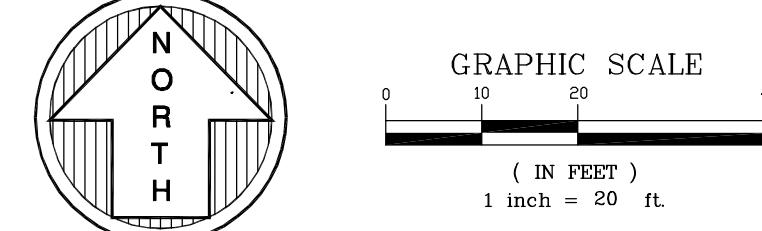
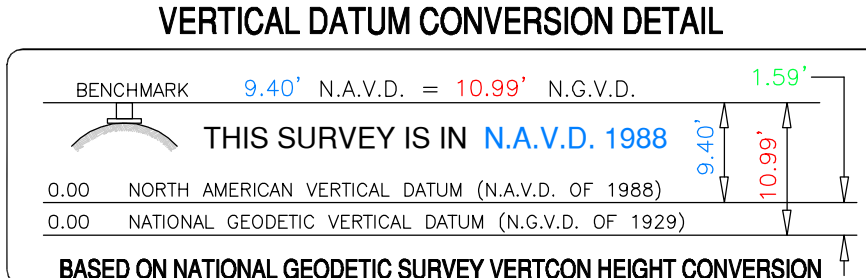
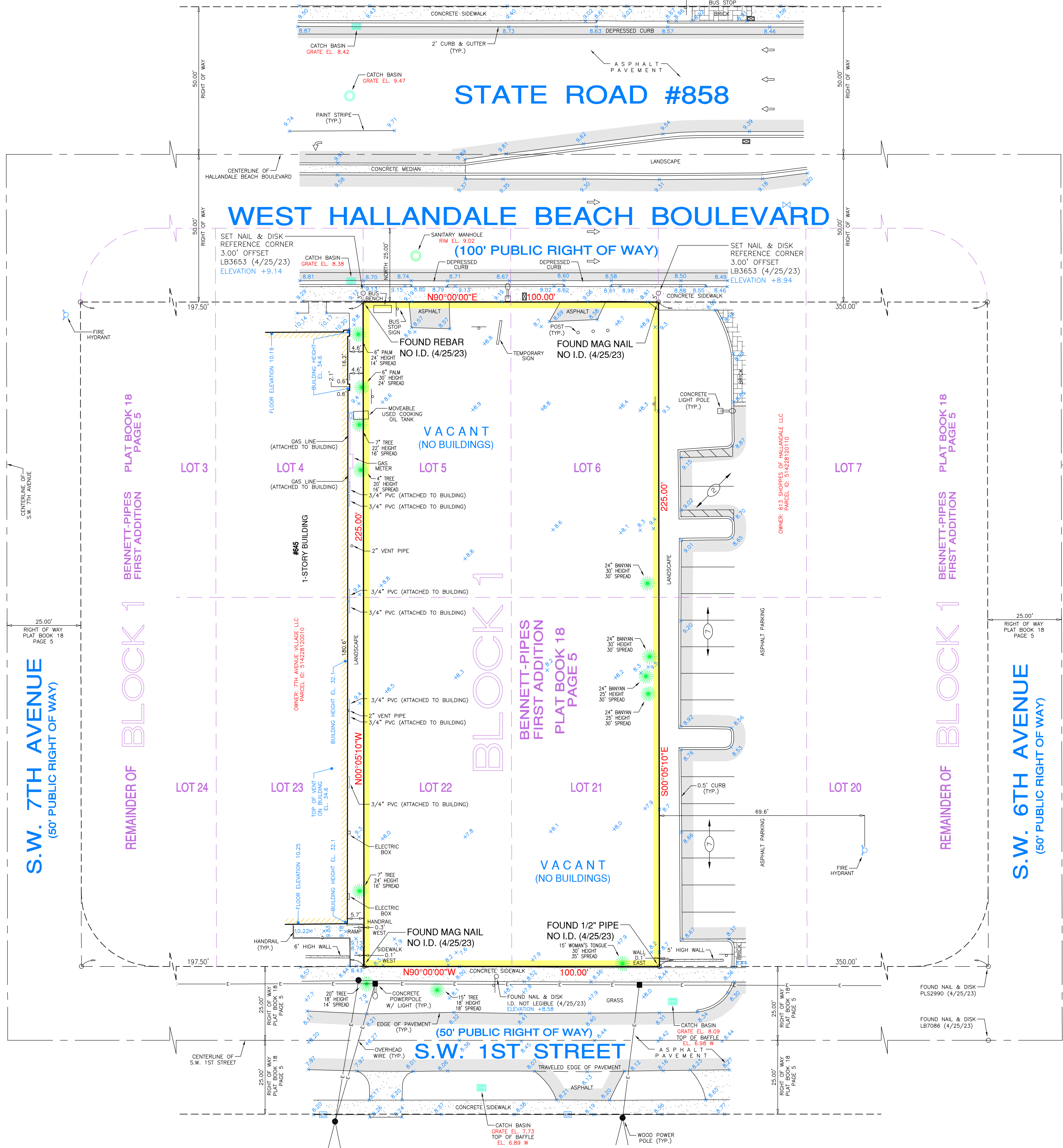
R/ This variance improves the harmonization of our project with the existing neighboring properties.

7. That such variance will not be injurious to the area involved or otherwise detrimental to the public welfare. (Describe how the granting of the variance will not adversely affect neighboring properties and the City overall.)

R/ In our project there is not a single element that affects neighboring properties, currently we are being affected by the existing conditions of the neighboring property and that is the reason of this request.

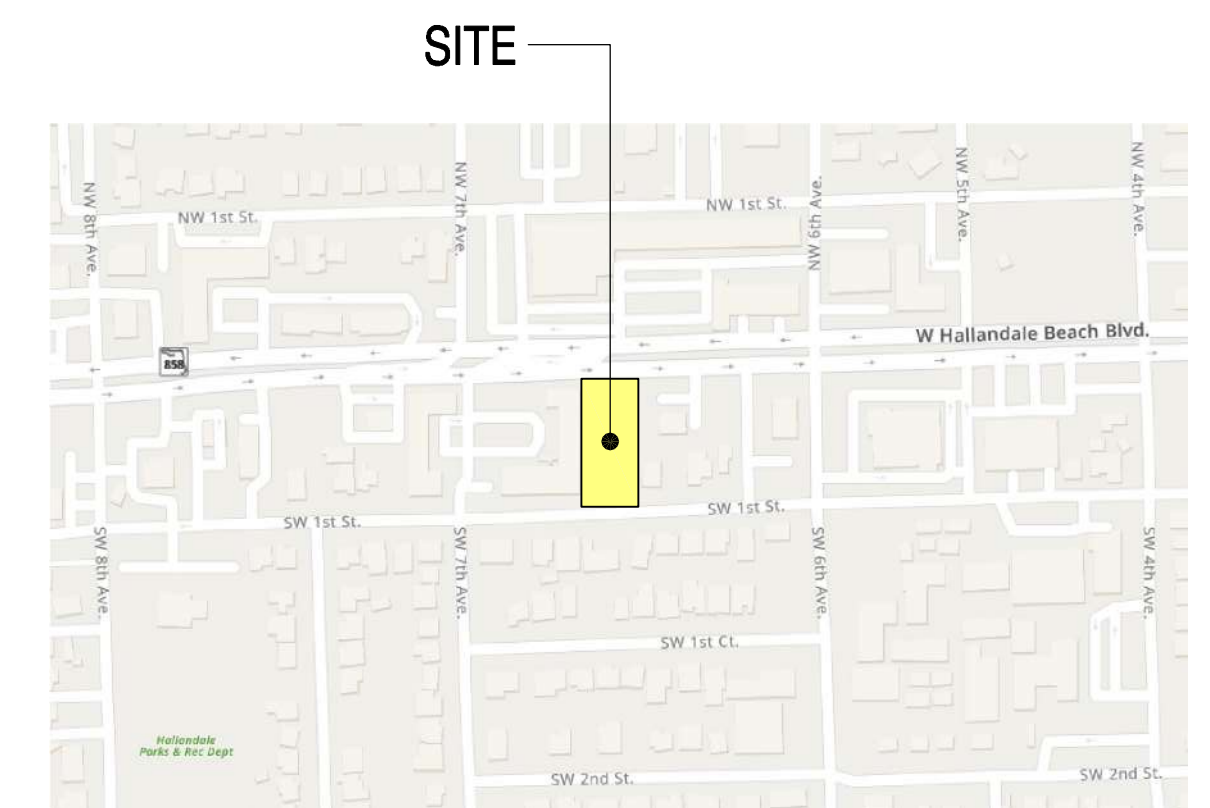
Sincerely,

Joseph B. Kaller



LEGEND

[Symbol]	CATCH BASIN	[Symbol]	0.5' CURB
[Symbol]	MANHOLE	[Symbol]	2.00' CURB & GUTTER
[Symbol]	LIGHT POLE	[Symbol]	CHAIN LINK FENCE
[Symbol]	WATER METER	[Symbol]	I.D.
[Symbol]	WATER VALVE	[Symbol]	ELEVATION
[Symbol]	CATCH BASIN INLET	[Symbol]	INVERT
[Symbol]	UTILITY POLE	[Symbol]	SAN.
[Symbol]	RISER	[Symbol]	P.R.M.
[Symbol]	FIRE HYDRANT	[Symbol]	CONCRETE
[Symbol]	HANDHOLE	[Symbol]	ASPHALT PAVEMENT
[Symbol]	SIGN		



LEGAL DESCRIPTION:
 Lots 5, 6, less the North 25 feet thereof and Lots 21 and 22, Block 1, BENNETT-PIPES FIRST ADDITION, according to the Plat thereof, as recorded in Plat Book 18 at Page 5 of the Public Records of Broward County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 28, Township 51 South, Range 42 East, City of Hallandale Beach, Broward County, Florida.
- All documents are recorded in the Public Records of Broward County, Florida, unless otherwise noted.
- Lands shown hereon were NOT abstracted for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N 90°00'00" E for the South right of way line of Hallandale Beach Boulevard, and evidenced by found rebar and found mag nail.
- Elevations shown hereon are relative to the National American Vertical Datum of 1988, based on Florida Department of Transportation Bench Mark #BLCB, Stamped 858-86-04-C-08, (Elevation +9.40 NAVD) (Elevation +10.99 NGVD).
- Lands shown hereon are located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12011C0732H for Community No. 125110, dated August 18, 2014, and index map revised August 18, 2014, and is relative to the North American Vertical Datum of 1988 (NAVD 88).
- Site could be subject to a FEMA Letter of Map Revision/Amendment, Surveyor has not determined if any Letter of Map Revision/Amendment affects this site. This should be independently verified by client prior to any design, permitting, or construction.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 22,500 square feet, or 0.517 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.
- No parking spaces on site.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- The locations of overhead utility lines are graphically shown to indicate the approximate connection points and do not reflect the actual location, number or type of wires.
- Legal description shown hereon based on information furnished by client and no claims as to ownership are made or implied.
- Property I.D. Number 5142-28-112-0130 per Broward County Appraiser Website.

SURVEYOR'S CERTIFICATION:
 This is to certify that this "Boundary and Topographic Survey" was made under my responsible charge on April 25, 2023, in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on April 25, 2023.

*Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below

By: Daniel C. Fortin, Jr. For The Firm
 Surveyor and Mapper, LS6435
 State of Florida.

No.	O. N.	Revision Description

FORTIN, LEAVY, SKILES, INC.
 CONSULTING ENGINEERS, SURVEYORS & MAPPERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
 180 Northeast 168th Street / North Miami Beach, Florida 33162
 Phone: 305-653-4493 / Fax: 305-651-7152 / Email: fls@flsurvey.com

ALTANSPS LAND TITLE SURVEY
 633 WEST HALLANDALE BEACH BOULEVARD
 CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA

Original Date	4/25/23
Scale	1"=20'
Drawn By	MAP
CAD No.	230209
Plotted	5/1/23 11:39a
Ref. Dwg.	
Field Book	SJH
	670/57-58&FLD. SHTS.
Job No.	
	230209
Dwg. No.	2023-053-NAVD
Sheet	1 of 1

633 W HALLANDALE BEACH BLVD

HALLANDALE BEACH, FL 33009



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- R-4 RENDERING 4
- R-5 RENDERING 5
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- A-1.1 CONTEXT
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CIVIL

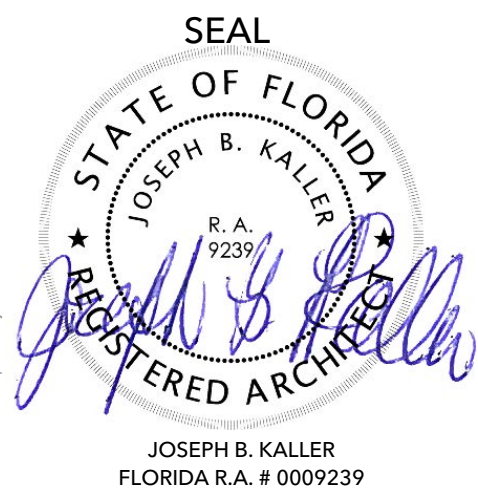
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- C-02 EROSION CONTROL PLAN
- C-03 PAVING, GRADING & DRAINAGE PLAN
- C-04 UTILITIES
- C-05 ROADWAY PLAN



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PROJECT TITLE
633 W HALLANDALE BEACH
BOULEVARD
HALLANDALE BEACH, FLORIDA 33009

SHEET TITLE
COVER / INDEX

REVISIONS		
No.	DATE	DESCRIPTION
1	07.24.24	CITY COMMENTS

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 22198
DATE: 05.27.26
DRAWN BY: J. DIAZ
CHECKED BY: JBK

SHEET
A-0.0

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: Mr. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
PHONE: (954)-920-5746
FAX: (954)-926-2841
EMAIL: joseph@kallerarchitects.com

OWNER

GUSPAB LLC
19370 COLLINS AVE STE CU1
SUNNY ISLES BEACH, FL 33160

LANDSCAPE

THOMAS WHITE
ADDRESS: 2600 NE 27th AVE.
FORT LAUDERDALE, FL 33306
PHONE: (954)-253-2265
EMAIL: tcwhite@bellsouth.net

CIVIL

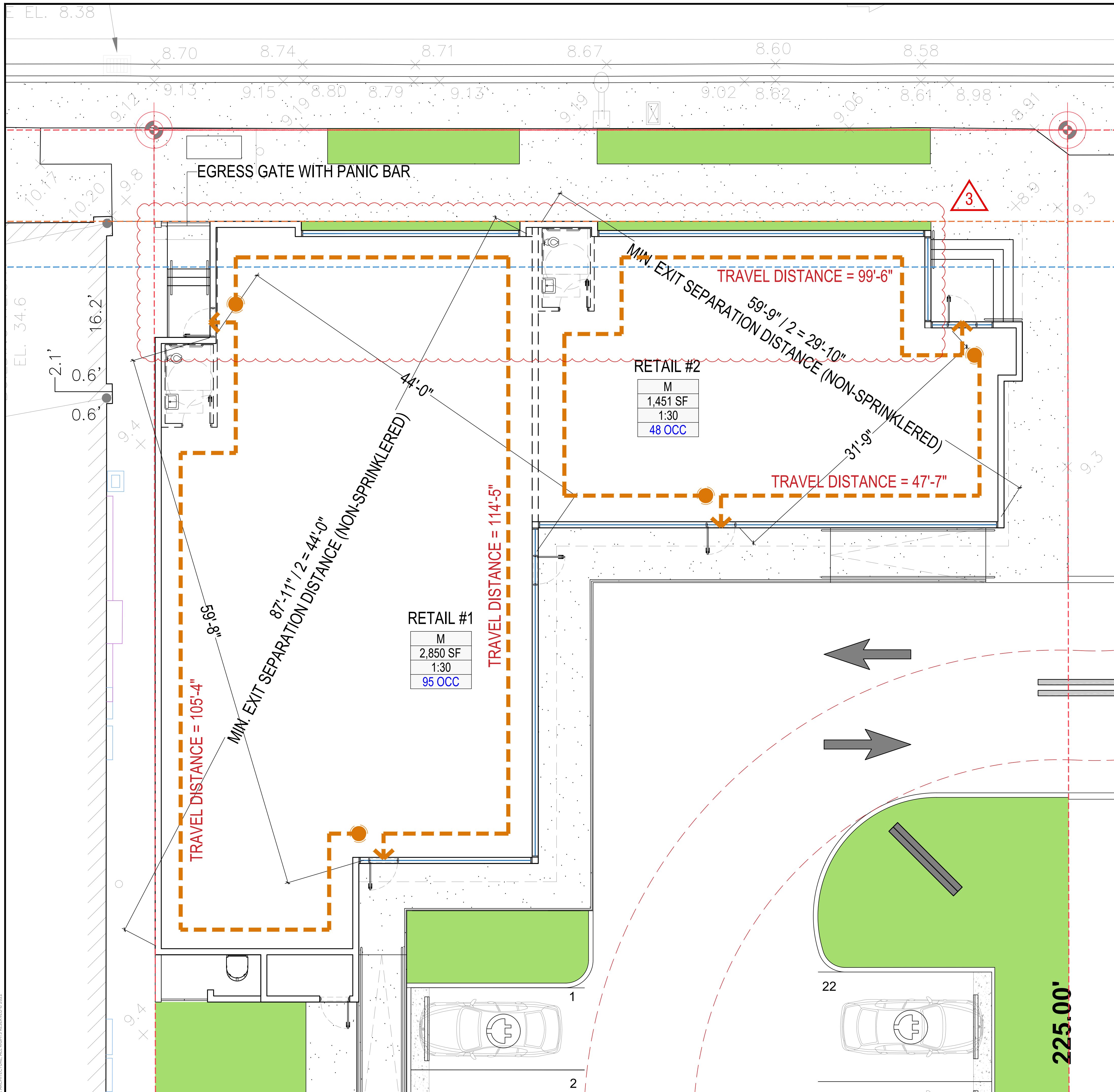
SZAUER ENGINEERING
CONTACT: JORGE M. SZAUER
ADDRESS: 7251 W PALMETTO PARK ROAD.
BOCA RATON, FL 33433
PHONE: (561)-716-0159
EMAIL: jszauer@szauereng.com

SURVEYOR

FORTIN, LEAVY, SKILES, INC.
ADDRESS: 180 NE 168TH ST.
NORTH MIAMI BEACH, FL 33162
PHONE: (305)-653-4493
EMAIL: fls@fissurbey.com

PHOTOMETRIC

GENESIS LIGHTING
CONTACT: CHRIS MARCH
ADDRESS: 14101 NW 9TH ST.
SUNRISE, FLORIDA 33325
PHONE: (954)-347-4594
EMAIL: cmarch@genesislighting.net



1. LIFE SAFETY LEGEND		2. OCCUPANT LOAD	
	DIRECTIONAL EXIT SIGN		OCCUPANT TYPE
	EXIT SIGN / EMERGENCY LIGHT		SQUARE FOOTAGE
	COMBO W/ 90 MIN. BATTERY BACK UP.		OCCUPANT LOAD FACTOR
	EMERGENCY LIGHT W/ 90 MIN. BATTERY BACK UP.	#OCC symbol"/>	OCCUPANT LOAD
	FIRE EXTINGUISHER	3. DOOR FIRE RATING (HR)	
	FIRE EXTINGUISHER		180 MINUTES
	TRAVEL DISTANCE		45 MINUTES
	COMMON PATH		90 MINUTES
			20 MINUTES
			60 MINUTES

3. COMMON PATH, DEAD-END, + TRAVEL DISTANCE LIMITS WITHOUT SPRINKLER SYSTEM
PER FBC TABLE 1017.2, 1020.4, 1029.7 AND 1029.8 AND NFPA-101 TABLE A7.6

OCCUPANCY	COMMON PATH	DEAD-END	TRAVEL DISTANCE
MERCANTILE (NEW)	75'-0"	20'-0"	150'-0"

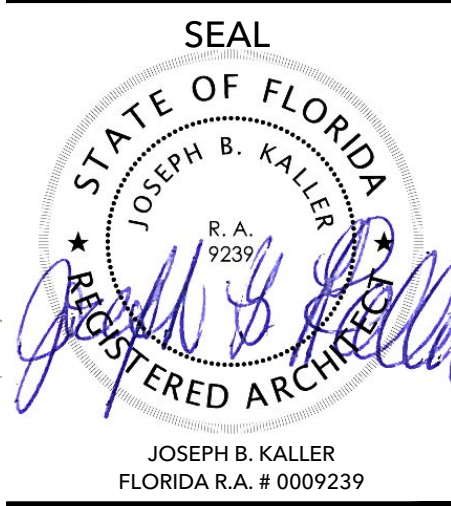
4. OCCUPANT LOAD CALCULATION • GROUND LEVEL
PER FBC TABLE 1004.1.2 + FFPC 14.8.1.2 / NFPA TABLE 101 7.3.1.2

ROOM NAME	ROOM AREA / LENGTH (SQ.FT.)	OCCUPANT LOAD FACTOR		OCCUPANT LOAD	
		FBC	NFPA 101	FBC	NFPA 101
RETAIL #1	2,850 SF	30	30	95	95
RETAIL #2	1,451 SF	30	30	48	48
TOTAL OCCUPANT LOAD				143	143

- 6. LIFE SAFETY NOTES**
- PURPOSE OF LIFE SAFETY PLAN IS FOR REFERENCE TO ESSENTIAL FIRE PROTECTION, DETECTION AND LIFE SAFETY COMPONENTS, THEY SHALL NOT BE USED FOR INSTALLATION OF EQUIPMENT AND DEVICES FOR EXACT LOCATIONS REFER TO DRAWINGS PREPARED BY MEP & FP ENGINEERS.
 - ALL PLANS SHALL COMPLY WITH FFPC 2023, EIGHTH EDITION, CH 11.8
 - DOORS SHALL BE ARRANGED TO BE READILY OPENED FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF KEY, TOOLS, SPECIAL KNOWLEDGE, OR EFFORT FOR OPERATION FROM THE INSIDE OF THE BUILDING
 - A DOOR DESIGNED TO NORMALLY BE KEPT CLOSED IN A MEAN OF EGRESS, SUCH A DOOR TO A STAIR ENCLOSURE OR HORIZONTAL EXIT, SHALL BE SELF-CLOSING DOOR & SHALL NOT, AT ANY TIME BE SECURED IN THE OPEN POSITION
 - THE MINIMUM WIDTH OF ANY EXIT ACCESS SHALL BE AS SPECIFIED FOR INDIVIDUAL OCCUPANCIES BY CHAPTER 8 THRU 30 (NFPA) - BUT IN NO CASE SHALL SUCH WIDTH BE LESS THAN 36"
 - ALL WALKING SURFACES SHALL BE IN COMPLIANCE WITH FFPC 7.1.6.3 AND 7.1.6.4
 - FLOOR SURFACES ON BOTH SIDES OF DOOR SHALL HAVE NO LESS THAN 1/2" CHANGE IN ELEVATION 101-7.2.1.3 NFPA.
 - ALL DOORS ALONG AN ACCESSIBLE ROUTE SHALL HAVE 'U' TYPE LEVER & COMPLY W F.A.C. 4.13.9.
 - FIRE EXTINGUISHERS: OWNER TO PROVIDE ONE (1) FIRE EXTINGUISHER 2A 10 BC TYPE FOR EACH 3,000 sq.ft. OF BUILDING AREA W/ A 75' (max) TRAVEL DISTANCE, AS PER THE FBC & NFPA 101, TAGGED & MOUNTED @ 48" AFF. SEE FLOOR PLAN FOR LOCATIONS.
 - INTERIOR FINISHES: INTERIOR WALL AND CEILING FINISH MATERIAL COMPLYING WITH SECTION 10.2 SHALL BE CLASS A OR CLASS B IN EXITS AND EXIT ACCESS CORRIDORS (NFPA 101 SECTION 30.3.3.2.1) INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS A, CLASS B OR CLASS C IN AREAS OTHER THAN THOSE SPECIFIED IN NFPA 101 SECTION 30.3.3.2. INTERIOR FLOOR FINISH IN EXIT ENCLOSURES SHALL BE CLASS I OR CLASS II. INTERIOR FLOOR FINISH SHALL COMPLY WITH NFPA 101 SECTION 10.2.7.1 OR 10.2.7.2, AS APPLICABLE.
 - AUTOMATIC FIRE SPRINKLER SYSTEM NOT REQUIRED
 - FIRE ALARM SYSTEM NOT REQUIRED
 - SEE ELECTRICAL DRAWINGS FOR SMOKE/CARBON DETECTOR, HORN/STROBE FIXTURE'S LOCATION, EMERGENCY LIGHTS, SPECS & NOTES.
 - PER NFPA 1 11.10 MINIMUM RADIO STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ. IF NOT ACCEPTABLE A TWO-WAY RADIO COMMUNICATION ENHANCED SYSTEM (BDA) SHALL BE INSTALLED.



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PROJECT TITLE
633 W HALLANDALE BEACH
BOULEVARD
HALLANDALE BEACH, FLORIDA 33009

SHEET TITLE
GROUND LEVEL
LIFE SAFETY PLAN

REVISIONS

No.	DATE	DESCRIPTION
3	12.23.25	CITY COMMENTS

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DATE: 05.27.26
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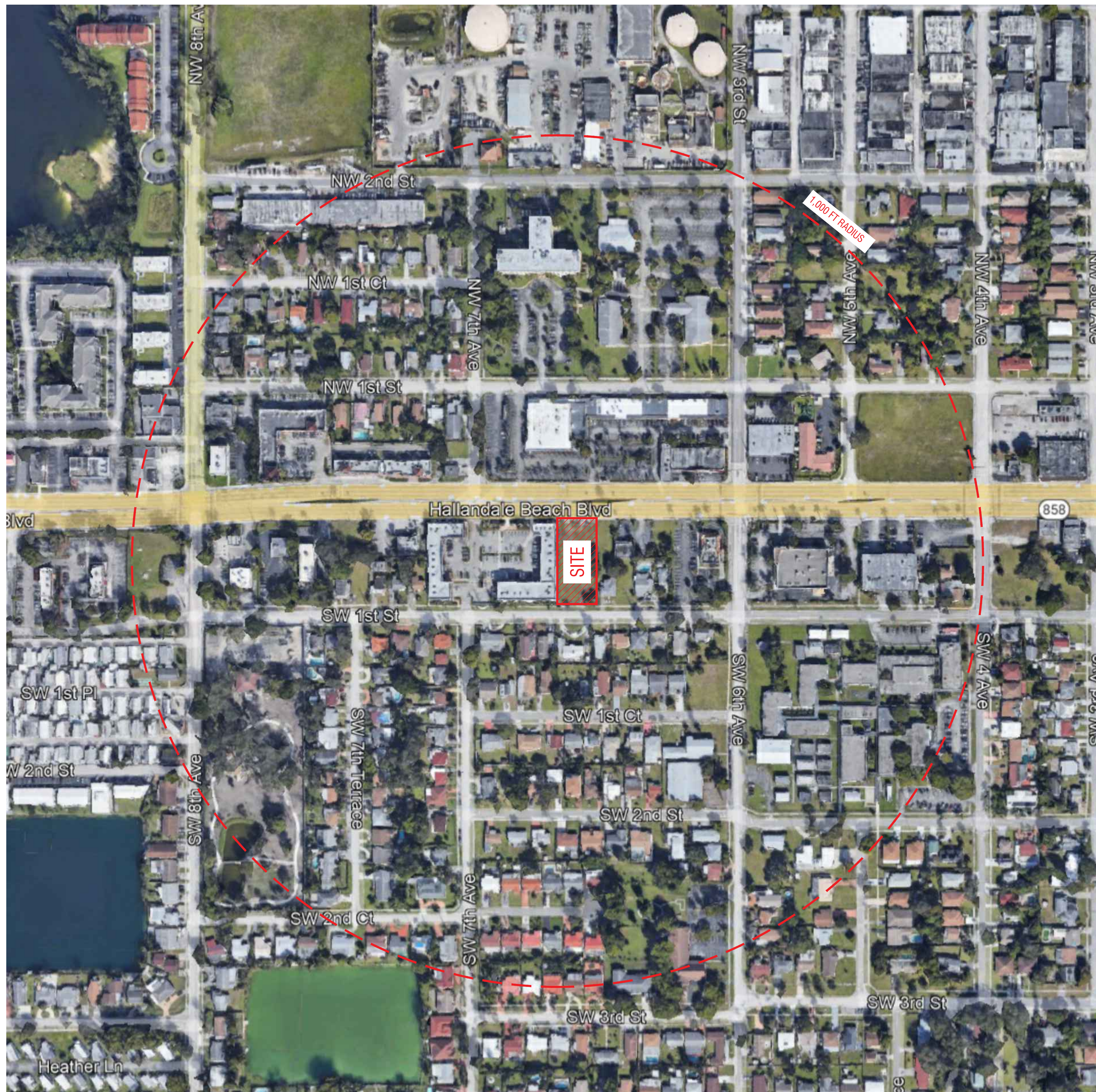
SHEET

LS-1.0

1 GROUND LEVEL
3/16" = 1'-0"

2 DATA
N.T.S.

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PROPERTY ADDRESS

633 W HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FL 33009

FOLIO

5142-28-12-0130

LEGAL DESCRIPTION

BENNETT-PIPES FIRST ADD 18-5-B LOTS 5 & 6 LESS N 25 TOG W/ LOTS 21 & 22 BLK 1

JURISDICTION

CITY OF HALLANDALE BEACH
BROWARD COUNTY
STATE OF FLORIDA

BUILDING CODES

FLORIDA BUILDING CODE 2023 8th EDITION
NFPA 1, NFPA 101, LIFE SAFETY CODE, 2023 EDITION - FIRE CODE, 2023 EDITION
CITY OF HALLANDALE BEACH ZONING CODE

SITE INFORMATION

	EXISTING	PROPOSED
ZONING:	HALLANDALE BEACH BOULEVARD WEST	
BUILDING USE:	VACANT LOT	COMMERCIAL
FUTURE LAND USE DESIGNATION:	GENERAL COMMERCIAL	
NET LOT AREA:	+/- 22,500 SQFT - 0.517 ACRES	

FEMA FLOOD HAZARD: ZONE-X (0.2% ANNUAL CHANCE OF FLOOD HAZARD)

BUILDING INTENSITY

	ALLOWED	PROVIDED
LOT COVERAGE	20,250 (90%)	17,483 S.F. (77%)
BUILDING FOOT PRINT	N/A	4,671 SF
NUMBER OF FLOORS	8	1
BUILDING HEIGHT	MIN. 20' - MAX. 100'	20' - 0"

BUILDING INFORMATION

	PROVIDED
TYPE OF CONSTRUCTION	V-B
SPRINKLER (NON-REQUIRED)	NO
FIRE ALARM (NON-REQUIRED)	NO
EXTERIOR WALL OPENING	EAST SIDE = 28% (MAX. ALLOWED = 100%) WEST SIDE = 0% (ALLOWED = 0%)
EXTERIOR WALL FIRE RATING	2 HOURS
ALLOWABLE NUMBER OF STORIES	1 STORY - 20' (MAX. ALLOWED = 1 STORY - 40' - NS)
TYPE V-B CONSTRUCTION (M OCCUPANCY)	
NON-SPRINKLERED	

PARKING CALCULATION:

	REQUIRED	PROVIDED
RETAIL (1,300 SF) + 4,671 SF / 300	15	18
EV CHARGING PARKING SPACES	1	4
HANDICAPPED SPACE	1	1
TOTAL	= 17 SPACES	= 23 SPACES

LOADING:

	REQUIRED	PROVIDED
COMMERCIAL 1:6,000 SF	NOT REQ. LESS THAN 6,000 SF	0 SPACE
BICYCLE PARKING	2	4

SETBACKS:

	REQUIRED	PROVIDED
(a) FRONTAGE (NORTH)	MIN. = 15'-0" • MAX. = 20'-0"	10'-0"
(b) SIDE INTERIOR (EAST)	MIN. = 0'-0"	5'-0"
(c) SIDE INTERIOR (WEST)	MIN. = 0'-0"	0'-0"
(d) REAR (SOUTH)	MIN. = 10'-0"	139'-6"

LANDSCAPE

	REQUIRED	PROVIDED
IMPERVIOUS AREA		
PARKING, SIDEWALKS & DRIVES	20,250 S.F. (90%) MAX	17,483 S.F. (77%)
PERVIOUS AREA	2,250 S.F. (10%) MIN	5,014 S.F. (23%)
LANDSCAPE AREAS (TOTAL)		

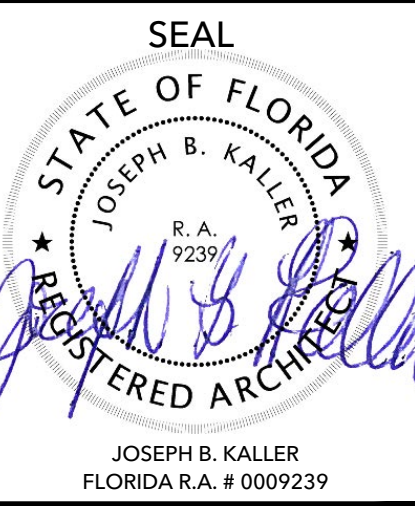
VARIANCES

	REQUIRED	PROVIDED
1. SETBACKS FRONTAGE (NORTH)	15'-0"	10'-0"
2. STREETSCAPE WIDTH	20'-0"	16'-0"

GENERAL NOTE:
ALL BUILDINGS TO MAINTAIN/PROVIDE MINIMUM RADIO SIGNAL STRENGTH.



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PROJECT TITLE
633 W HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FLORIDA 33009

SHEET TITLE
SITE DATA

REVISIONS

No.	DATE	DESCRIPTION
1	07.24.24	CITY COMMENTS
2	09.30.24	CITY COMMENTS
3	12.23.25	CITY COMMENTS

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SHEET
A-1.0

FRONTAGE STANDARDS DEFINE ARCHITECTURE AND DESIGN COMPONENTS FOR THE ENTRANCE(S) TO BUILDINGS AND THE AREA FROM BUILDING FACADES TO STREETS. BUILDING SETBACKS AND OTHER DEVELOPMENT STANDARDS ARE COORDINATED WITH STREET CROSS-SECTIONS TO ENSURE A SUPERIOR PUBLIC REALM RESULTS, IMPROVING BOTH THE OVERALL VISUAL APPEARANCE AND USE OF STREETS.

(1) HALLANDALE BEACH BOULEVARD STREETScape STANDARDS. THE COMBINATION OF PUBLIC SIDEWALK (LOCATED WITHIN THE RIGHT-OF-WAY) AND HARDSCAPE (LOCATED IN FRONT SETBACK AREAS) SHALL PROVIDE A MINIMUM STREETScape AREA NO LESS THAN 20 FEET IN WIDTH, MEASURED FROM THE BACK OF CURB. THE STREETScape AREA SHALL BE ORGANIZED AS FOLLOWS:

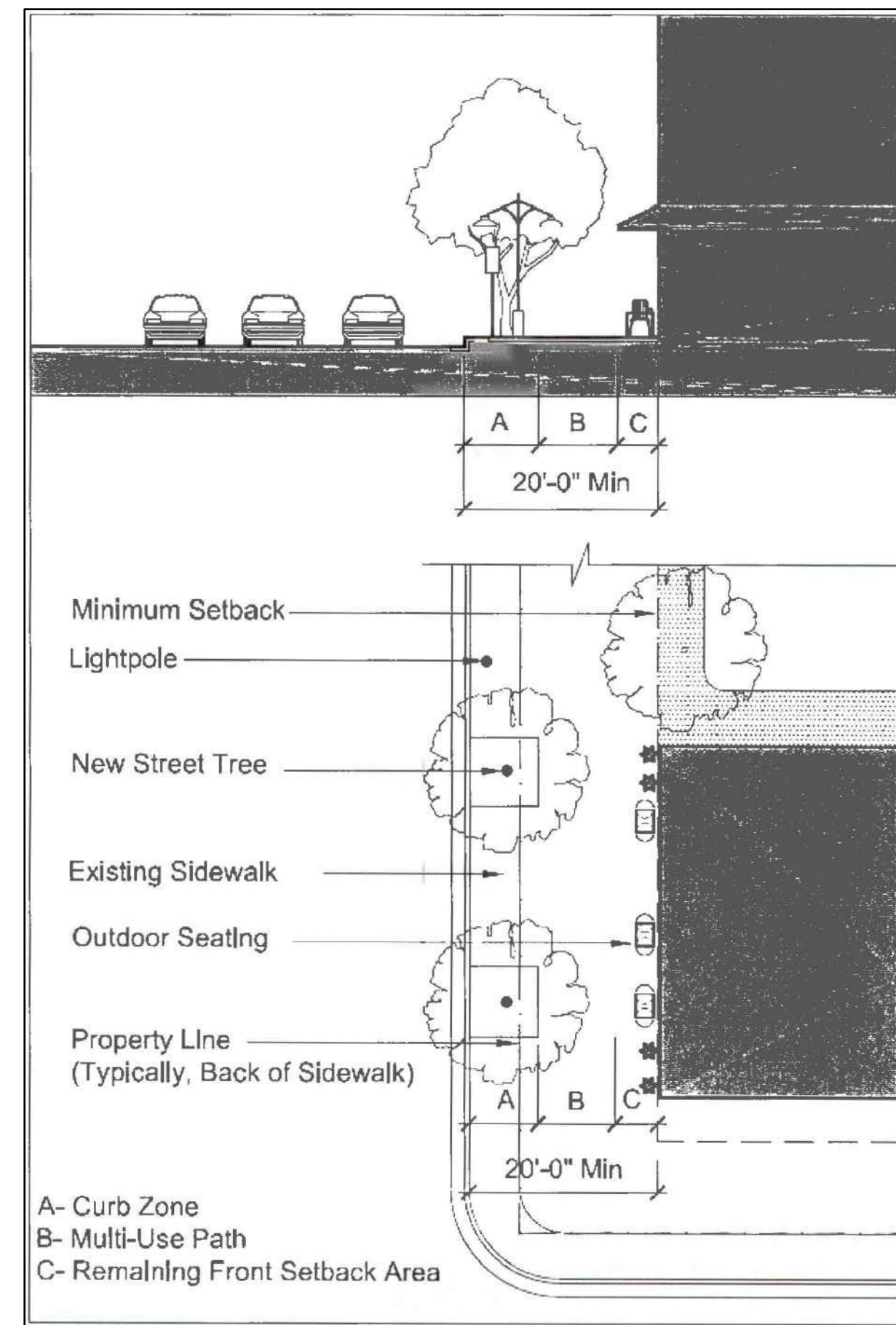
A. CURB ZONE. THE CURB ZONE IS AT LEAST FIVE FEET WIDE, MEASURED FROM THE BACK OF CURB TOWARD THE PROPERTY LINE (SEE FIGURE 32-212(A)). THIS ZONE ACCOMMODATES STREET TREES AND PUBLIC INFRASTRUCTURE NEEDS SUCH AS UTILITY POLES, STREETLIGHTS, STREET SIGNS, ETC. THESE ELEMENTS SHALL BE LOCATED AS CLOSE TO THE CURB AS POSSIBLE; SIGNS SHALL BE CONSOLIDATED AS MUCH AS POSSIBLE.

B. PEDESTRIAN WALKWAY AND MULTI-USE PATH. A TEN-FOOT WIDE MULTI-USE PATH SHALL BE PROVIDED ALONG HALLANDALE BEACH BOULEVARD AND A PEDESTRIAN WALKWAY AT LEAST SIX FEET WIDE SHALL BE PROVIDED ON ALL OTHER STREETScapeS. ANY PORTION OF THE MULTI-USE PATH OR PEDESTRIAN WALKWAY WITHIN THE FRONT SETBACK AREA SHALL BE IMPROVED AS AN EXTENSION OF THE PUBLIC RIGHT-OF-WAY AND SHALL MATCH THE DESIGN AND MATERIAL, PROVIDING A SEAMLESS PHYSICAL TRANSITION. A SIDEWALK EASEMENT, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, OVER ANY PORTION OF THE MULTI-USE PATH OR PEDESTRIAN WALKWAY LOCATED WITHIN THE FRONT SETBACK SHALL BE GRANTED TO THE CITY. THE PROPERTY OWNER SHALL ALSO BE REQUIRED TO ENTER INTO A MAINTENANCE AGREEMENT, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, REQUIRING THE PROPERTY OWNER TO BE RESPONSIBLE FOR AND MAINTAIN ANY IMPROVEMENTS MADE OR INSTALLED BY THE OWNER TO MEET THE REQUIREMENTS OF THIS SECTION.

C. REMAINING FRONT SETBACK AREA. THE REMAINING FRONT SETBACK AREA WITHIN THE MINIMUM 20-FOOT WIDE STREETScape SHALL BE DETAILED APPROPRIATELY FOR THE GROUND STORY USE OF THE BUILDING:

1. COMMERCIAL USES. BUILDINGS WITH RETAIL OR COMMERCIAL USES IN THE GROUND STORY SHALL DETAIL AND DESIGN ANY REMAINING FRONT SETBACK AREA WITHIN THE 20-FOOT WIDE MINIMUM STREETScape AREA USING A HARDSCAPE DESIGN. THIS PORTION MAY BE USED TO ACCOMMODATE OUTDOOR DINING AREAS, SUBJECT TO SECTION 32-420. LANDSCAPING COMPRISED OF PLANTS IN REMOVABLE PLANTERS, PALMS, AND/OR GROUND PLANTING MAY BE INSTALLED ADJACENT TO THE BUILDING PROVIDED IT DOES NOT OBSTRUCT VIEWS INTO STOREFRONT WINDOWS.

2. RESIDENTIAL USES. BUILDINGS WITH RESIDENTIAL USES IN THE GROUND STORY SHALL DETAIL AND DESIGN ANY REMAINING FRONT SETBACK AREA WITHIN THE 20-FOOT WIDE MINIMUM STREETScape AREA USING HARDSCAPE OR LANDSCAPING. THE ENCROACHMENT OF STOOPS IN THIS AREA MAY BE PERMITTED, PURSUANT TO SECTION 32-201(A)(2).



(2) STREET TREES. STREET TREES SHALL BE INSTALLED AS SET FORTH IN SUBSECTION 32-201(C).

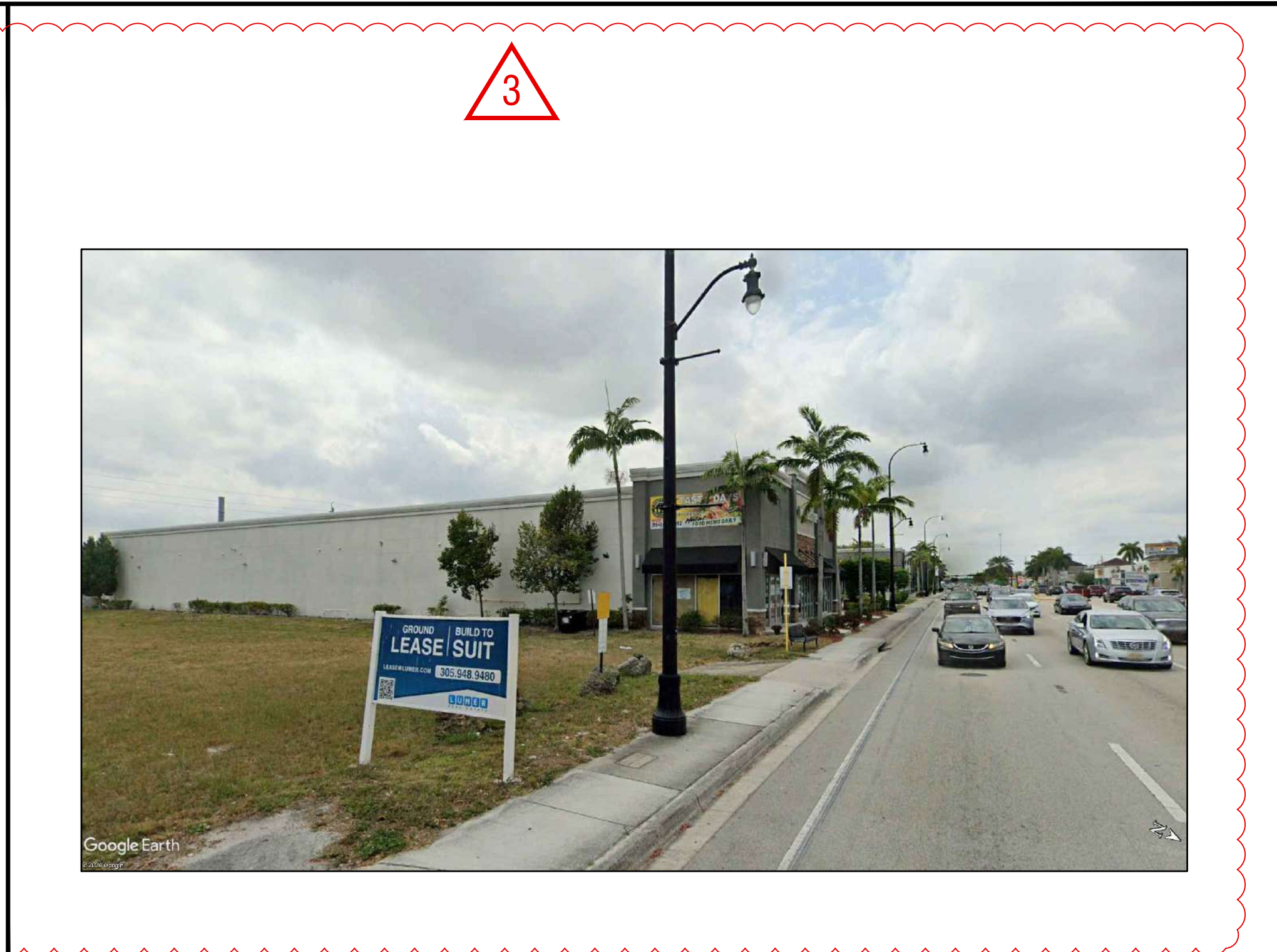
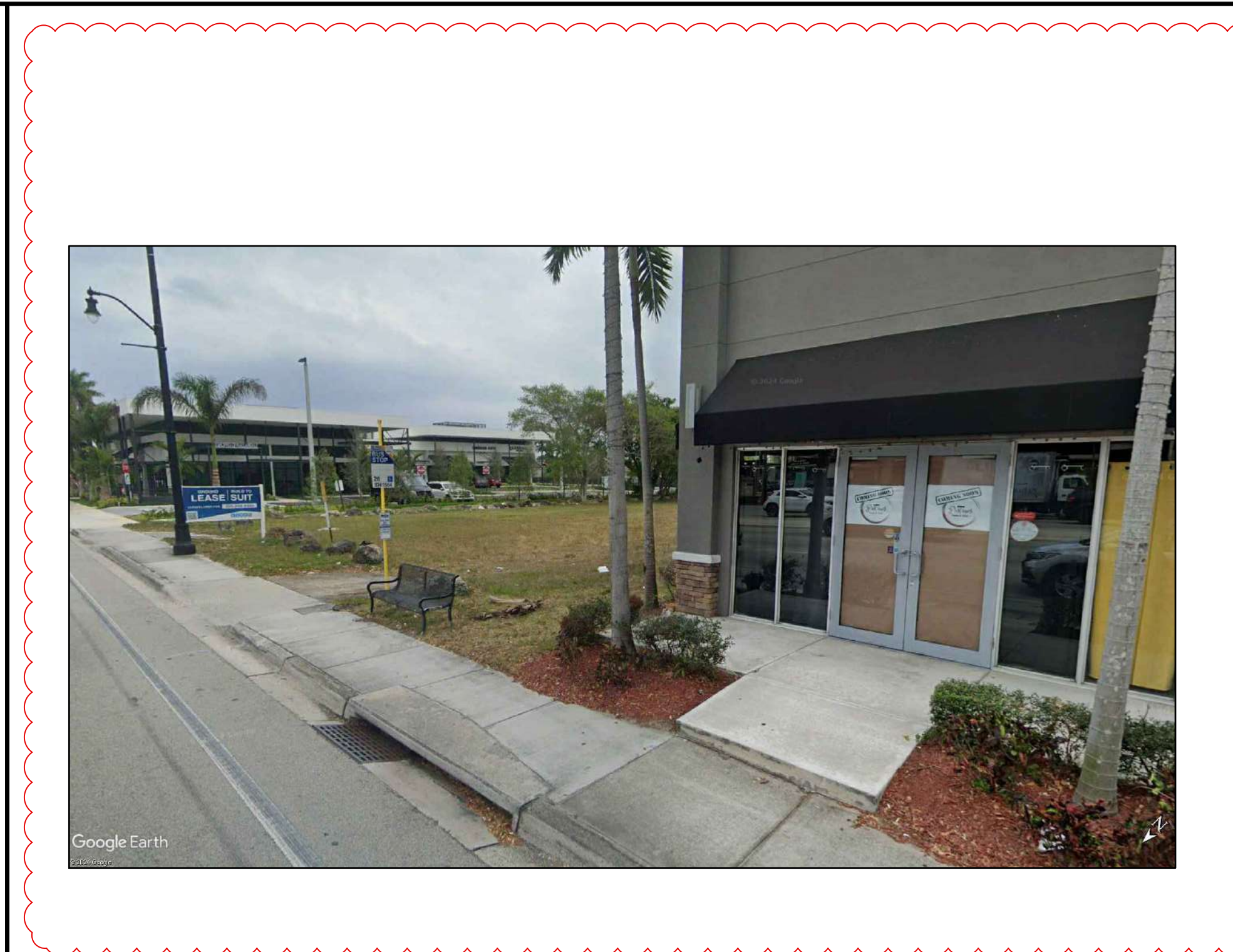
(3) FRONTAGE TYPES

A. THE MAIN ENTRANCE(S) TO GROUND STORY LOBBIES OR COMMERCIAL SPACE(S) SHALL BE DIRECTLY FROM AND FACE A PUBLIC RIGHT-OF-WAY OR CIVIC OPEN SPACE. DOORS ALLOWING PUBLIC ACCESS SHALL OCCUR AT INTERVALS NO GREATER THAN 75 FEET ALONG THE MAIN FAÇADE.

B. BUILDING ENTRANCES SHALL USE AT LEAST ONE OF THE FOLLOWING FRONTAGE TYPES DETAILED IN SUBSECTIONS 32-201(A)(2) TO (A)(7):

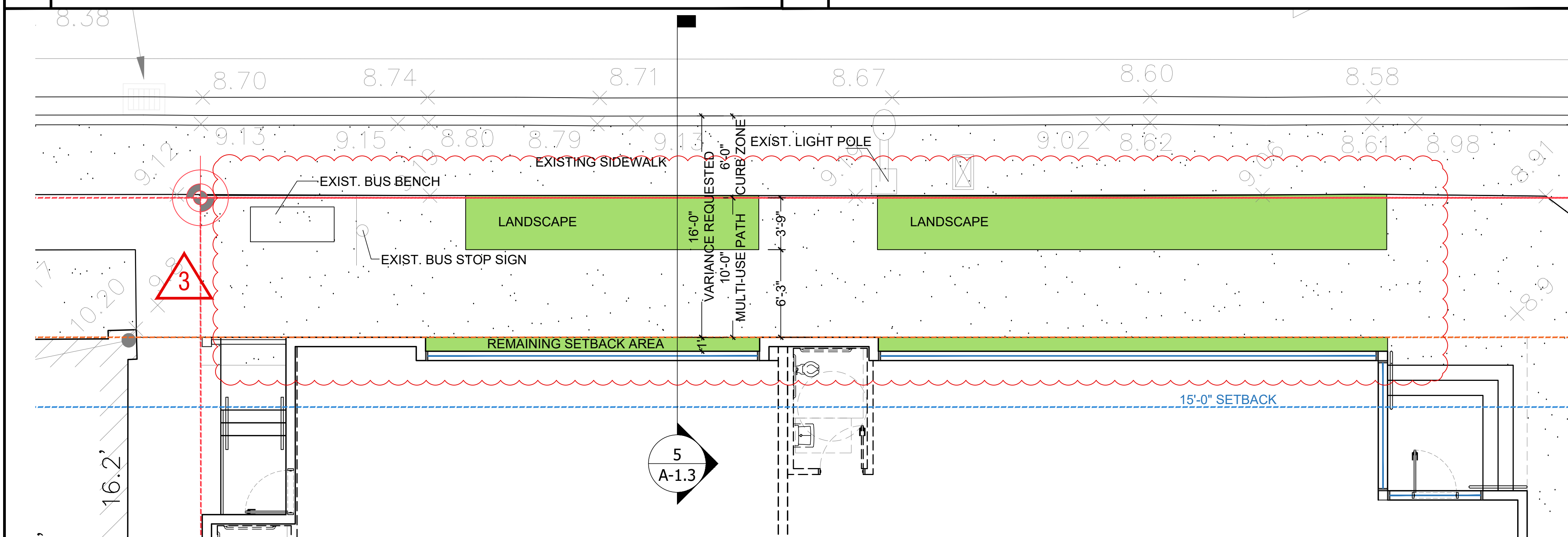
1. STOOP.
2. FORECOURT.
3. BRACKETED BALCONY.
4. STOREFRONT.
5. ARCADE/COLONNADE.
6. LOBBY ENTRY.

(4) HALLANDALE BEACH BOULEVARD DESIGN GUIDELINES. PLEASE REFER TO THE HALLANDALE BEACH BOULEVARD DESIGN GUIDELINES FOR DESIGN TECHNIQUES AND STRATEGIES.

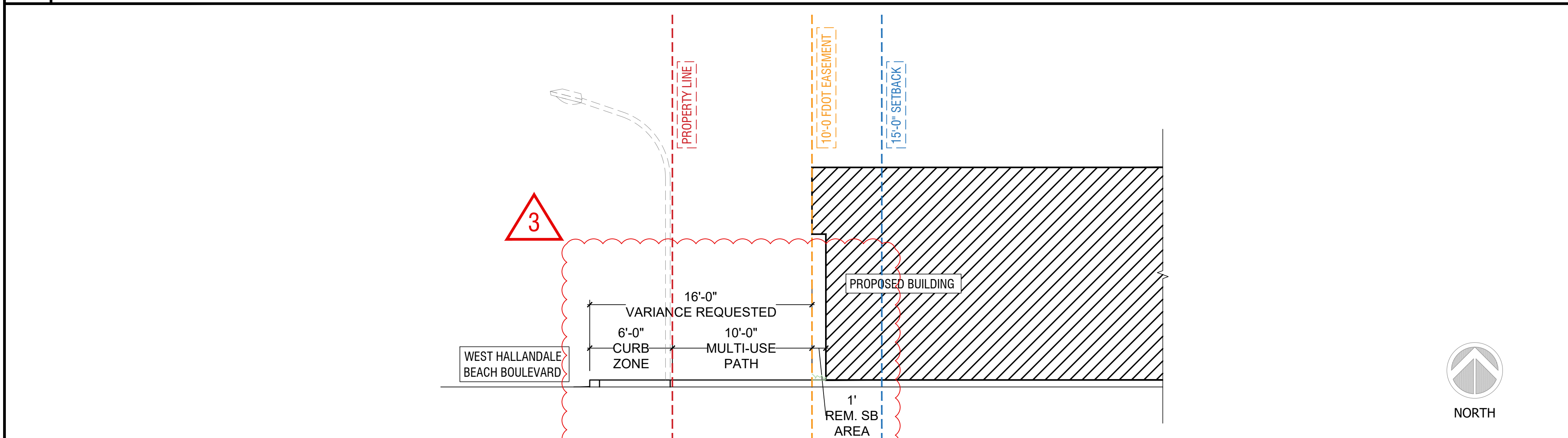


2 EXISTING CONDITIONS

3 EXISTING CONDITIONS



4 ENLARGED SITE PLAN

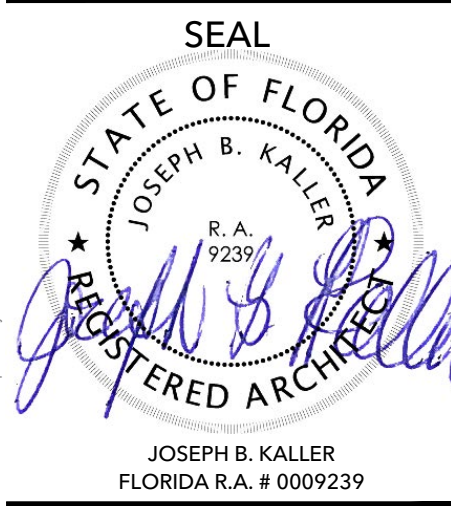


5 PROPOSED STREETScape

1 REQUIRED STREETScape / PER SEC. 32-212 - FRONTAGE STANDARDS



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PROJECT TITLE
633 W HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FLORIDA 33009

SHEET TITLE
PROPOSED STREETScape

REVISIONS		
No.	DATE	DESCRIPTION
2	11.10.25	CITY COMMENTS
3	12.23.25	CITY COMMENTS

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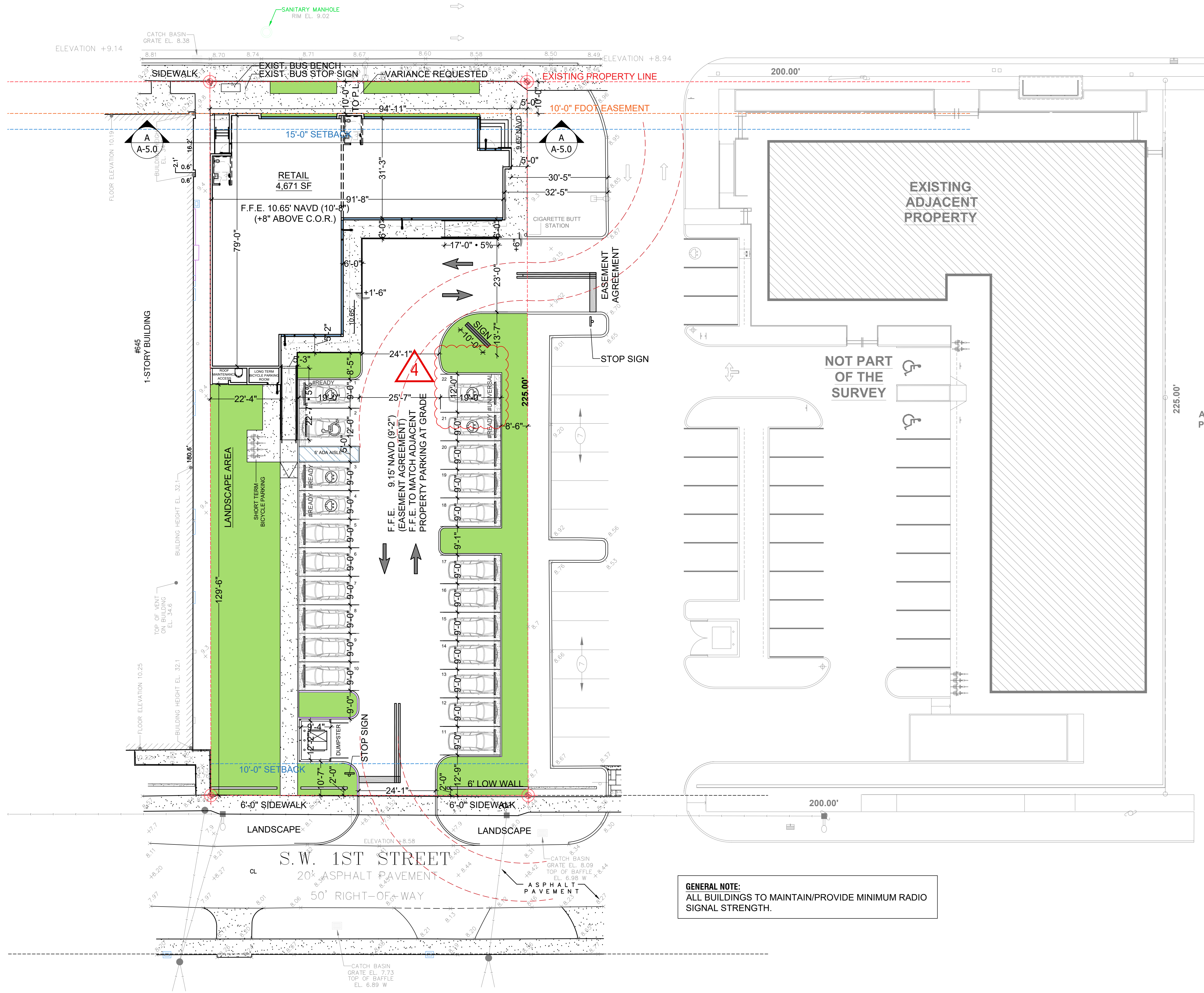
SHEET

A-1.3

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WEST HALLANDALE BEACH BOULEVARD

100' RIGHT OF WAY PER DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 86508-2605 APPROVED 7-26-79



GENERAL NOTE:
ALL BUILDINGS TO MAINTAIN/PROVIDE MINIMUM RADIO SIGNAL STRENGTH.

GREEN BUILDING NOTES:

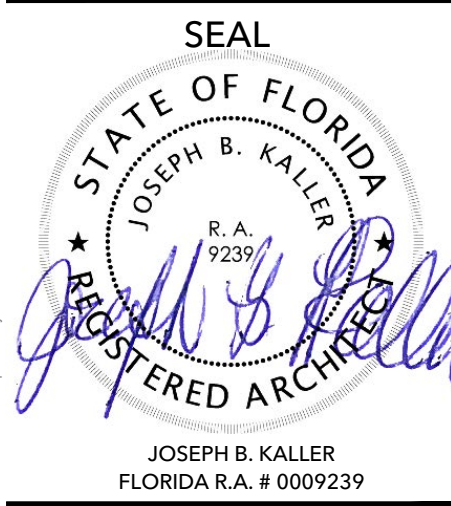
- *IN COMPLIANCE WITH SEC. 140 (9) OF HALLANDALE BEACH C.O.C.*
- (1-a) ALL APPLIANCES SHALL BE ENERGY STAR QUALIFIED APPLIANCES.
- (2-b) ROOFING MATERIAL SHALL HAVE A SOLAR REFLECTANCE INDEX (SRI) OF 82
- (3) ALL INDOOR WATER FIXTURES SHALL MEET U.S. EPA WATER SAVING SPECIFICATIONS.
- (4) ELECTRICAL ENGINEER SHALL LOCATE ELECTRICAL PANEL WITH CAPACITY TO SUPPORT A MINIMUM OF ONE 40-AMP 208/240 VOLT CIRCUIT IN PARKING AREA.

EACH DEVELOPMENT TYPE IN SUBSECTION 32-787(K) SHALL MEET THE MINIMUM NUMBER POINTS FROM AT LEAST FOUR DIFFERENT CATEGORIES IN TABLE 8-40(b), THE SUSTAINABILITY WORKSHEET.

TABLE 8-40 (b) SUSTAINABILITY WORKSHEET		ENHANCED - 75 POINTS	
TOPIC	POINTS	SUBMITTED POINTS	
1.4 - HEAT ISLAND REDUCTION USE ANY COMBINATION OF THE FOLLOWING STRATEGIES FOR 50% OF THE NON-ROOF IMPERVIOUS SITE LANDSCAPE (INCLUDING ROADS, SIDEWALKS, COURTYARDS, PARKING LOTS, AND DRIVEWAYS): (1) PROVIDE SHADE FROM THE OPEN STRUCTURES SUCH AS THOSE SUPPORTING SOLAR PANELS, CANOPIES, WALKWAYS, PERGOLAS, ALL WITH A SOLAR REFLECTANCE INDEX (SRI) OF AT LEAST 29 (2 POINTS); (2) USE PAVING MATERIALS WITH A SRI OF AT LEAST 29 (1 POINT); (3) USE AN OPEN GRID PAVEMENT SYSTEM (AT LEAST 50% PERVIOUS) (2 POINTS).	1 TO 5	2	
1.5 - COOL WALLS USE WHITE OR COOL LIGHT COLORS FOR THE BODY OF BUILDINGS TO REFLECT RATHER THAN ABSORB HEAT AND REDUCE COOLING COSTS. ACCENT AND TRIM COLORS ARE NOT LIMITED TO THESE CHOICES.	2	2	
2.2 CIGARETTE BUTT STATION ONE POINT PER APPROVED CIGARETTE BUTT STATION WITH A MAXIMUM OF 2 POINTS	1 TO 2	2	
3.1 MINIMUM OPEN SPACE PROVIDE COMMON OPEN SPACE THAT EXCEEDS THE CODE'S BASE REQUIREMENTS BY 10%. FIVE ADDITIONAL POINTS GRANTED FOR EACH ADDITIONAL 10% UP TO A TOTAL OF 40% ABOVE CODE.	5 TO 20	10	
3.3 COMMUNITY GARDENS FOR RESIDENTIAL OR MIXED-USE PROJECTS, DEDICATE PERMANENT AND VIABLE GROWING SPACE AND RELATED FACILITIES (SUCH AS GREENHOUSES) WITHIN THE PROJECT AT A MINIMUM OF TEN SQUARE FEET PER DWELLING UNIT FOR 20% OF THE PROJECT. PROVIDE FENCING, EFFICIENT WATERING SYSTEMS, SOIL, AND/OR GARDEN BED ENHANCEMENTS (SUCH AS RAISED BEDS), SECURE STORAGE SPACE FOR GARDEN TOOLS, SOLAR ACCESS, AND PEDESTRIAN ACCESS FOR THESE SPACES.	10	10	
3.4 TREE CANOPY PROVIDE TREES IN AN AMOUNT WHICH EXCEEDS THE BASE REQUIREMENTS OF SECTION 32-384 BY 10%. TWO ADDITIONAL POINTS GRANTED FOR EACH ADDITIONAL 10% UP TO 50% ABOVE CODE.	2 TO 10	8	
4.1 CHARGING STATIONS FOR NEW BUILDINGS, PROVIDE EV CHARGING STATIONS IN THE PARKING AREA. TWO POINTS PER STATION WITH MAXIMUM 10 POINTS.	2 TO 10	10	
5.1 WATER EFFICIENT PLANTS TO THE EXTENT POSSIBLE, ALL LANDSCAPING PLANTS, INCLUDING THOSE ON GREEN ROOFS, SHALL BE SELECTED FROM A LIST OF WATER-EFFICIENT VEGETATION MAINTAINED BY THE FLORIDA YARDS AND NEIGHBORHOODS HANDBOOK FROM THE UNIVERSITY OF FLORIDA OR SOUTH FLORIDA WATER MANAGEMENT DISTRICTS' WATERWISE GUIDE, AND UTILIZE THE PRINCIPLES OF FLORIDA FRIENDLY LANDSCAPING.	2	2	
7.1 ABOVE-CODE GREEN BUILDING CERTIFICATION DESIGN AND BUILD THE PROJECT TO MEET THE STANDARDS OF AN ABOVE-CODE PROGRAM SUCH AS LEED, GREEN GLOBES, FGB, LIVING BUILDING CHALLENGE, ETC. AS A GOOD FAITH DEMONSTRATION OF THE DEVELOPER'S INTENT, THE APPLICANT WILL UTILIZE SOLAR ENERGY TO POWER THE PROJECT OR ACHIEVE GREEN BUILDING CERTIFICATION DEMONSTRATING THE METHOD THAT WILL BE USED TO ACHIEVE SAID CERTIFICATION. THE MOST RECENT LEED SCORECARD, OR EQUIVALENT GREEN BUILDING CERTIFICATE CHECKLIST SHALL BE SUBMITTED DEPENDING ON THE CERTIFICATION THE DEVELOPER IS SEEKING.	30	30	
TOTAL SUBMITTED POINTS		76	



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PROJECT TITLE
633 W HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FLORIDA 33009

SHEET TITLE
PROPOSED SITE PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	07.24.24	CITY COMMENTS
2	09.30.24	CITY COMMENTS
3	12.23.25	CITY COMMENTS
4	04.09.26	CITY COMMENTS

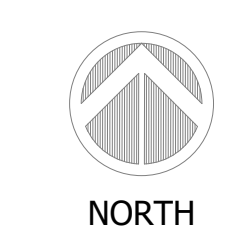
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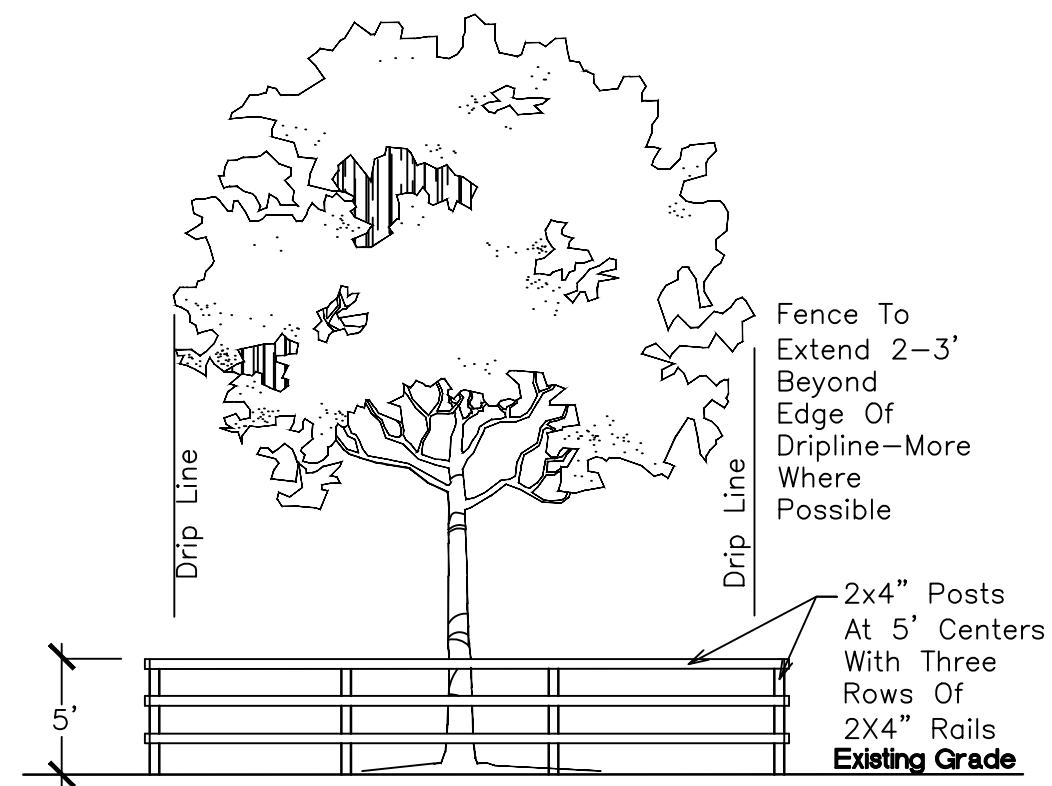
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DATE: 05.27.26
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1 SITE PLAN
1/16" = 1'-0"





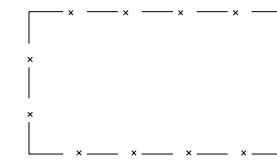
NOTE:
From The Start And Throughout The Duration Of The Project:
Contractor To Install A Wood Fence Barrier To Form A
Continuous Circle Around The Tree Or All Existing Trees To
Remain.

Contractor Shall Take Extra Care During Earthwork And Utility
Operations To Protect All Existing Trees And Shall Be
Responsible To Replace Any Damaged Trees During
Construction.

EXISTING TREE PROTECTION DETAIL

NTS

Before Construction Begins,
Contractor To Install and
Maintain Tree Protection
Fencing Around Existing Trees
As Shown. See Existing Tree
Protection Detail This Sheet



Existing Tree Disposition List

Guide for Plant Appraisal, 9th Edition
Location: 633 W. Hallandale Beach Blvd.
Date: 11/13/2023

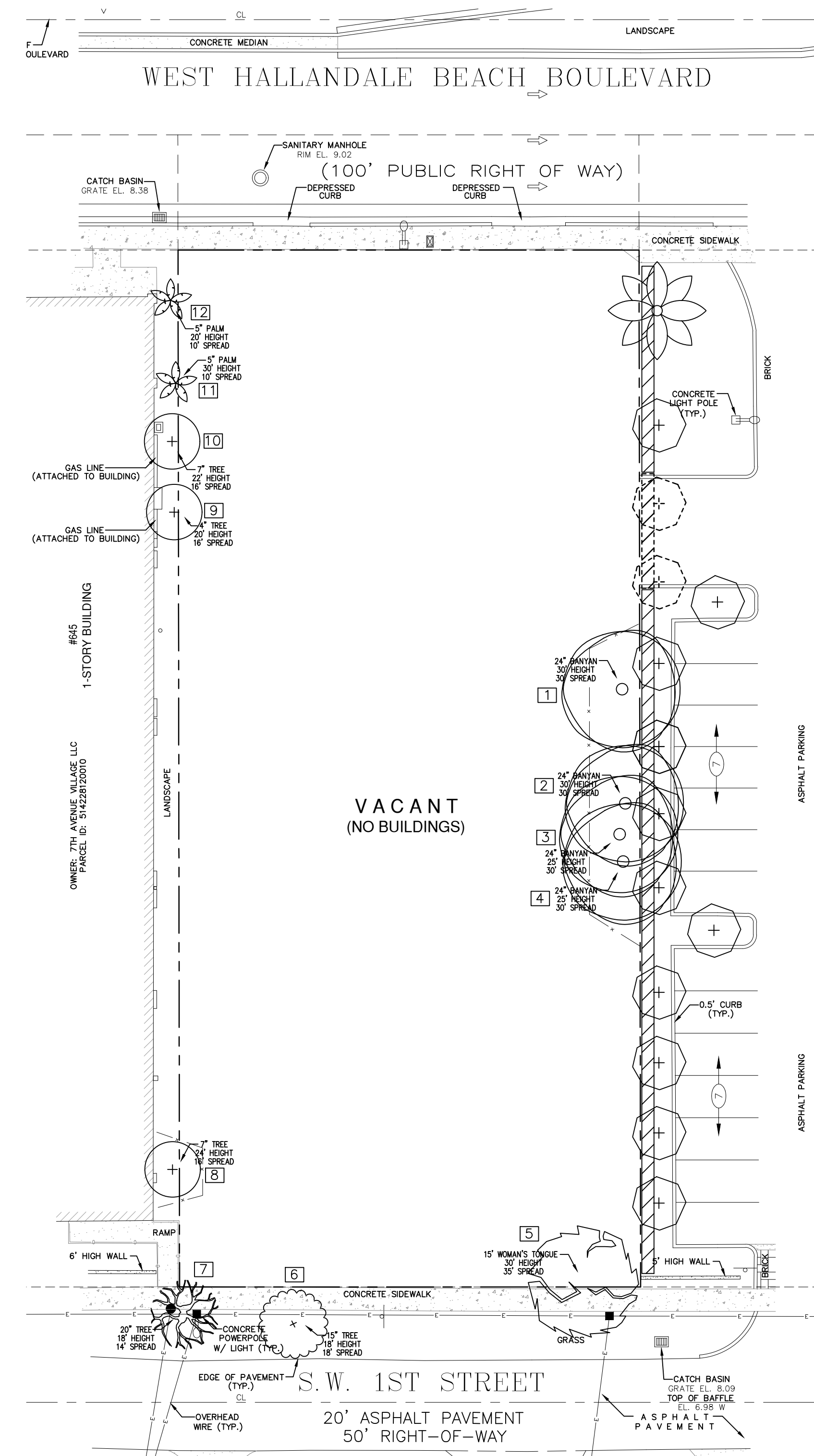
Appraiser: Thomas White, ASLA-ISA,
Landscape Architect FL #LA1100
ISA Arborist #FL-5248A

Tree #	Botanical Name / Common Name	DBH (Inches)	HT (Feet)	Canopy (Feet)	Disposition	Condition	Mitigation Required
1	Ficus benghalensis / Banyan Tree	30	25	30	Remove	Fair	NO
2	Ficus benghalensis / Banyan Tree	22	25	30	Remove	Poor	NO
3	Ficus benghalensis / Banyan Tree	22	25	30	Remove	Poor	NO
4	Ficus benghalensis / Banyan Tree	24	25	30	Remove	Very Poor	NO
5	Albizia lebbek / Women's tongue-lebbeck	17	30	40	Remove	Extremely Poor	NO
6	Lagerstroemia indica / Crape Myrtle	23	20	15	Remove	Fair	NO
7	Schefflera actinophylla / Umbrella Tree	18	15	12	Remove	Very Poor	NO
8	Coccoloba diversifolia / Pigeon Plum	8	25	12	Remain	Good	NA
9	Coccoloba diversifolia / Pigeon Plum	4	25	10	Remove	Very Poor	NO
10	Coccoloba diversifolia / Pigeon Plum	6	25	10	Remove	Poor	NO

Existing Palm Disposition List

Palm #	Botanical Name / Common Name	DBH (Inches)	HT (Feet)	Canopy (Feet)	Disposition	Condition	Mitigation Required
11	Veitchia montgomeryana / Montgomery Palm	5	25	10	Remove	Fair	YES
12	Veitchia montgomeryana / Montgomery Palm	5	15	10	Remain	Good	NO

Palm Replacement = 1



Sunshine 811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

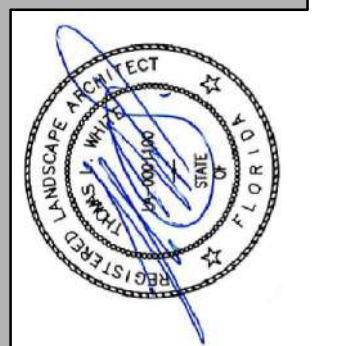
Thomas White Digitally signed by Thomas White
Date: 2024.08.19 18:02:16 -04'00'

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST,
tcwhite@bellsouth.net
954-253-2265

REVISIONS

NO.	DATE	DESCRIPTION
1	7-15-2024	Banyan trees removed per city request

Tree Survey / Disposition Plan
New Retail
633 W. Hallandale Beach Blvd.
Hallandale Beach, Florida 33009



DRAWN: TW
CHECKED: TW
DATE: 12-11-2023
SCALE: 1"=20'

Sheet No.
L-1
Sheet 1 Of 3

GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be filled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

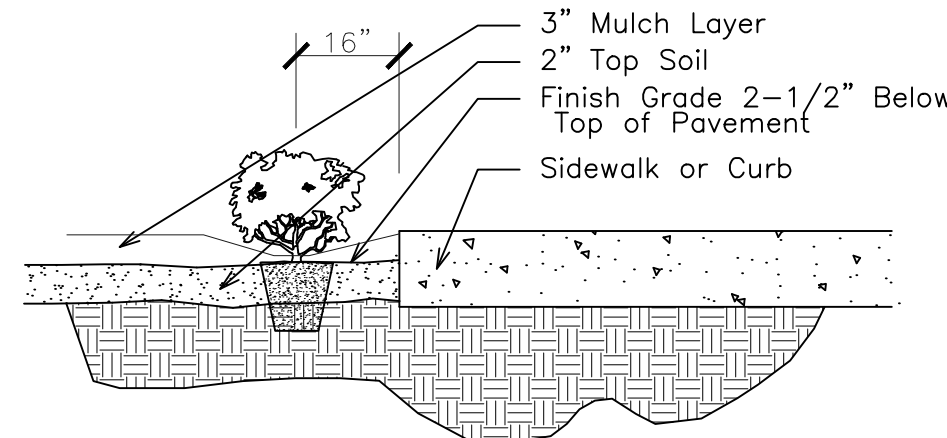
All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Spread mulch to 1" thickness 3' away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

All open areas not covered by trees, palms, shrubs, vines or ground covers shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All noted s.f. shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

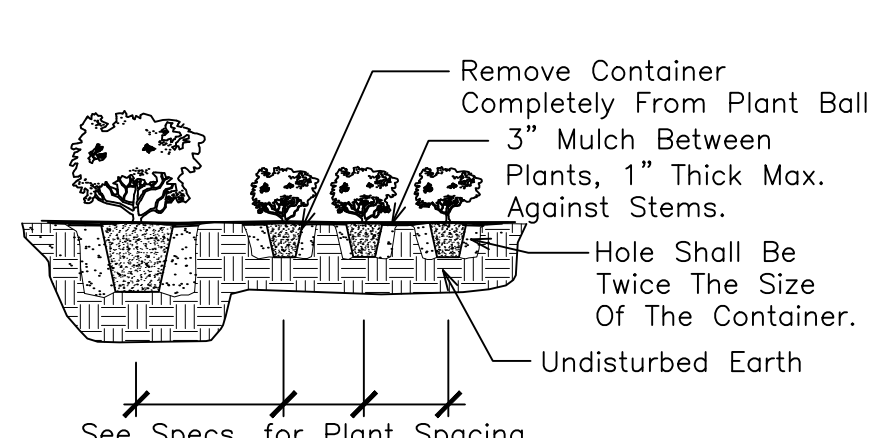
Please refer to the planting details for a graphic representation of the above notes.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of the Thomas White, ASLA-ISA. AKA Land Art Planning & Design, LLC.

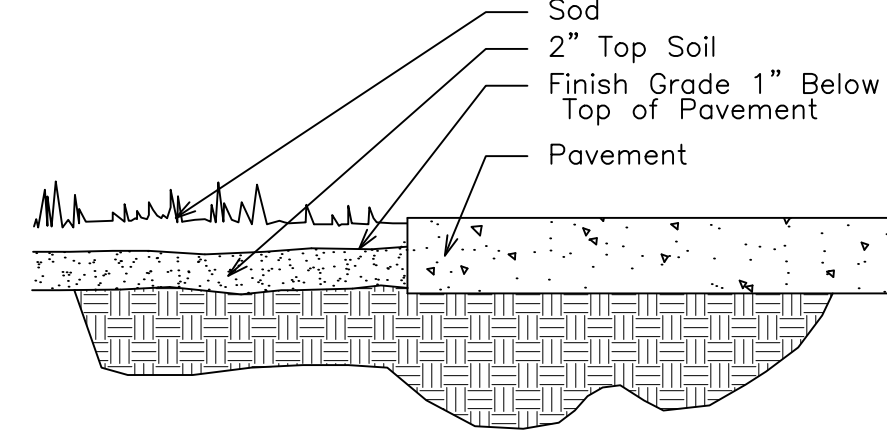
All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.



SHRUB INSTALLATION DETAIL
NTS



SHRUB PLANTING DETAIL
NTS



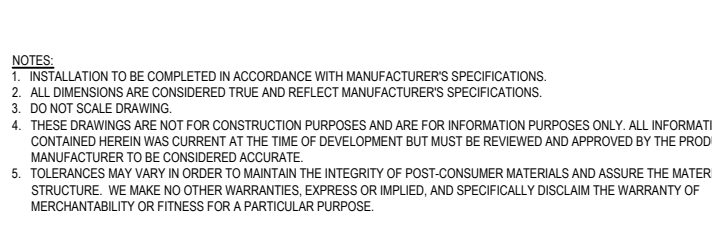
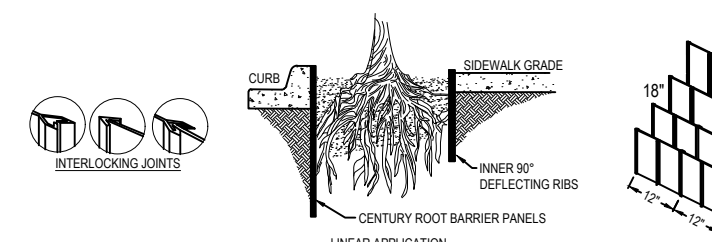
SOD INSTALLATION DETAIL
NTS

century root barrier

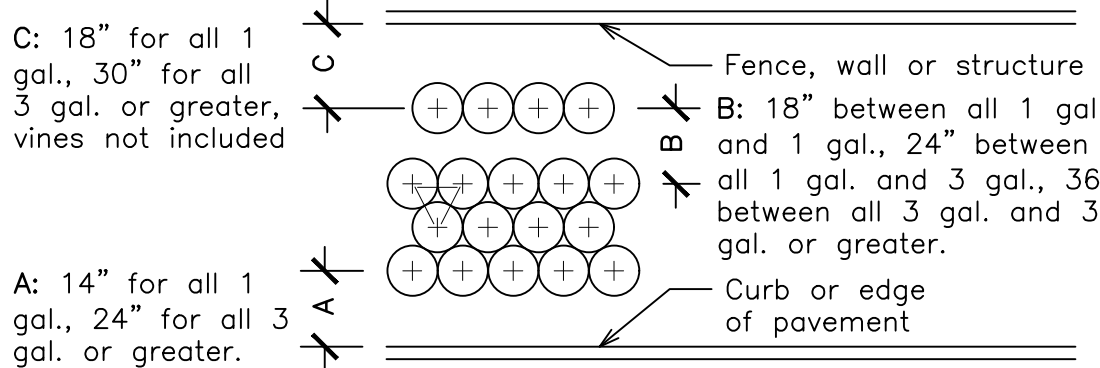
1144 N. GROVE ST.
ANN ARBOR, MI 48106
TOLL FREE: 1-800-480-8984
PHONE: (734) 622-7188
FAX: (734) 622-5479
www.centuryrootbarrier.com

INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

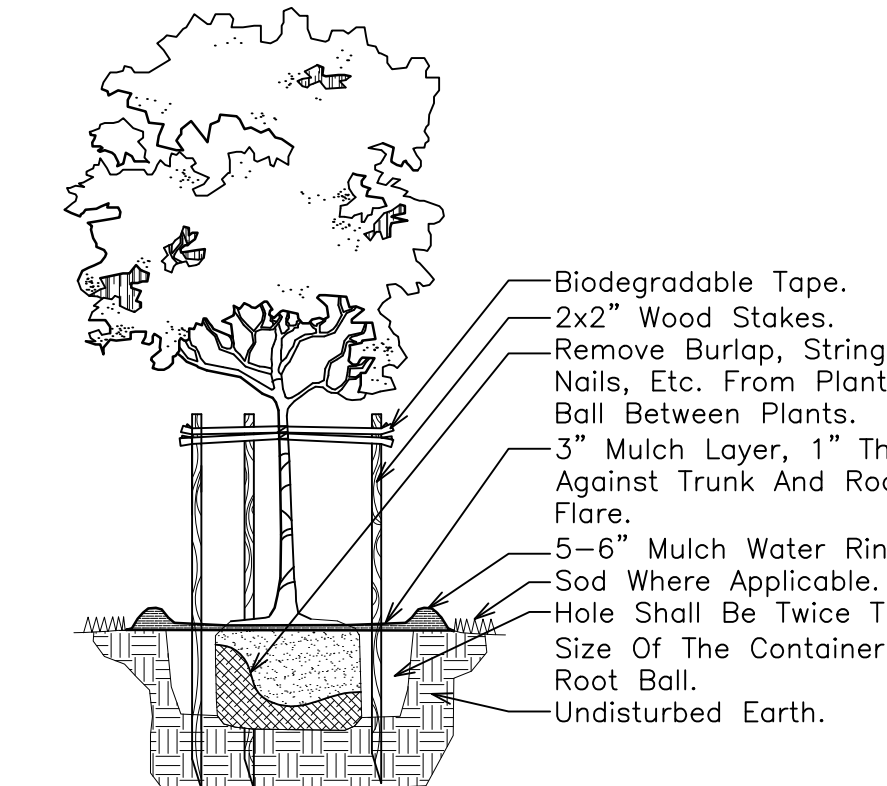
1. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN IS NOT TO BE USED AS THE BASIS OF ANY CONTRACT. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL INFORMATION.
4. MANUFACTURER'S TO BE CONSIDERED VOIDABLE.
5. TOLERANCES MAY VARY IN ORDER TO MAINTAIN THE INTEGRITY OF POST-CONSTRUCTION MATERIALS AND ASSURE THE MATERIAL STRUCTURE. WE MAKE NO OTHER WARRANTIES, EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIM THE WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.



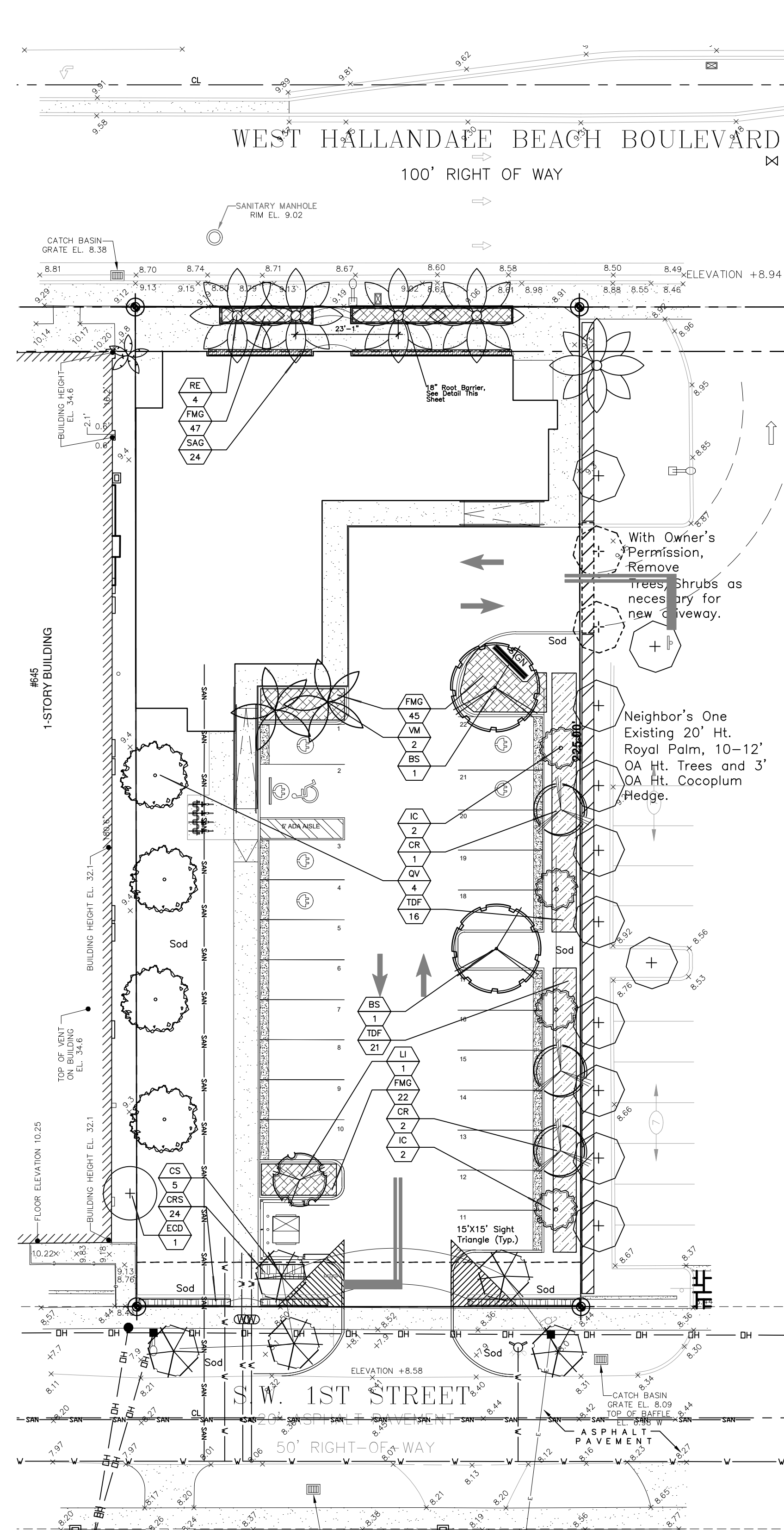
18" ROOT BARRIER DETAIL



TYPICAL SHRUB SPACING DETAIL
NTS

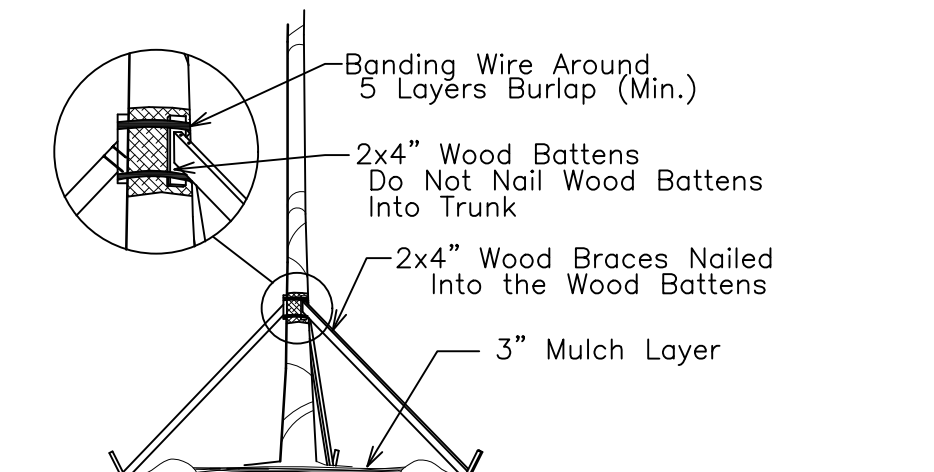


SMALL TREE PLANTING DETAIL
NTS

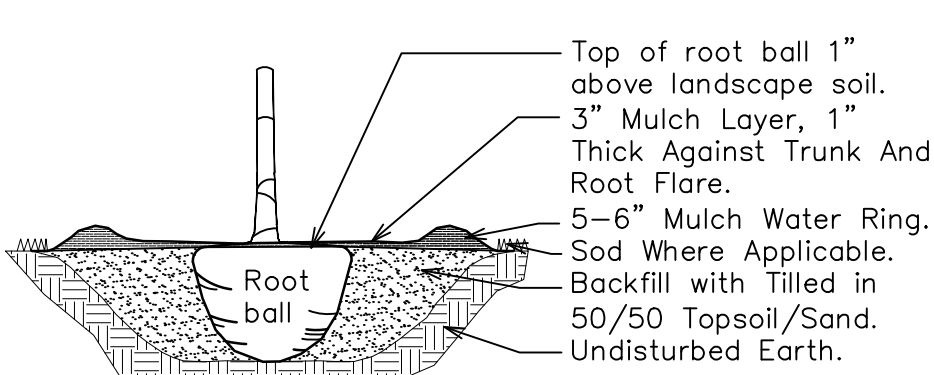


Plant List - 633 W Hallandale Bch Blvd

Code	Qty.	Botanical Name / Common Name	Caliper	Quality	Height at Planting	Drought	Native	Notes	Tree Credits	Total
PROPOSED STREET TREES (Off-Site)										
CS	3	Cordia sebestena / Orange Geiger	2"	FL#1 or Better	12' Sd.	V	(N)		1	3
PROPOSED STREET TREES (On-Site)										
RE	4	Roystonia alata / Florida Royal Palm	10"	FL#1 or Better	20' OA.Ht.	V	(N)		1	4
PROPOSED TREES/PALMS (On-Site)										
BS	2	Bursera si marubra / Gumbo Limbo	3"	FL#1 or Better	15' Sd.	V	(N)		1	2
CR	3	Clusia rosea / Fitch Apple	3"	FL#1 or Better	15' Sd.	V	(N)		1	3
CS	2	Cordia sebestena / Orange Geiger	3"	FL#1 or Better	15' Sd.	V	(N)		1	2
ECD	1	Exist. Coccoloba diversifolia / Pigeon Plum	8"	FL#1 or Better	15' Sd.	V	(N)		1	1
IC	4	Ilex cassine / Dahoon Holly	3"	FL#1 or Better	15' Sd.	V	(N)		1	4
LI	1	Lagerstroemia indica / Crape Myrtle	3"	FL#1 or Better	15' Sd.	V	(N)		1	1
QV	4	Quercus virginiana / Live Oak	3"	FL#1 or Better	15' Sd.	V	(N)		1	4
VM	2	Veitchia montgomeryana / Montgomery Palm	3"	FL#1 or Better	15' OA.Ht.	V			0.5	1
									Total Tree Credits Proposed	25
									Total Tree Credits Required	22
									Total Tree Credits Deficiency	0
SHRUBS										
CRS	24		7 Gal.	FL#1 or Better	42"	V	(N)	30" Spr., 36" OC		
SAG	24	Schefflera arboricola / Green Dwarf Schefflera	7 Gal.	FL#1 or Better	42-48"	V		30" Spr., 36" OC		
TDF	37	Tripsacum dactyloides / Fakahatchee Grass	3 Gal.	FL#1 or Better	30"	V	(N)	24" Spr., 42-48" OC		
	85	Total Shrubs								
	61	Native Shrubs								
	72%	Native Trees / Palms								
GROUND COVER										
FMG	115	Ficus microcarpa / Green Island Ficus	3 Gal.	FL#1 or Better	12"	V		18" Spr., 24" OC		
SOD (On-Site)										
Sod	5,100	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'							M	
SOD (Off-Site)										
Sod	900	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'							M	
		(N) Florida Native Plant Species							(N)	
		M Moderate Drought Tolerance							M	
		V Very Drought Tolerant							V	



TREE/PALM BRACING DETAIL
NTS



TREE/PALM PLANTING DETAIL
NTS

Landscape Area Requirements

Site in sq. ft.: 22,500

	Required	Provided
SubDistrict		
% of landscape		
1 tree per 1500 sqft.	15	15
Trees		
Street Trees	7	7
Site Trees	15	18
Total Site Trees (Site + street)	22	25
Tree Diversity		
Drought tolerant trees	50%	100%
Native Trees	50%	90%
Turf Max	70%	23%
Hedges/Plants Drought tolerant	30%	100%

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

Thomas White
Digitally signed by Thomas White
Date: 2026.05.28 08:56:49 -04'00'

THOMAS WHITE, ASLA-ISA
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954-253-2265

REVISIONS

7-15-2024: Banyan trees removed per city request
10-4-2024: Minor Site Plan Revision
10-24-2025: Minor Site Plan Revision
1-13-2026: Front Planter Reduced in Width
5-27-2026: Hall Bch Blvd Street Trees (Palms) Added

Landscape Permit Plan
New Retail
633 W. Hallandale Beach Blvd.
Hallandale Beach, Florida 33009



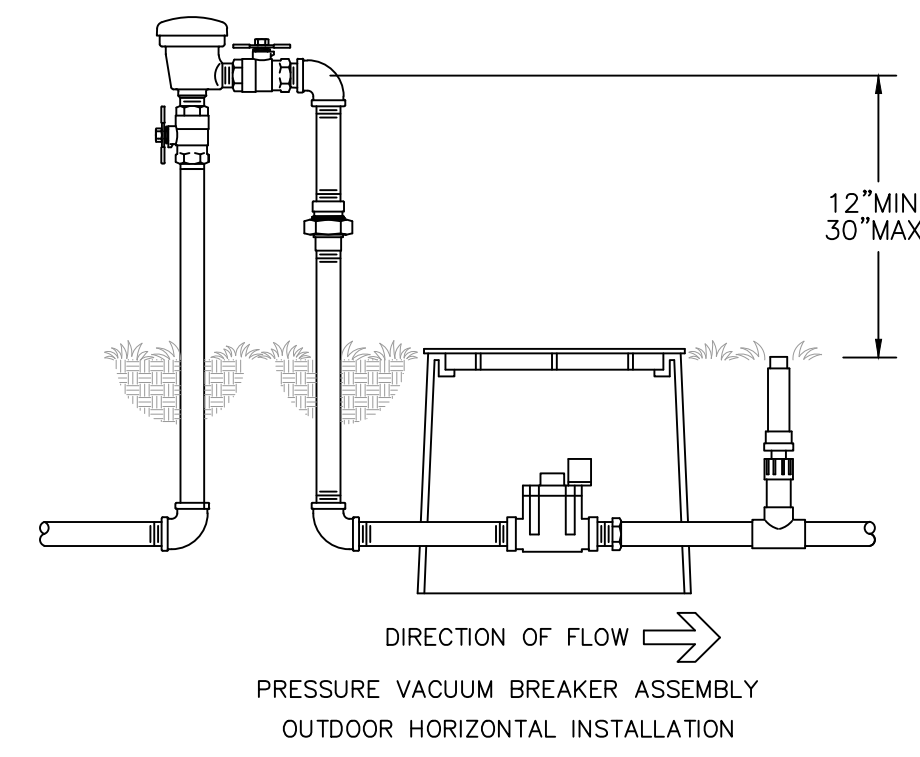
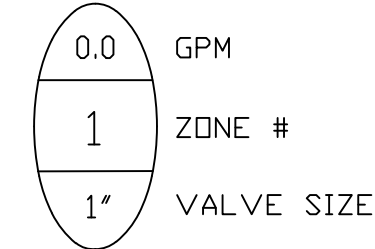
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CHECKED: TW
DATE: 12-11-2023
SCALE: 1"=20'

Sheet No.
L-2
Sheet 2 of 3

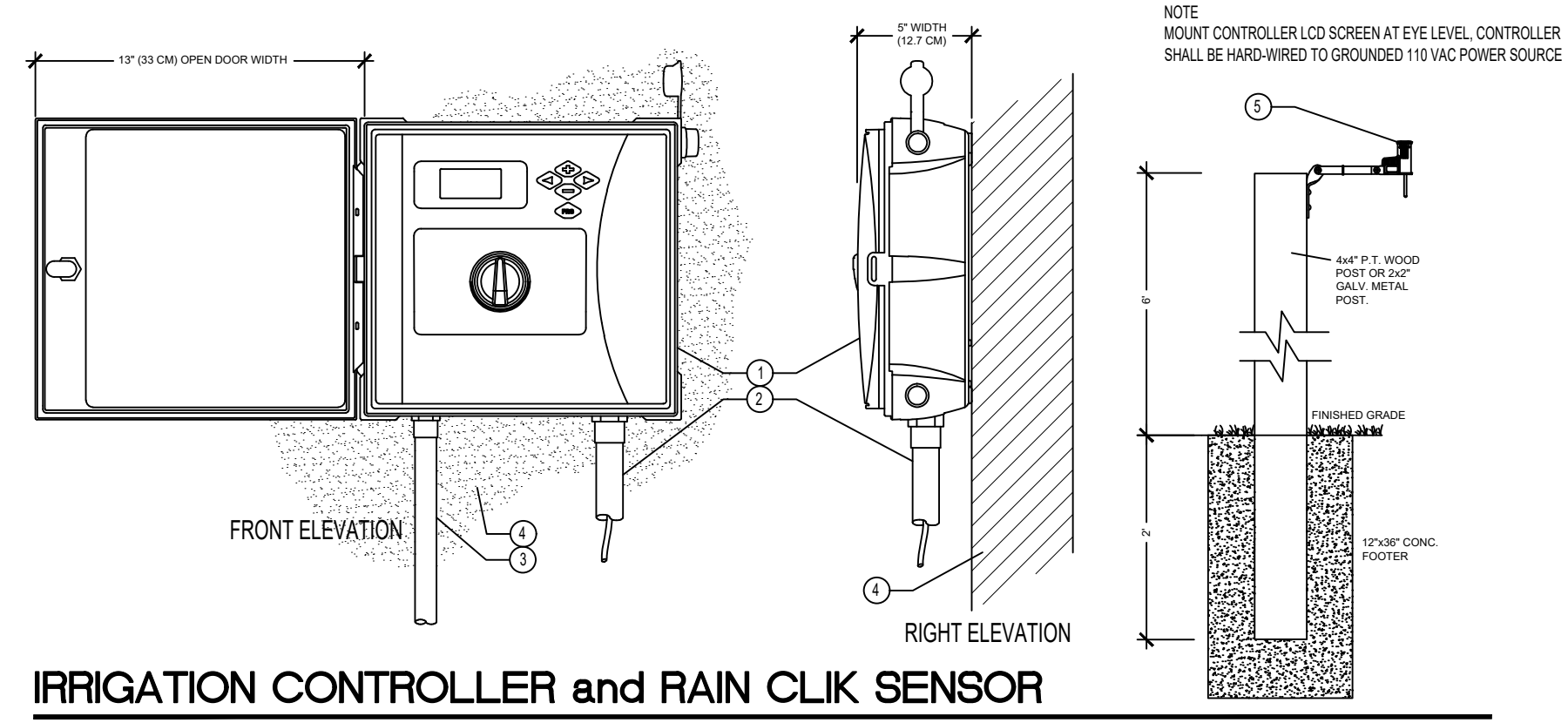
IRRIGATION LEGEND:

- 1" MAIN LINE
 - LATERAL ZONE LINES.
 - ⊗ 1" VACUUM BREAKER: Wilkins WK720A-100.
 - ☒ CONTROLLER - Internatic Electric 4 station controller.
 - ★ Mini Klik automatic rain sensor shutoff switch mounted outside on eave of structure.
 - ⊕ ZONE VALVES - Fimco 2 Station Indexing.
 - ⊗ PROPOSED 1" WATER METER, See Civil Plans for Details.
 - ⊙ SLEEVES - Sch. 40, 2 Sizes Larger.
NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
 - ⊙ 6" POP-UP SPRAY - Hunter MP Rotator Series; Nozzles as Required.
NOTE - All of the below may not be used
- | | MP3000
22-30'
Radius | MP2000
13-21'
Radius | MP1000
8-15'
Radius | MP800
6-12'
Radius |
|--------|----------------------------|----------------------------|---------------------------|--------------------------|
| 90 Q | ⊙ | ⊙ | ⊙ | ⊙ |
| 120 T | ⊙ | ⊙ | ⊙ | ⊙ |
| 180 H | ⊙ | ⊙ | ⊙ | ⊙ |
| 240 TT | ⊙ | ⊙ | ⊙ | ⊙ |
| 270 TQ | ⊙ | ⊙ | ⊙ | ⊙ |
| 360 F | ⊙ | ⊙ | ⊙ | ⊙ |

⊙ 6" POP-UP STREAM BUBBLER - Hunter 5-CST-B 5'R.



WILKINS MODEL 720A
NTS



IRRIGATION CONTROLLER and RAIN CLIK SENSOR
NTS

- LEGEND:**
- ① IRRIGATION CONTROLLER
 - ② IRRIGATION CONTROL WIRE IN CONDUIT (SIZE AND TYPE PER LOCAL CODES)
 - ③ ELECTRICAL SUPPLY CONDUIT (CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER)
 - ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
 - ⑤ WIRELESS RAIN SENSOR

IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. and 3/4 in. are not used.
Min. pipe is 1 in. All end of the line unmarked pipe = 1 in. (min.).
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 15 in. depth, min.

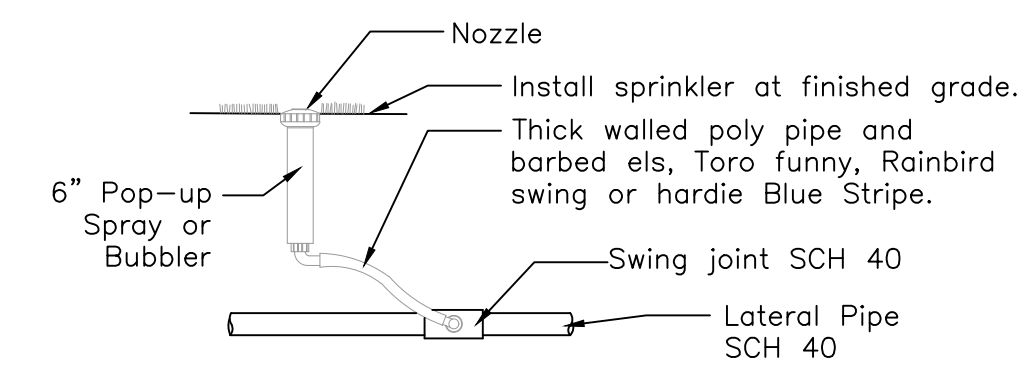
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded.
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit.

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

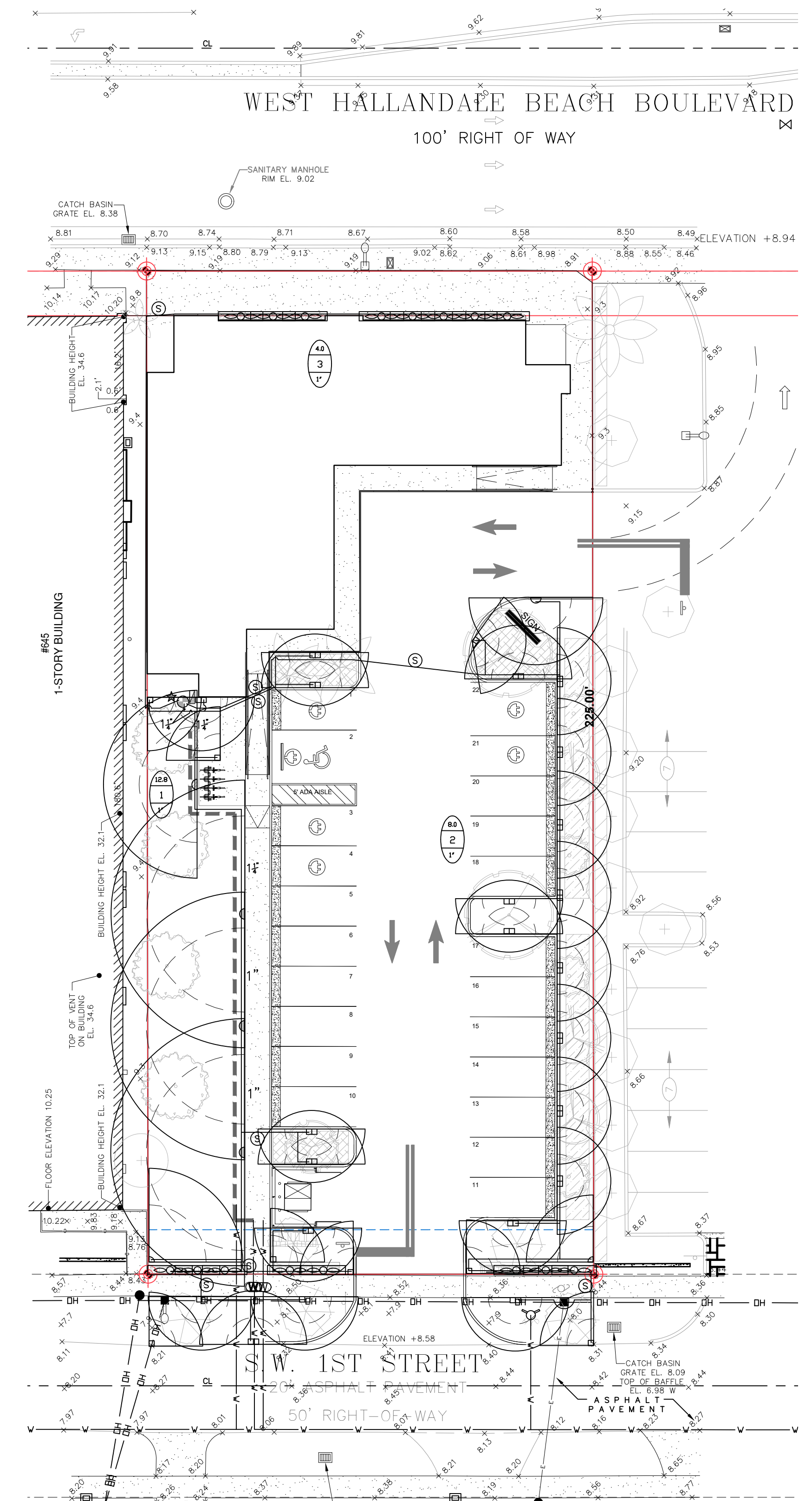
All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractor's responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractor's responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



6" Pop-up Spray / Bubbler Detail
NTS



Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST.
tcwhite@bellsouth.net
954-253-2265

REVISIONS

7-15-2024	Banyan trees removed per city request
10-4-2024	Minor Site Plan Revision
10-24-2025	Minor Site Plan Revision
11-13-2026	Front Planter Reduced in Width
4-9-2026	23 Parking Spaces Down to 22

Irrigation Permit Plan
New Retail
633 W. Hallandale Beach Blvd.
Hallandale Beach, Florida 33009



Thomas White Digitally signed by
Thomas White
Date: 2026.04.09
14:34:42 -04'00'

DRAWN: TW
CHECKED: TW
DATE: 12-11-2023
SCALE: 1"=20'

Sheet No.
L-3
Sheet 3 Of 3

GENERAL PROVISIONS

1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. ALL CONSTRUCTION PROJECTS OR WORK AREAS IN SIZE THAT DISCHARGE TO OFFSITE AREAS AND ARE SUBJECT TO THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE EXAMINATION SYSTEM (NPDES) GENERAL PERMIT FOR COMMERCIAL CONSTRUCTION FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), DISCHARGE, INSPECTING, MAINTAINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT AND NOTICE OF TERMINATION NOTICES AND THE OPERATOR, AND PAYING ALL ASSOCIATED FEES FOR PROJECTS LESS THAN 1 ACRE IN SIZE THAT ARE NOT REQUIRED TO COMPLY WITH THE NPDES GENERAL PERMIT. THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
3. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNERS SURVEYOR. THE CONTRACTOR SHALL VERIFY THE BENCHMARK INFORMATION AND CONSTRUCTION INFORMATION SHALL BE PROVIDED TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
4. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER INFORMATION SHALL BE PREPARED BY THE CONTRACTOR'S SURVEY ENGINEERING. NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION.
5. THE SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL SURVEYOR, ENGINEERING, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS.
6. THE CONTRACTOR SHALL SUBMIT COPIES OF 3"X4" DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION. PRIOR TO SUBMISSION, THE CONTRACTOR SHALL THOROUGHLY CHECK SHOP DRAWINGS, DETAILS, AND SAMPLES FOR COMPLETENESS AND FOR COMPLIANCE WITH THE CONSTRUCTION PLAN AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL COORDINATE THE SHOP DRAWINGS WITH THE REQUIREMENTS FOR OTHER RELATED WORK. THE CONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN SUBMITTALS IS NOT RELIEVED BY THE ENGINEER'S REVIEW OR SUBMITTALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, AT THE TIME OF SUBMISSION OF DRAWINGS IN SUBMITTALS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
7. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED AS NECESSARY BY SAME.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL, TESTING, AS A MINIMUM, TESTING SHALL INCLUDE A PILING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS. BY DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS. TO INCLUDE FILLING CONCRETE AND ASPHALT PAVING QUALITY CONTROL. TESTING INCLUDING DESIGN MIX REVER, MATERIALS, FIELD CUMPL AND AIR CONTENT, AND FIELD AND LAB COMED STRENGTH SAMPLES AND TESTING.
9. IN ADDITION TO QUALITY CONTROL, TESTING, THE CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISOR OR APPROVALS FOR ANY WORK OR ANY PART THEREOF IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVALS. THE CONTRACTOR SHALL HAVE ACCESS TO CONSTRUCTION THEREOF AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF TESTING, TESTING APPROVAL.
10. ANY DESIGN OR TESTS LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION," PUBLISHED BY THE AMERICAN COLLEGE OF INDEPENDENT LABORATORIES.
11. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/ENGINEER AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
12. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL METALLIC PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN POND, PLUS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.

UTILITY GENERAL NOTES

1. THE UTILITY DATA SHOWN ON THESE PLANS WAS OBTAINED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
2. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ADJUSTMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER'S UTILITY. THE CONTRACTOR SHALL EXERCISE CAREFUL EXCAVATION UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ANY UTILITIES NOT SHOWN ON THESE PLANS AND NOT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INTERSECTION.
3. A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT THE SINGLE LINE ONE CALL CENTER BY DIALING "911" AT LEAST TWO (2) AND NO MORE THAN FIVE (5) WORKING DAYS PRIOR TO THE SPECIFIC CONSTRUCTION ACTIVITY FOR RELOCATION LOCATION. NOTE THAT ALL UTILITIES PARTICIPATE IN THIS PROGRAM. THE CONTRACTOR SHALL CONTACT ALL NONPARTICIPATING UTILITIES SEPARATELY FOR RELOCATION PRIOR TO CONSTRUCTION. PER FLORIDA STATUTE 348.04, THE CONTRACTOR OR EXCAVATOR IS REQUIRED TO NOTIFY THE GAS COMPANY TWO (2) WORKING DAYS PRIOR TO STARTING EXCAVATION.
4. THE CONTRACTOR SHALL LOCATE TIGERETS UP TO DATE AT ALL TIMES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY.
6. IF IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNNECESSARY INTERRUPTION OF SERVICE WILL BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE OWNER AND THE ENGINEER.
7. TYPICAL DETAILS AS SHOWN ARE TO ILLUSTRATE THE ENGINEER INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS. THE CONTRACTOR SHALL VERIFY THE CONTRACTOR MAY ALTER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SUIT FIELD CONDITIONS, INCLUDING PROVIDING A PROPOSAL FOR AN ALTERNATE METHOD TO THE ENGINEER. APPROVED, AND USES MATERIALS AS SPECIFIED IN THE SPECIFICATIONS.
8. FOR EACH RECEPTOR PIPERINE NECESSARY, THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC. TO BE CROSSED OR CONNECTED TO. THE CONTRACTOR SHALL INQUIRE OF THE CONTRACTOR IN CHARGE OF ALIGNMENT OR DEPTH, OR THE FIELD FOR ADDITIONAL FITTINGS, BENDS, OR COUPLINGS, WHICH REPRESENT A DEPARTURE FROM THE CONTRACT DRAWING, OR IN A NEED FOR RELOCATION OF EXISTING UTILITIES. RELOCATION OF EXISTING UTILITIES, INCLUDING CHANGES IN RELATED PORTIONS OF THE PROJECT AND THE REASONS THEREFOR, SHALL BE SUBMITTED WITH SHOP DRAWINGS APPROVED DEPARTURES FOR THE CONTRACTORS CONFERENCE SHALL BE MADE AT AN ADDITIONAL COST TO THE OWNER.
9. THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIALS AND FACILITIES REQUIRED FOR ALL HYDROLOGICAL, LEAKAGE, AND PRESSURE TESTING. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE OWNER IN WRITING FOUR (4) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY PRIOR TO INSTALLATION.

AS-BUILT DRAWING REQUIREMENTS

1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER THREE WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY.
2. AT THE COMPLETION OF THE WORK, DELIVER THE DRAWINGS DOCUMENTING AS-BUILT INFORMATION, MEASURED BY A LICENSED SURVEYOR, TO THE ENGINEER, IN GOOD CONDITION AND FREE FROM ANY EXTREMELY DAMAGING, THE AS-BUILT INFORMATION TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - A. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS AND ELEVATIONS BETWEEN STRUCTURES.
 - B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
 - C. STORMWATER POND TOP OF BERM OR POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS DESIGNED BY THE ENGINEER. TOP OF POND HORIZONTAL DIMENSIONS ARE ALSO TO BE PROVIDED FOR CORNERS, EASEMENTS, AND PROPOSED LOCATIONS.
 - D. STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS INCLUDING ALL WEIRS, SLOPS, ORIFICES, GRATES, AND RAMMERS.
 - E. STORMWATER CONFORMANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, LOCATIONS, AND CROSS SECTIONS.
 - F. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONTROL POINTS, ETC.
 - G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
 - H. UTILITY PIPELINES TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 200 FT PLUS A CHANGE IN HORIZONTAL OFFSET.
 - I. PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL OVERWAY AND STREET INTERSECTIONS. FOR ALL STREET INTERSECTIONS, THE AS-BUILT INFORMATION TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - A. PAVING AREAS AND SIDEWALK RAMPS DESIGNED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET.
 - K. HORIZONTAL AND VERTICAL DATA FOR ANY STRUCTURE THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.
 - L. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATIONS AND OFFSETS, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION.
 - M. WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL ELEVATION.

EROSION AND SEDIMENT CONTROL

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. SEDIMENT CONTROL METHODS OF SILT FENESTRATION AND FLUTING TURBIDITY BARRIERS PER FOOT CODE NO. 10 AND 10.1. EROSION CONTROL METHODS OF BEARING AND MOUNDING, BARRIERS, WEEDING SURFACES, PLACEMENT OF CORRAL AGGREGATE, TEMPORARY PAVING.
 2. MAINTAIN TEMPORARY EROSION CONTROL SYSTEMS AS DIRECTED BY OWNER OR GOVERNING AUTHORITIES TO CONTROL EROSION AND SLACKING DURING LIFE OF CONTRACT. OWNER HAS AUTHORITY TO LAST SURFACE AREA OF EXISTING EARTH MATERIALS EXPOSED TO CLEARING AND GRUBBING, EXCAVATION, TRENCHING, EROSION AND EMBANKMENT OPERATIONS. OWNER ALSO HAS AUTHORITY TO DIRECT CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 3. CONTRACTOR SHALL RESPOND TO EROSION AND SEDIMENT CONTROL, MAINTENANCE REQUIREMENTS OR IMPLEMENT ADDITIONAL MEASURES TO CONTROL EROSION ORDERED BY OWNER OR GOVERNING AUTHORITIES WITHIN 48 HOURS OR SOONER IF REQUIRED. IT IS AN ADDITIONAL COST TO THE OWNER.
 4. CONTRACTOR WILL BE REQUIRED TO INCORPORATE PERMANENT EROSION CONTROL FEATURES INTO PROJECT AS PRACTICAL. TIME IS TO BE REMOVED FOR TEMPORARY CONTROLS.
 5. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REPRESENT A MINIMUM REQUIREMENT. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NEEDED IN ORDER TO PREVENT THE EROSION OF SURFACES DURING CONSTRUCTION, AS NECESSARY TO PROTECT ADJACENT PROPERTIES AND WATER BODIES.
 6. GRASS AT DISTURBED AREAS WITHIN 7 DAYS OF INITIAL DISTURBANCE. TYPE OF GRASSING SHALL BE AS FOLLOWS: TEMPORARY GRASSING TO BE SOONED AT ALL DRAINAGE STRUCTURES, RETENTION AREAS, SLOPES AND OTHERS. WHERE SLOPES ARE STEEPER THAN 5:1, TEMPORARY GRASSING CAN BE SEED AND MULCH AT ALL OTHER LOCATIONS UNLESS OTHERWISE INDICATED IN THE DRAWINGS OR SPECIFICATIONS.
 7. INSPECT EVERY TWO WEEKS DURING CONSTRUCTION, REMOVE ANY SEDIMENT BUILDUP, REPAIR AND RESTORE ANY DAMAGE OR MISSING SEDIMENT CONTROL MEASURES. INSTALLED MEASURES IF INSPECTION REVEALS ADDITIONAL SEDIMENT CONTROL IS NECESSARY.
 8. AREAS TO BE PAVED SHALL BE TREATED WITH A WEEDKILLER PRIME COAT AND SANDED TO IMPROVE CURBAGE. WHERE PAVING IS SCHEDULED TO OCCUR MORE THAN 48 HOURS AFTER INSTALLATION OF BASE COURSE, AREAS TO RECEIVE CONCRETE PAVING SHALL BE EITHER PROTECTED WITH A LAYER OF FOOT COARSE AGGREGATE MATERIAL, OR SHALL BE PAVED WITHIN 48 HOURS OF INSTALLATION OF THE SUBGRADE. INSTALL PAV. SURFACE COURSE WITHIN 14 DAYS AFTER BEGINS OF EXISTING PAVEMENT.
- TRAFFIC CONTROL**
1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, AND BARRICADES, AND SHALL BE APPROVED BY THE ENGINEER, OWNER, AND JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION. ALL PROPOSED ROADWAY AND DRIVEWAY Lane CLOSURES SHALL BE DISTRIBUTED TO THE HOURLY BETWEEN 6:00 A.M. AND 6:00 P.M. UNLESS OTHERWISE AUTHORIZED BY THE APPROVED M.O.T.
 2. ALL CONSTRUCTION SIGNING AND MARKINGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH FOOT CODE NO. 800 AND AN UNIFORM TRAFFIC CONTROL DEVICES MANUAL. THE PLACEMENT OF THE SIGNS AND MARKINGS SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO CONSTRUCTION.
 3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE FUNCTIONALITY OF BARRICADES AND FUNCTION OF LIGHTS TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
 4. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION, COORDINATE TEMPORARY DRIVEWAY CLOSURES AND ACQUISITION MAINTAIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION.
 5. WET UNPAVED AREAS AS NECESSARY TO CONTROL DUST.
 6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
 7. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY.
 8. WHEN WORK OCCURS WITHIN 16 FT OF ACTIVE TRAVEL LANES BUT NO CLOSURES THAN 2 FT FROM THE EDGE OF PAVEMENT, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FOOT CODE NO. 800 AND 800.0 FOR ALL LANE CLOSURES AND FOR EACH LANE TO BE CLOSED AND FOR EACH LANE TO BE OPENED.
 9. TYPES OR TYPE BARRICADES AT LEFT DRIVE TRAVEL SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD WHEREVER DROP-OFFS OR OTHER HAZARDOUS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED OR PARTIALLY COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.

SITE PREPARATION

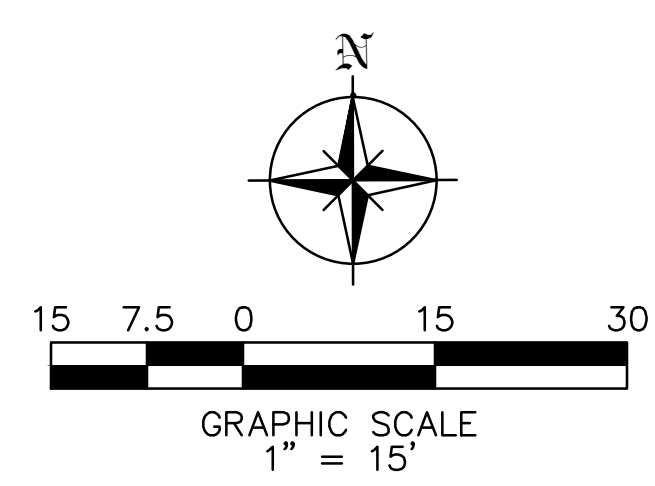
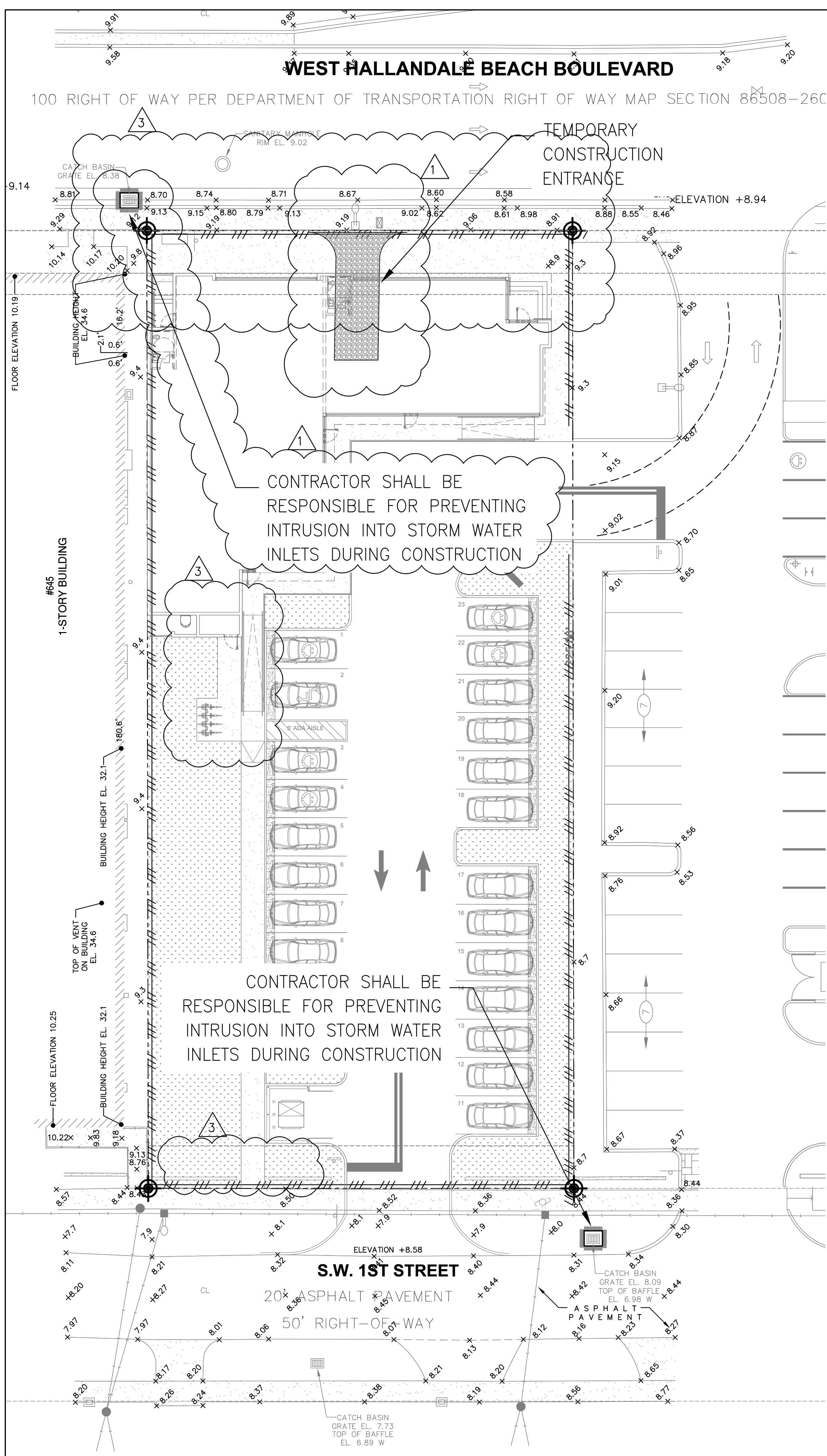
1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTACT ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY, AND EASEMENTS AS INDICATED ON THE DRAWINGS. AT OR SHALL THE CONTRACTOR CELEBRATE SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED OR DISTURBED SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY CHAIN MARKS, BATTER BOARDS, CENTERLINES, BENCHMARKS, AND REFERENCE POINTS FOR THE WORK, AND VERIFY ALL DIMENSIONS RELATING TO INTERSECTION WITH EXISTING FEATURES. REPORT ANY NONCONFORMITIES IN THE PROPOSED GRADING, LINES AND LEVELS DIMENSION AND LOCATION TO THE ENGINEER BEFORE COMMENCING WORK.
3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, PARTICULARLY THOSE TREES AND SHRUBS LOCATED ADJACENT TO WORK AREAS.
4. REMOVE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, THE INTENT IS TO ALLOW THESE AND SURROUNDING AREAS WITHIN THE FOLLOWING SCHEDULE. NEW ROADWAY CONSTRUCTION, TREES AND SHRUBS TO REMAIN WHERE LOCATED MORE THAN 10 FEET FROM THE BACK OF CURB, OUTSIDE THE RIGHT-OF-WAY, UNLESS OTHERWISE INDICATED BY THE ENGINEER. NEW ROADWAY CONSTRUCTION, TREES AND SHRUBS TO REMAIN OUTSIDE A 10 FOOT WIDE GRADE CENTERED ON THE PAVEMENT.
5. TREES TO REMAIN WITHIN THE CONSTRUCTION AREA SHALL BE BOKED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS. DO NOT REMOVE HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD.
6. AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE AREAS TO BE OCCUPIED BY THE PROPOSED IMPROVEMENTS, AREAS FOR SILL AND SITE GRADING, AND BARRIERS. REMOVE TREES OUTSIDE OF THESE AREAS ONLY AS INDICATED ON THE DRAWINGS OR AS APPROVED IN WRITING BY THE ENGINEER.
7. CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ENDOUR UPON OR OTHERWISE OBSTRUCT THE WORK.
8. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS; DO NOT DAMAGE EXISTING STRUCTURES, PIPES OR UTILITIES.
9. GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN 1/4" IN DIAMETER, AND MATED ROOTS. REMOVE TO A DEPTH OF NOT LESS THAN 1/4" BELOW THE ORIGINAL SURFACE LEVEL OF THE SOIL GRADE.
10. ALL COMPLETION DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS SHALL BE REMOVED TO LEGAL OFFSITE DISPOSAL AREAS.

GRADING

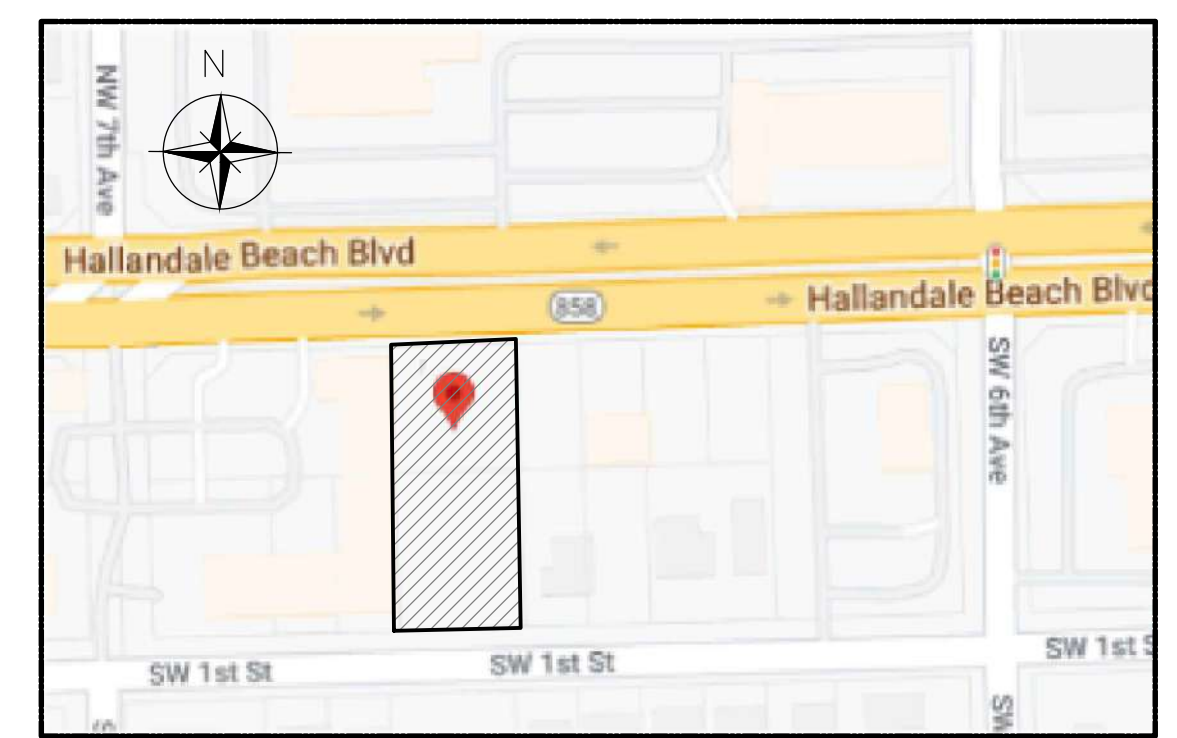
1. GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO DEFINE THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTIGUOUS SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE ESTABLISHED IMMEDIATELY AFTER EACH GRADING OPERATION. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DISCONTINUATION OF GRADING OPERATIONS AT ANY LOCATION THAT THE GRADING INTENT HAS BEEN ADJUSTED.
2. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAW POSITELY TO PROVIDE A SMOOTH, TRANSITIONING DRIVING SURFACE FOR VEHICLES WITH NO SHARP BENDS, TURNING, AND UNDESIRABLE TRIP OR OTHER OBSTACLES. THE SUBGRADE DRAINAGE SHALL BE DRAINAGE TO GRADE DRAINAGE POSITELY IN THE AREA OF INTERSECTIONS. IF THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE GRADING INTENT, ALL SLOPES SHALL BE ESTABLISHED IMMEDIATELY AFTER EACH GRADING OPERATION. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DISCONTINUATION OF GRADING OPERATIONS AT ANY LOCATION THAT THE GRADING INTENT HAS BEEN ADJUSTED.
3. UNIFORM SMOOTH GRADE: THE SITE, EXPOSED FROM SETTLEMENT SHALL BE FILLED AND COMPACTED TO TOP OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE REGRADED. FINISHED SURFACES SHALL BE REGRADED SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPATIBLE TO THE SMOOTHNESS OBTAINED BY LAZE, GRADERS OPERATIONS.
4. ROADWAY GRADING TO DRAWWAY GRADING: A MINIMUM OF 18 INCHES PER FOOT FOR 12 FEET FINISHED SURFACES ADJACENT TO PAVED AREAS AND WITHIN 10 FEET OF STRUCTURES SHALL BE WITHIN 1 INCH OF THE PROPOSED GRADE. ALL OTHER AREAS SHALL BE WITHIN 1 INCH OF THE PROPOSED GRADE.
5. HOLEY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR DAMAGING ACTION THAT MAY OCCUR FROM ANY CAUSE PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRASSING BE ESTABLISHED AT THE REQUIRED ELEVATION AND SLOPES AT AN ADDITIONAL COST TO THE OWNER.

EXCAVATION, TRENCHING, AND FILL

1. THE CONTRACTOR SHALL RECOGNIZE AND AVOID ALL OTHER EXISTING SURFACE STRUCTURES, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 333.6533) AND ANY MATERIAL CONSTRUCTION METHODS, OR MATERIAL COST TO GRABBY WITH THESE PROVISIONS AND BE SUBJECT TO THE CONTRACT.
2. ROUTE EXCAVATION AND GRADING AS REQUIRED STORMWATER POND(S) AT THE START OF SITE GRADING ACTIVITIES. DIRECT SITE RAINFOW TOWNS TO MINIMIZE RAINFOW TO OFFSITE AREAS.
3. POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND WINDING SLOPES AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. IF THE CONTRACTORS SOLE RESPONSIBILITY TO SURVEY THE SITES TO VERIFY THE REQUIRED SLOPES AND DIMENSIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE POND. THE POND VOLUME IS NOT WITHIN 10% PRESENT OF THE POND VOLUME, THE CONTRACTOR MAY BE REQUIRED TO MAKE CORRECTIONS TO THE POND AT NO ADDITIONAL COST TO THE OWNER.
4. FIELD DENSITY TESTING PROCEDURES: 1) ONE TEST FOR EACH 10,000 SQUARE FEET FOR EACH FRACTION THEREOF PER LIFT OF EACH BACKFILL. MINIMUM 3 TESTS EACH BACKFILL. ONE TEST FOR EACH 100 SQUARE FEET OR FRACTION THEREOF OF SAND, GRAVEL, AND OTHER STRUCTURES. ONE TEST FOR EACH SAND, GRAVEL, AND OTHER STRUCTURES PER LIFT OF EACH BACKFILL IN THE PIPELINE TRENCH. ONE TEST PER LIFT AND EACH CHANGE IN MATERIAL. MINIMUM OF 10 TESTS.
5. IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORM TO THE FOLLOWING REQUIREMENTS AS UTILIZED: UNLESS OTHERWISE INDICATED:
 - A. ACCEPTABLE MATERIALS SHALL MEET CLASSIFICATION A-1, A-2, A-3, A-4, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12, A-13, A-14, A-15, A-16, A-17, A-18, A-19, A-20, A-21, A-22, A-23, A-24, A-25, A-26, A-27, A-28, A-29, A-30, A-31, A-32, A-33, A-34, A-35, A-36, A-37, A-38, A-39, A-40, A-41, A-42, A-43, A-44, A-45, A-46, A-47, A-48, A-49, A-50, A-51, A-52, A-53, A-54, A-55, A-56, A-57, A-58, A-59, A-60, A-61, A-62, A-63, A-64, A-65, A-66, A-67, A-68, A-69, A-70, A-71, A-72, A-73, A-74, A-75, A-76, A-77, A-78, A-79, A-80, A-81, A-82, A-83, A-84, A-85, A-86, A-87, A-88, A-89, A-90, A-91, A-92, A-93, A-94, A-95, A-96, A-97, A-98, A-99, A-100, A-101, A-102, A-103, A-104, A-105, A-106, A-107, A-108, A-109, A-110, A-111, A-112, A-113, A-114, A-115, A-116, A-117, A-118, A-119, A-120, A-121, A-122, A-123, A-124, A-125, A-126, A-127, A-128, A-129, A-130, A-131, A-132, A-133, A-134, A-135, A-136, A-137, A-138, A-139, A-140, A-141, A-142, A-143, A-144, A-145, A-146, A-147, A-148, A-149, A-150, A-151, 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CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT INTRUSION INTO STORM WATER INLETS DURING CONSTRUCTION, WHEN APPLICABLE.



LOCATION MAP
N.T.S.

GENERAL EROSION & SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA , AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING , EQUIPMENT CLEANING , ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH , TRASH , GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENUDED / BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE , MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY , WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAIN VARIETIES, STRAW / HAY MULCH WOOD CELLULOSE FIBERS , TACKIFIERS, NETTING OR BLANKETS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED , AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT , THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- WHEN INSTALLATION OF SILT FENCE IS PERFORMED, THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.

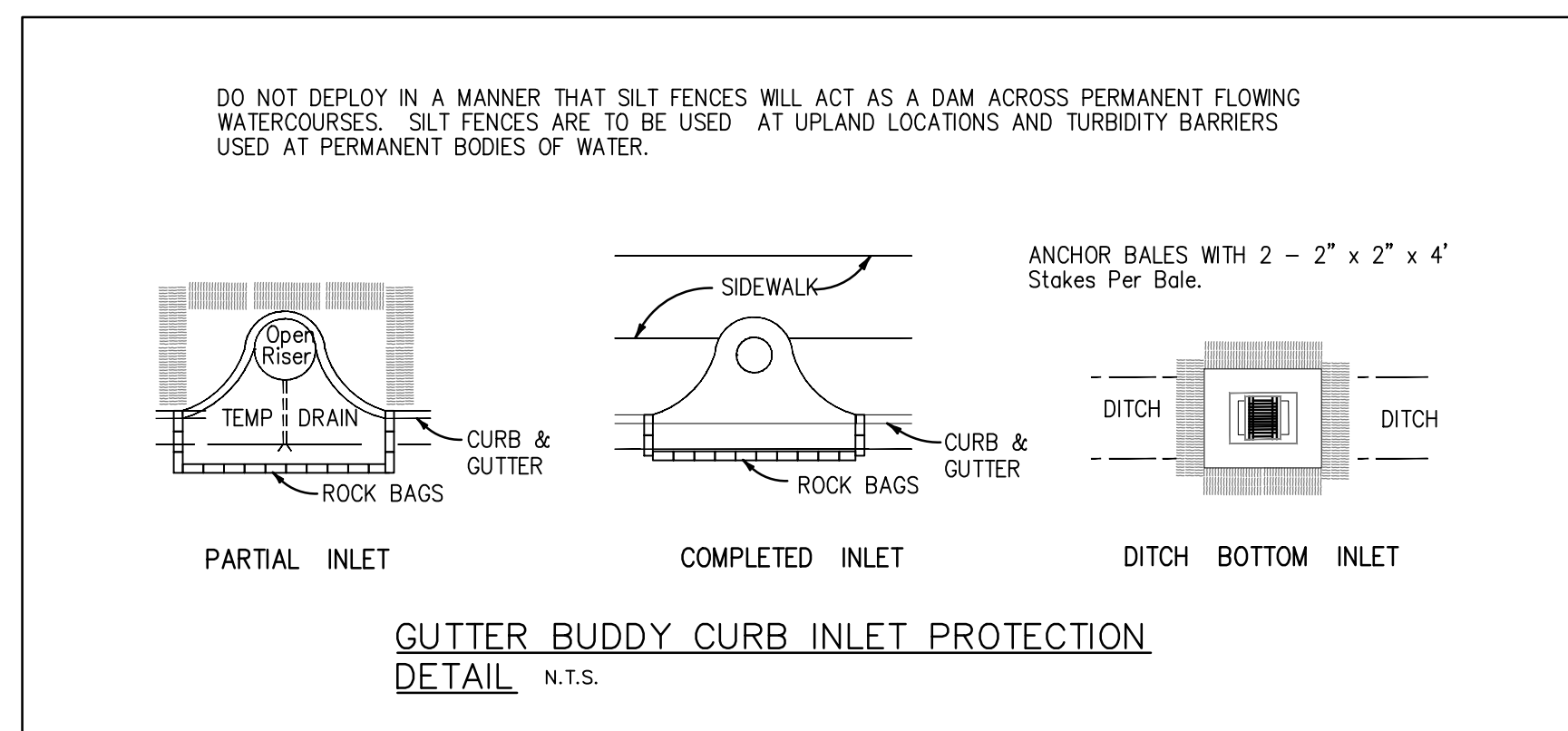
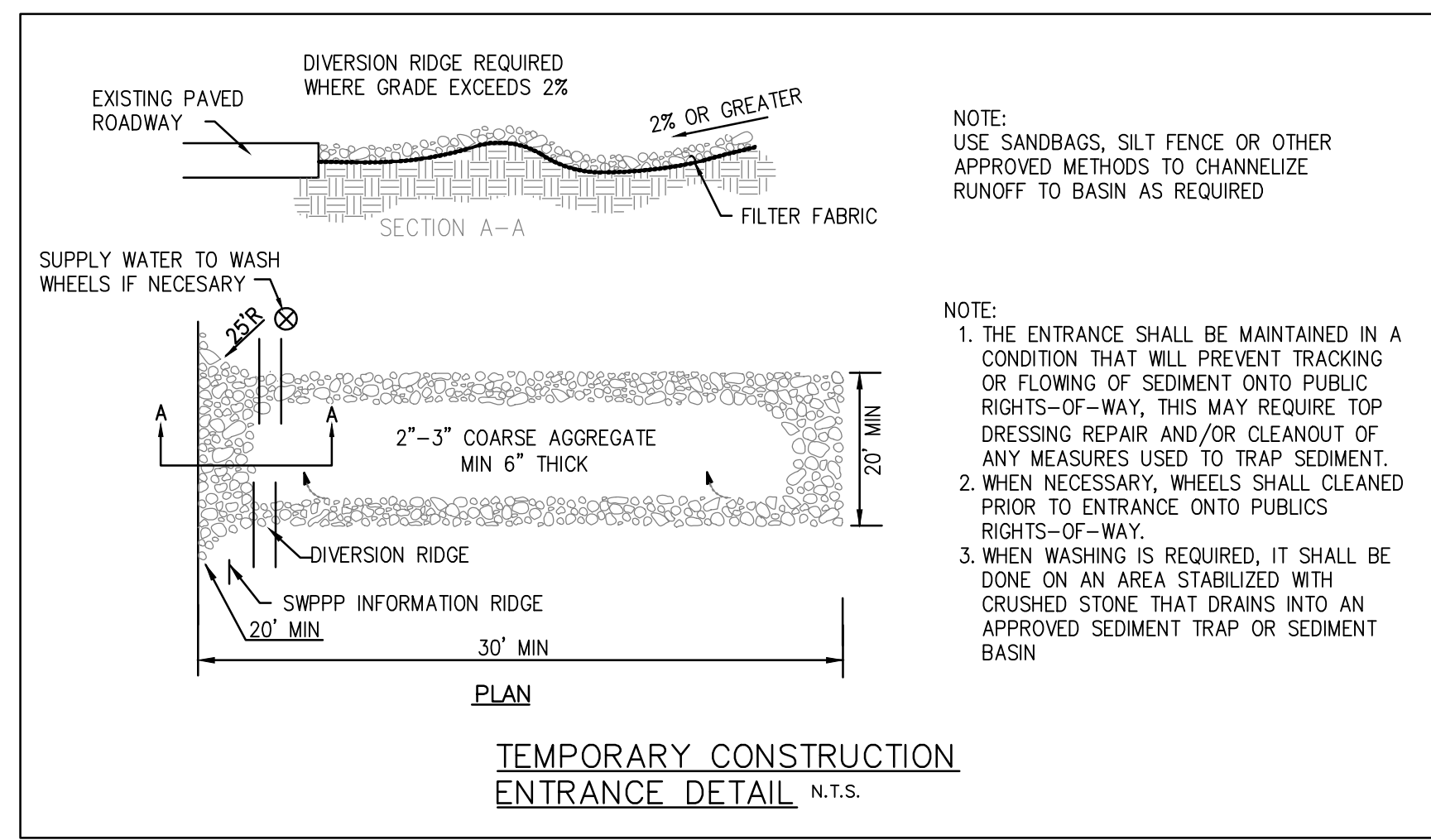
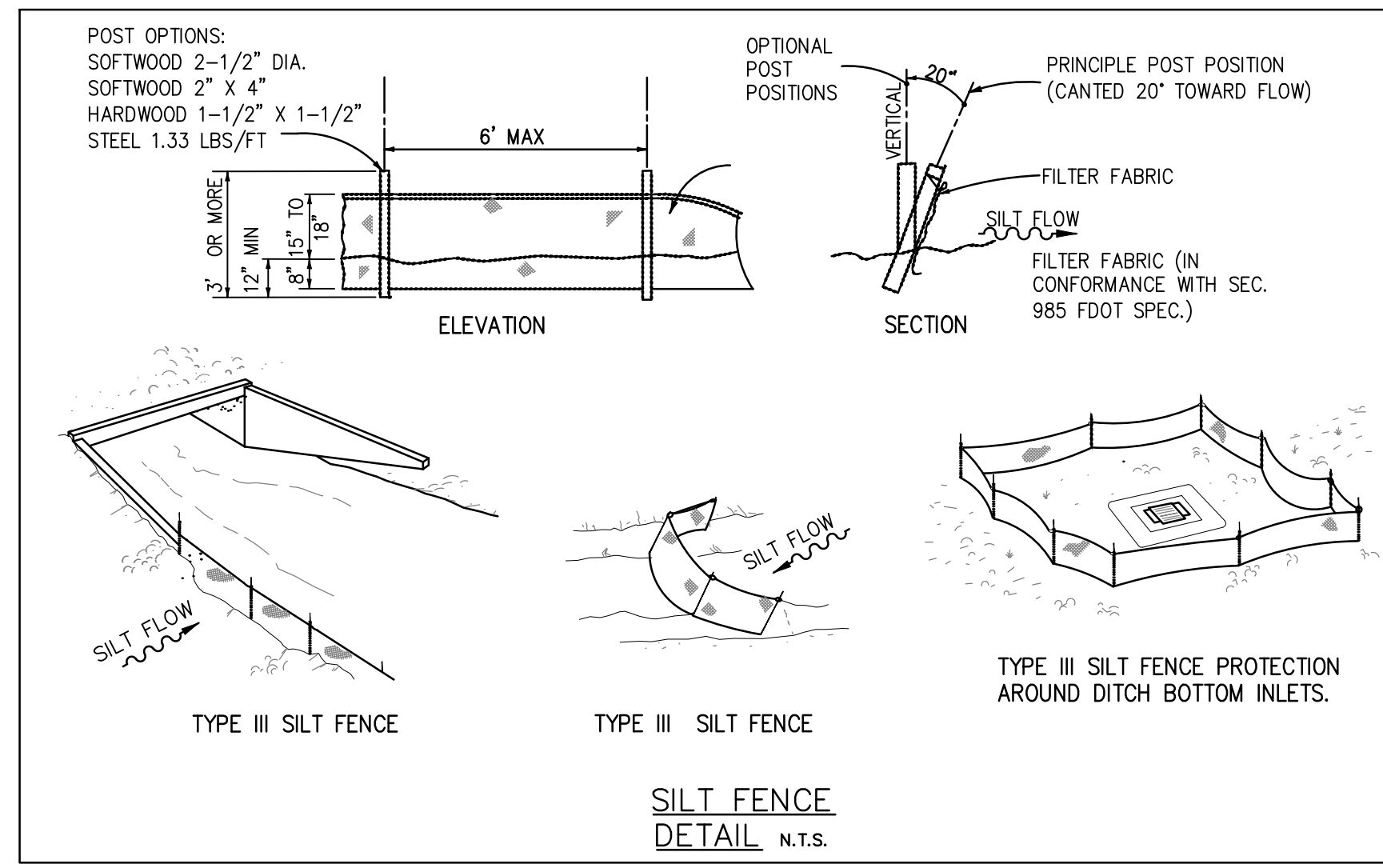
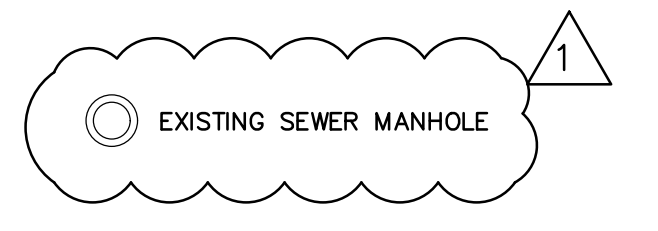
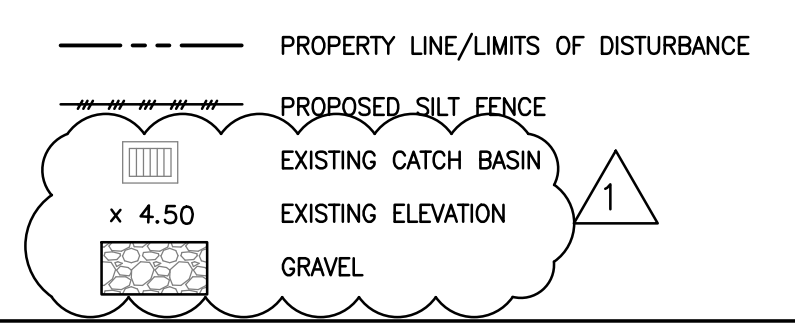
BMP MAINTENANCE EROSION NOTES

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED \ SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED \ RESODDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. AND DEBRIS AND / OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

WASHING AREAS

VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORMWATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

SYMBOLS LEGEND



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Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:	
CITY COMMENTS 07/16/2024	J.S.
CITY COMMENTS 10/30/2025	J.S.

Client: 633 HALLANDALE BEACH BLVD
Project: 633 HALLANDALE BEACH BLVD, HALLANDALE BEACH, FL 33009

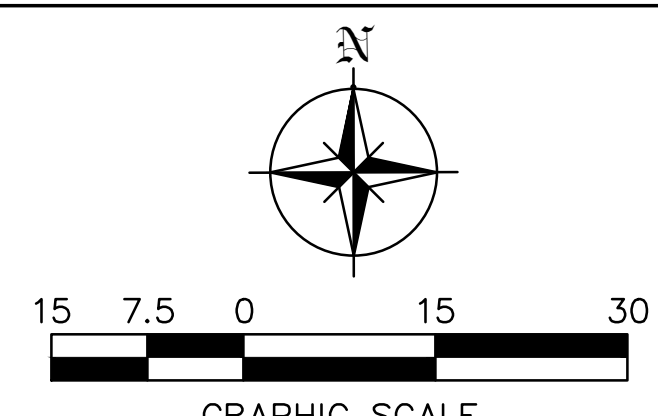
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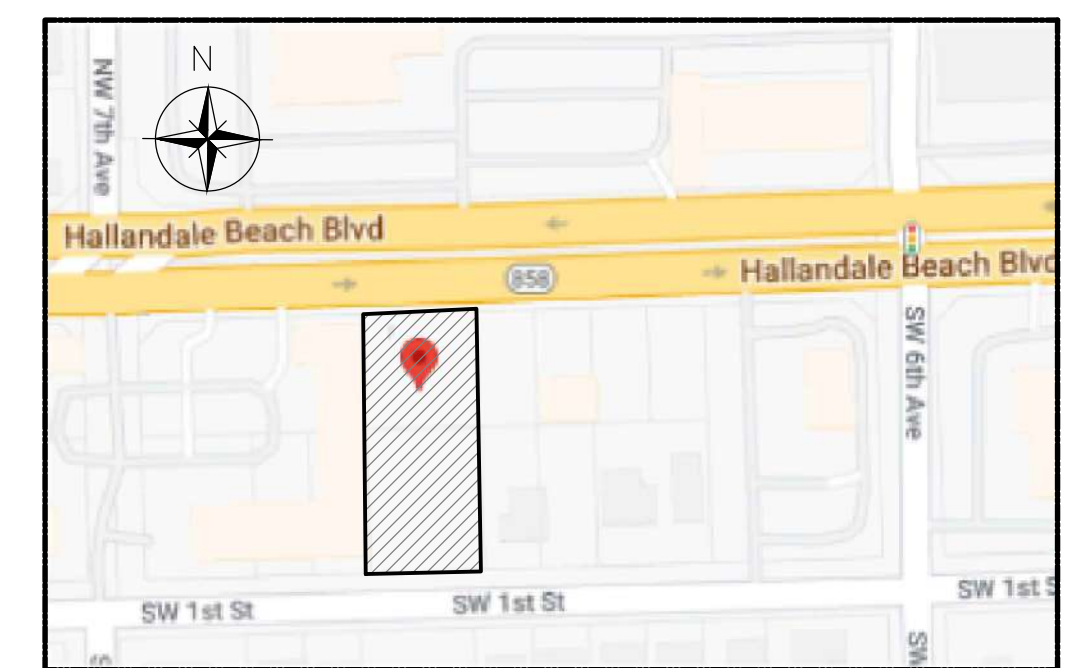
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Drawn by: J. JANSE
Reviewed & Sealed: JORGE M. SZAUDER
Date: NOV. 2023
Scale: AS SHOWN
Job No.:

Sheet: **C-02**
1 of 1 Sheets

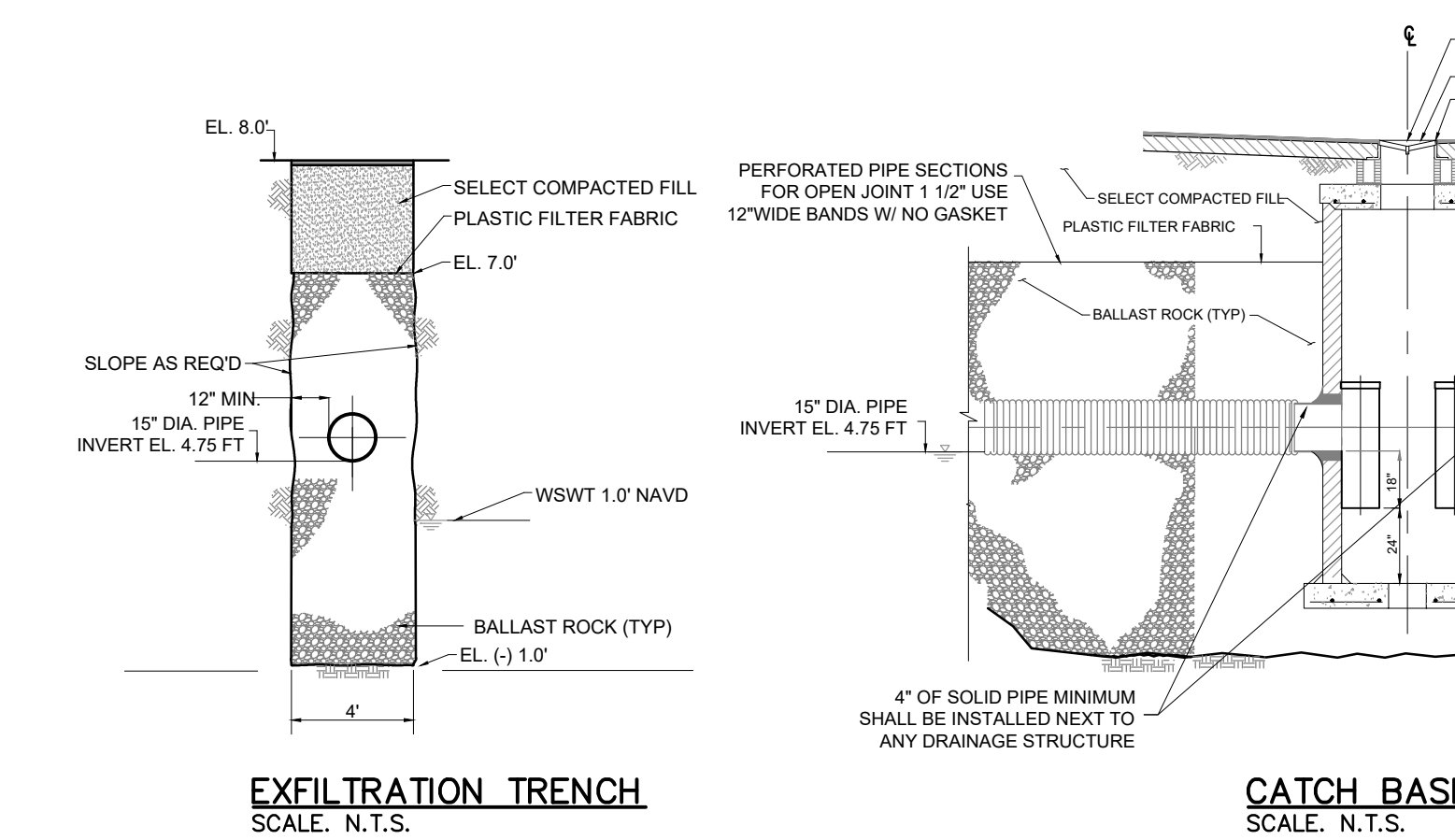
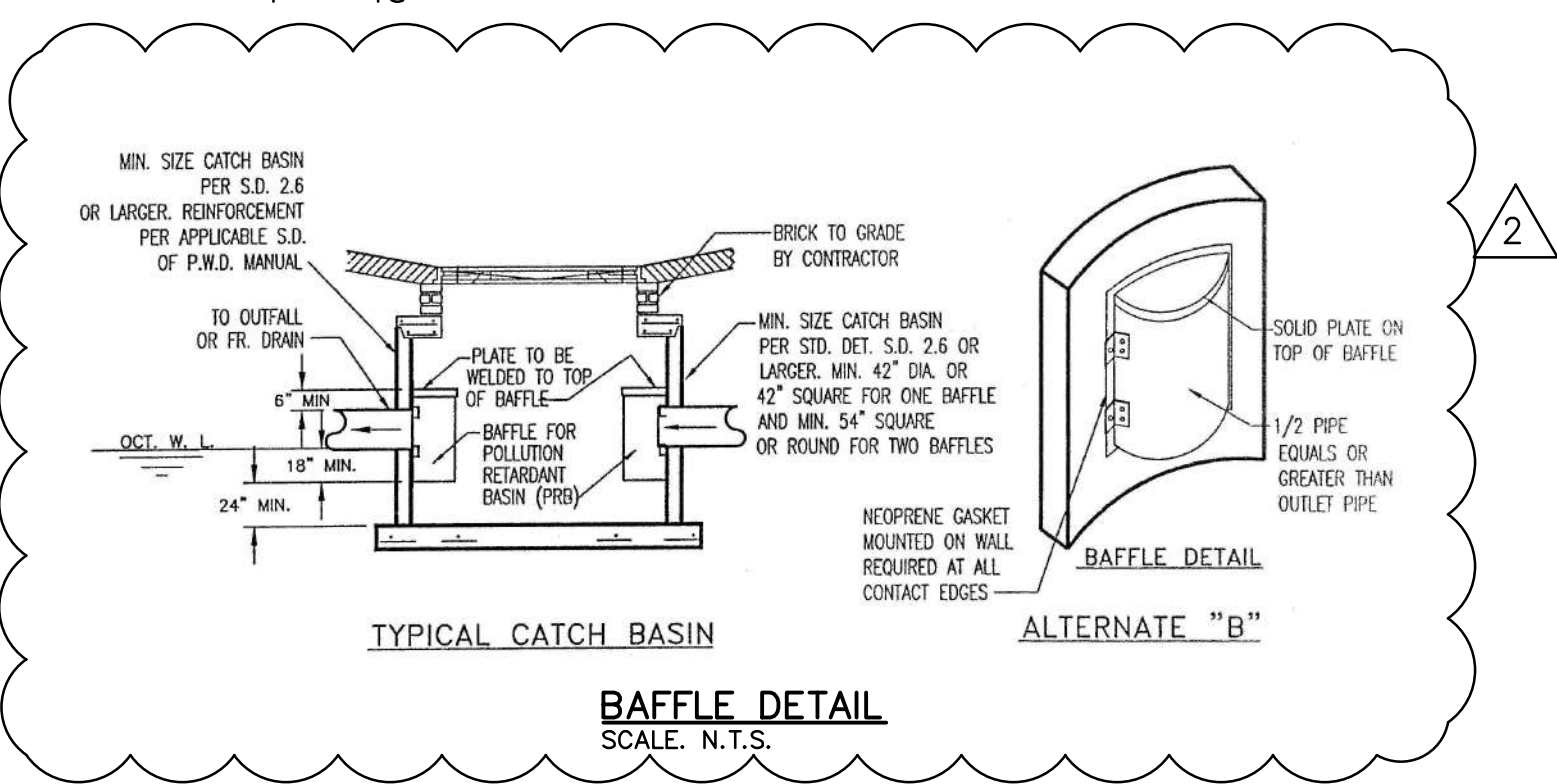
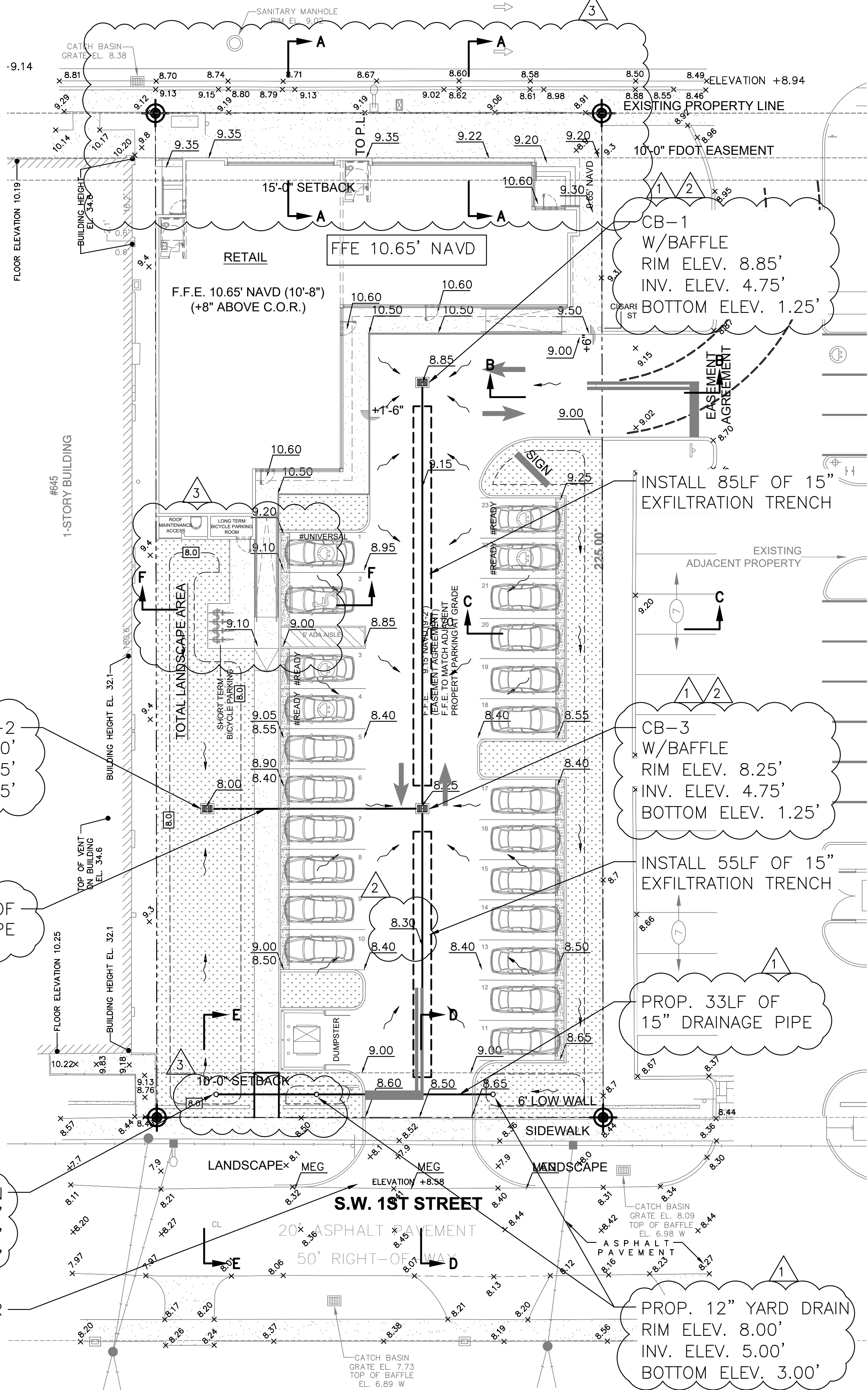
WEST HALLANDALE BEACH BOULEVARD
 100 RIGHT OF WAY PER DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 85508-26C



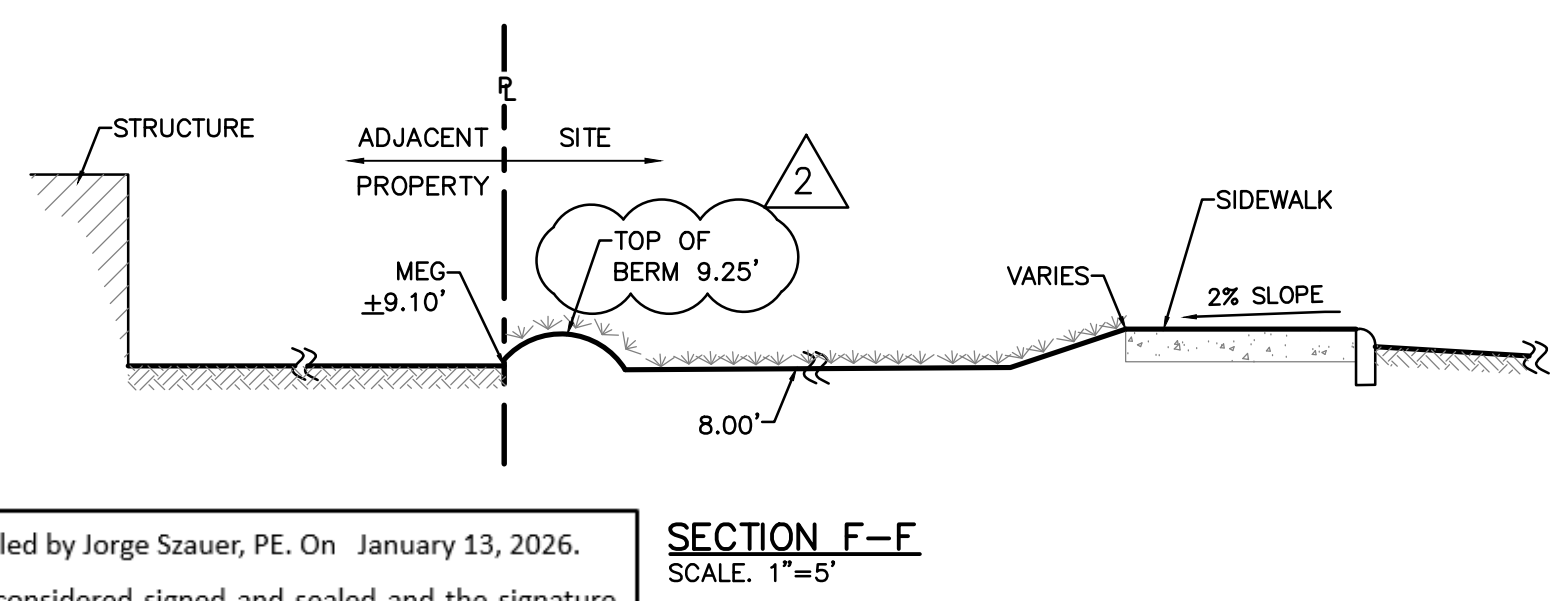
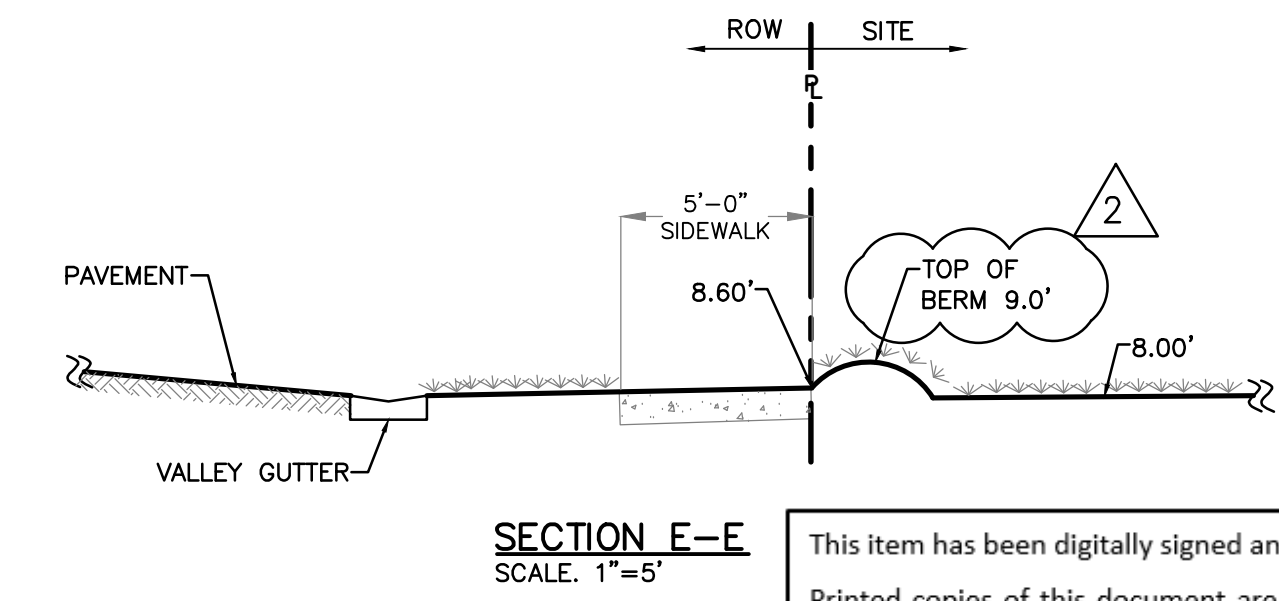
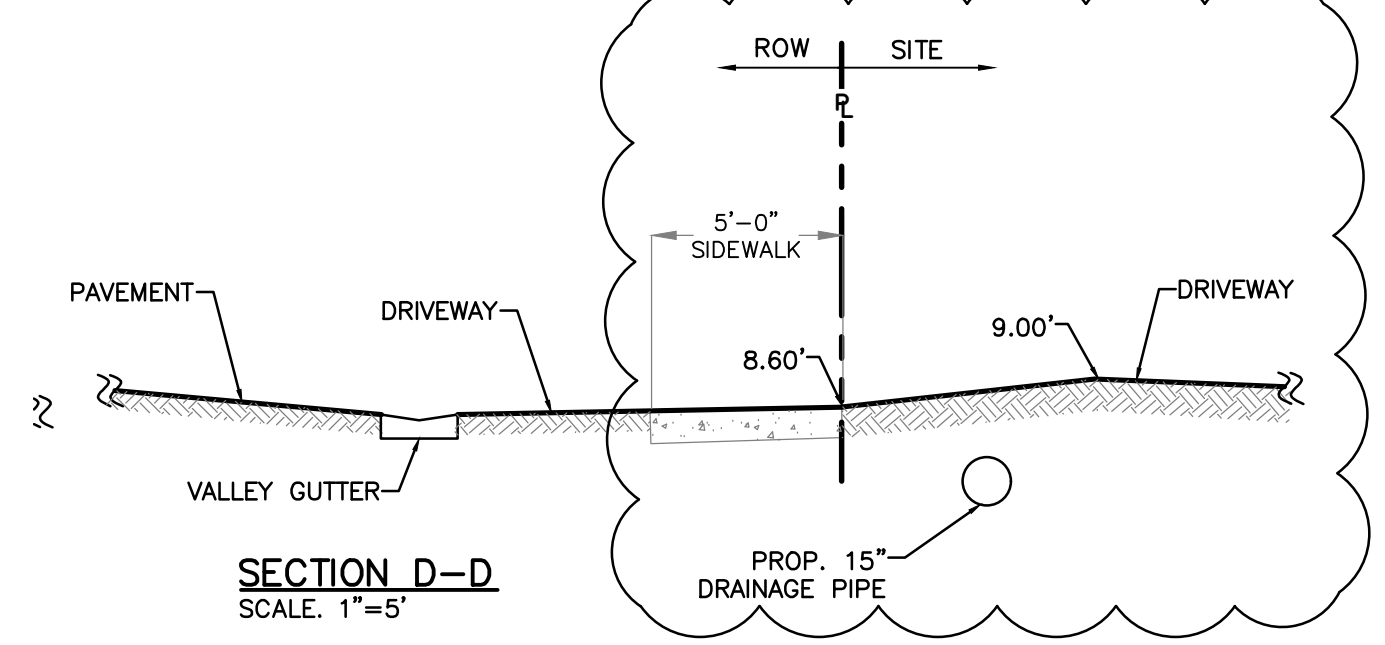
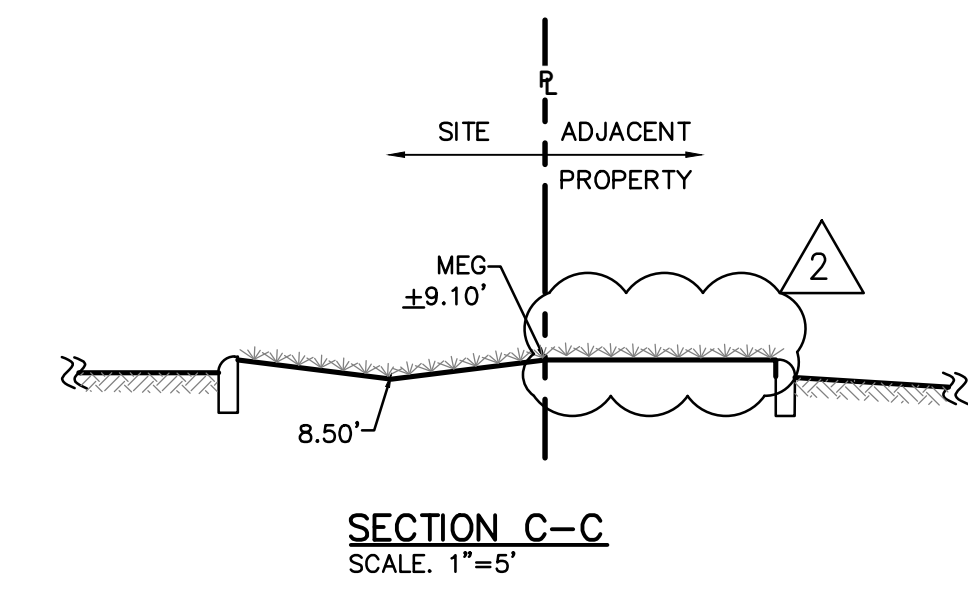
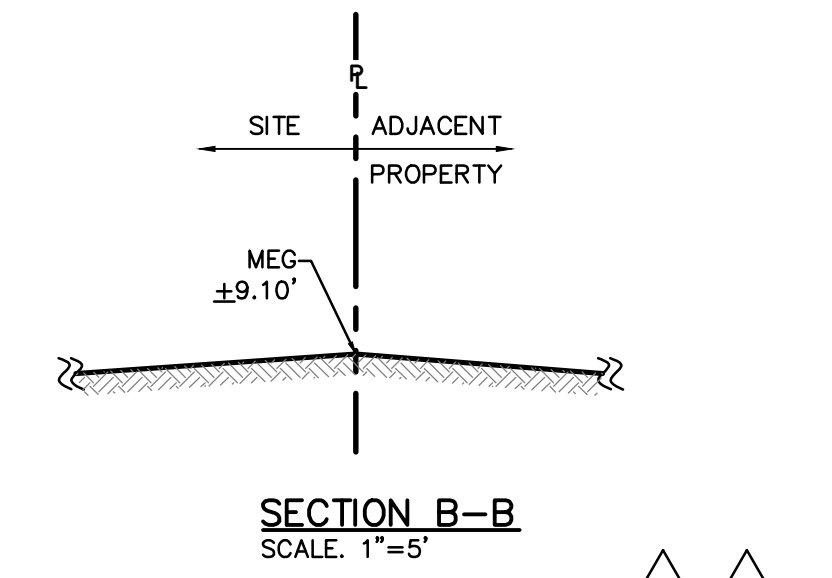
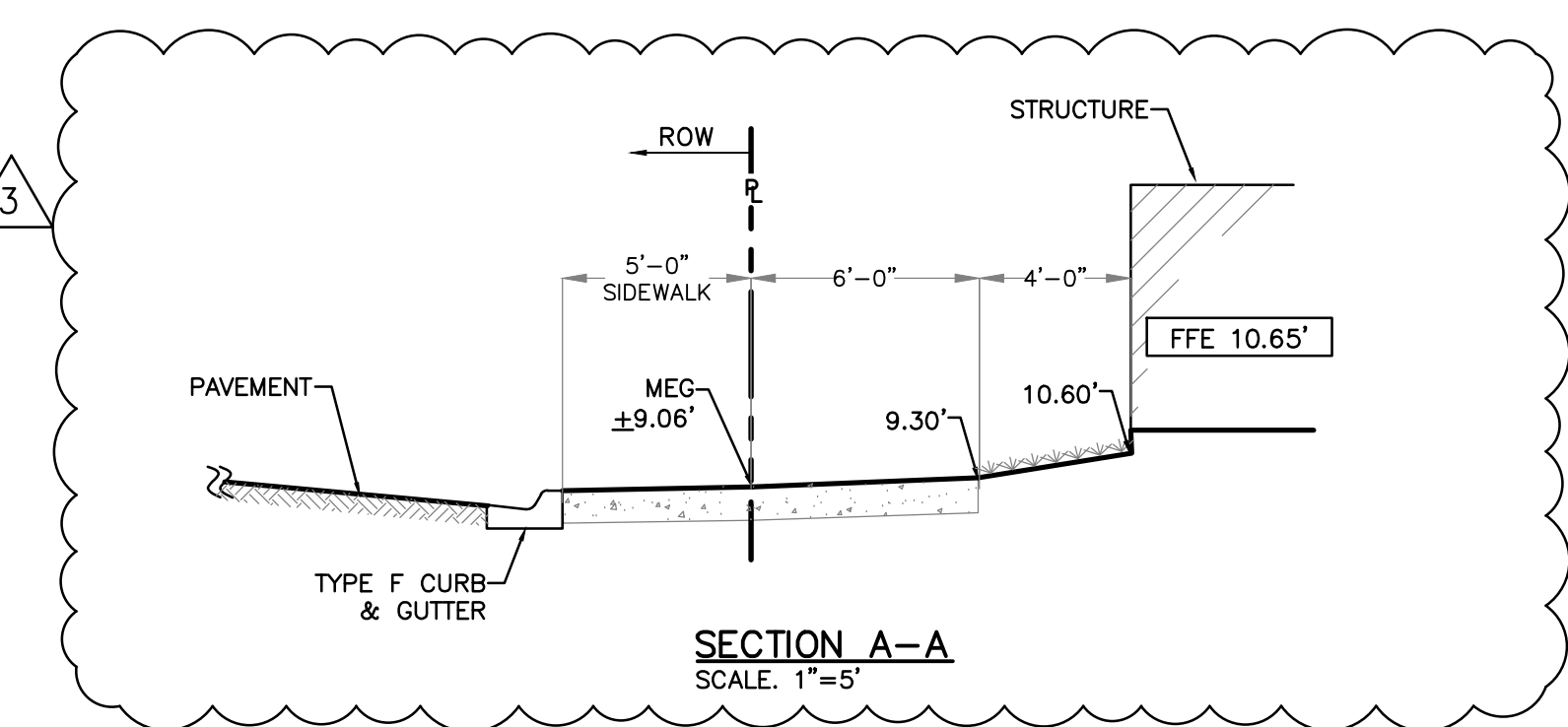
NOTE:
 ALL ELEVATIONS ARE RELATIVE TO THE NAVD 88 DATUM



LOCATION MAP
 N.T.S.



- LEGEND**
- PROPERTY LINE
 - + 4.50 EXISTING ELEVATION
 - + 7.50 PROP. GRADING ELEVATION
 - MEG MATCH EXISTING GRADE
 - GRASS
 - CONCRETE
 - TYPE D CURB
 - SOLID DRAINAGE PIPE
 - EXFILTRATION TRENCH
 - CATCH BASIN
 - DRAINAGE FLOW



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Reviews:

CITY COMMENTS	07/16/2024	J.S.
CITY COMMENTS	08/05/2024	J.S.
CITY COMMENTS	10/30/2025	J.S.

Client: **633 HALLANDALE BEACH BLVD**
 Project: **PAVING, GRADING & DRAINAGE**
 633 W HALLANDALE BEACH BOULEVARD, HALLANDALE BEACH, FL 33009

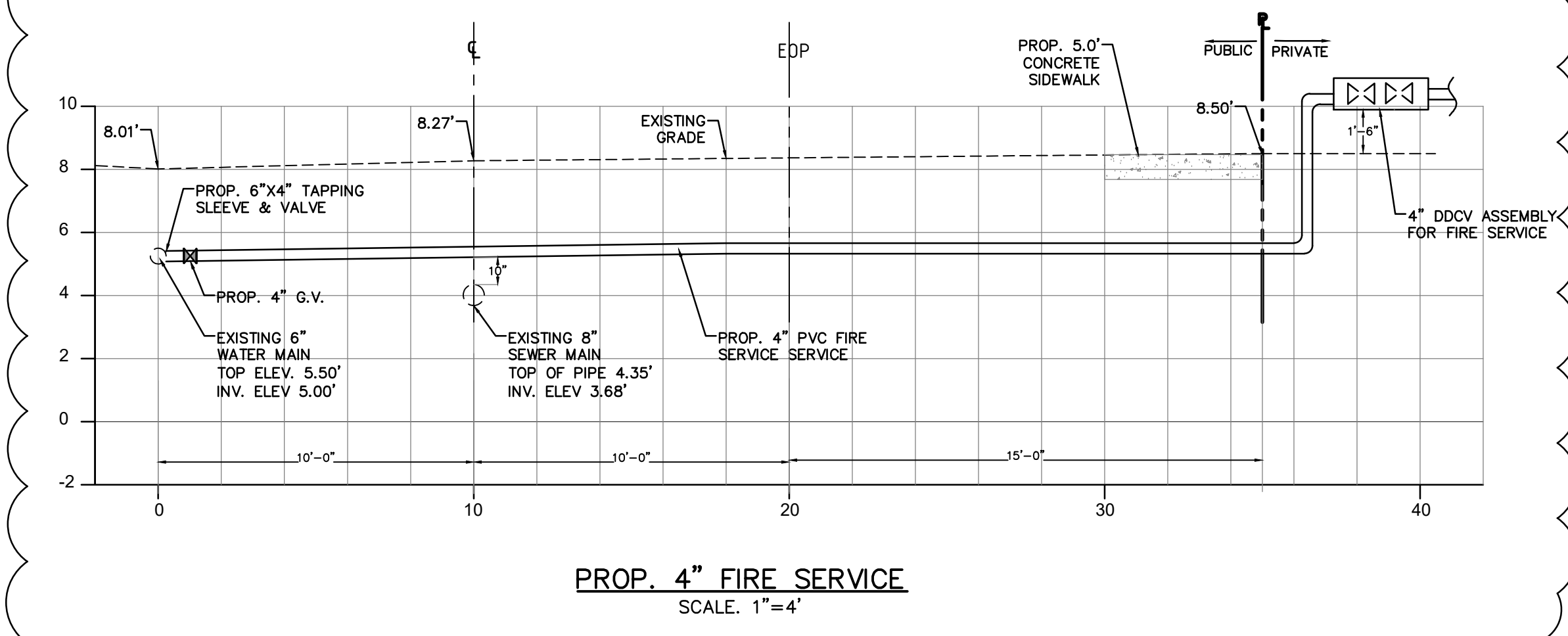
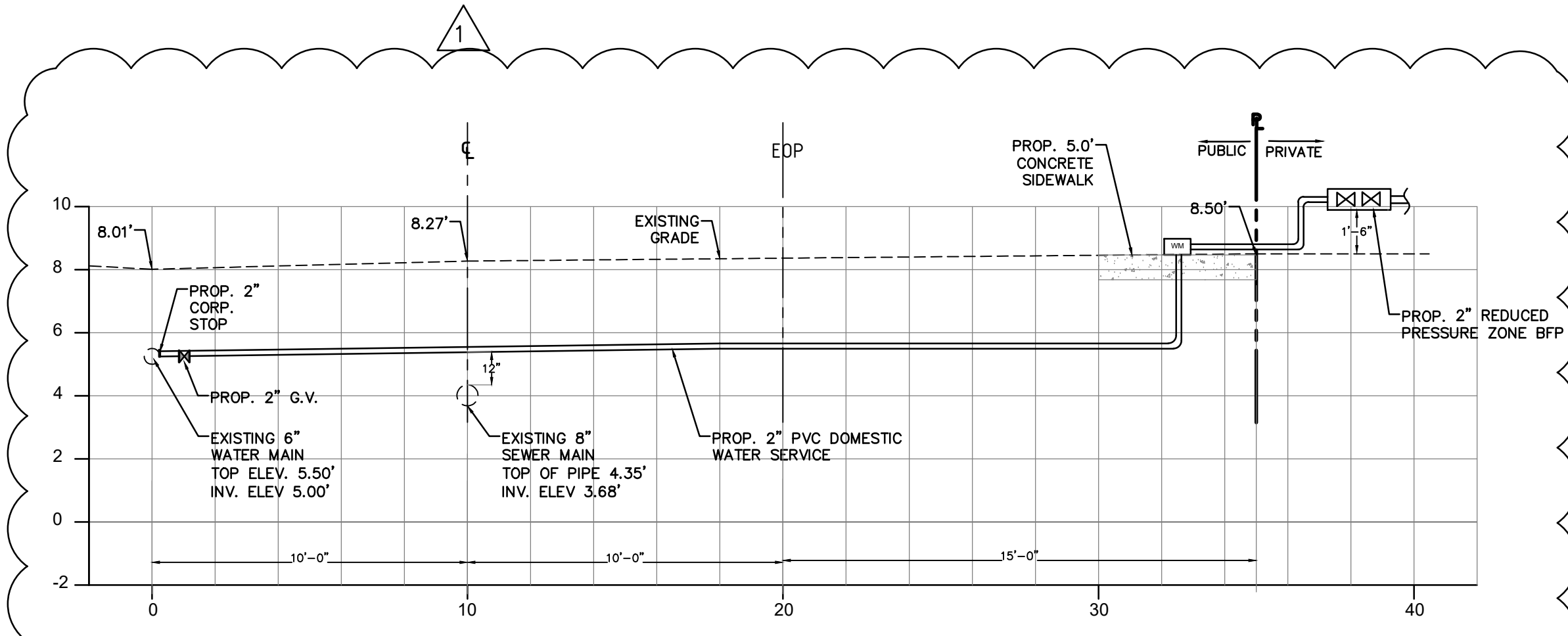
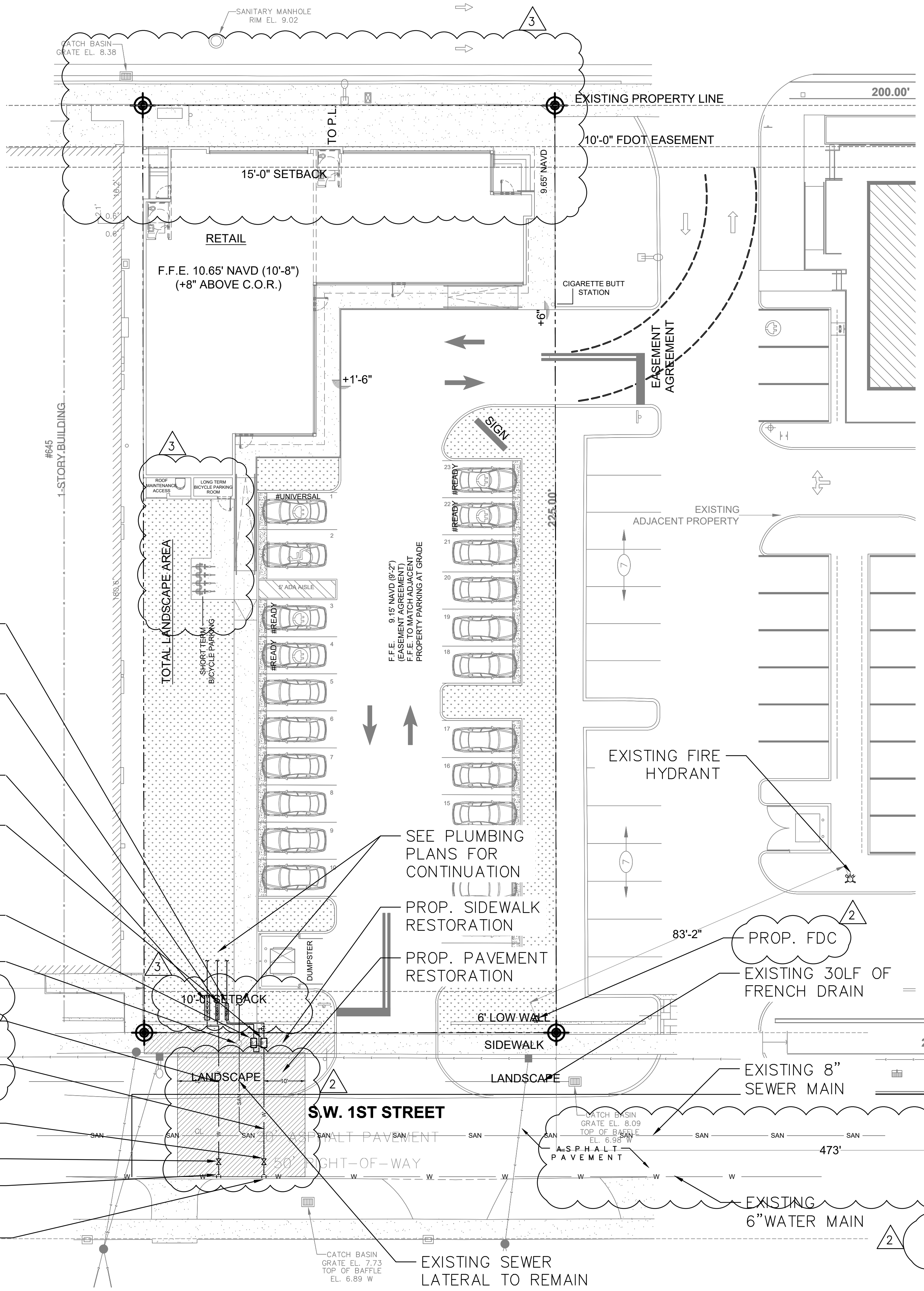
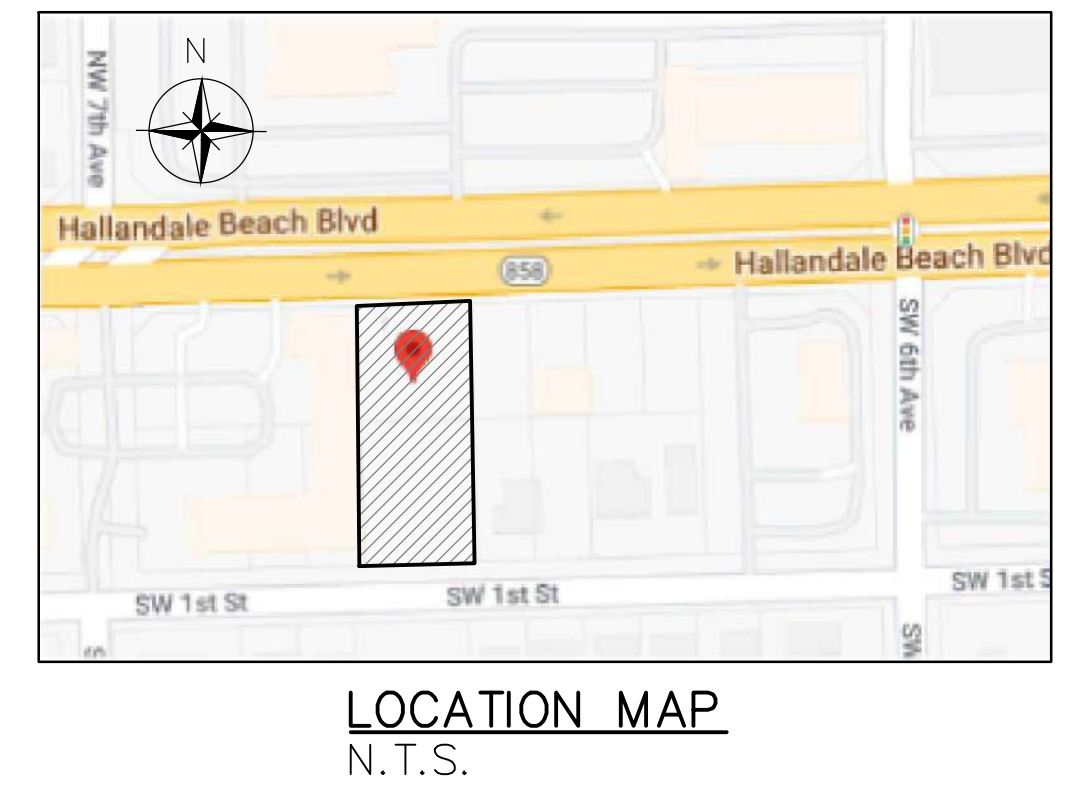
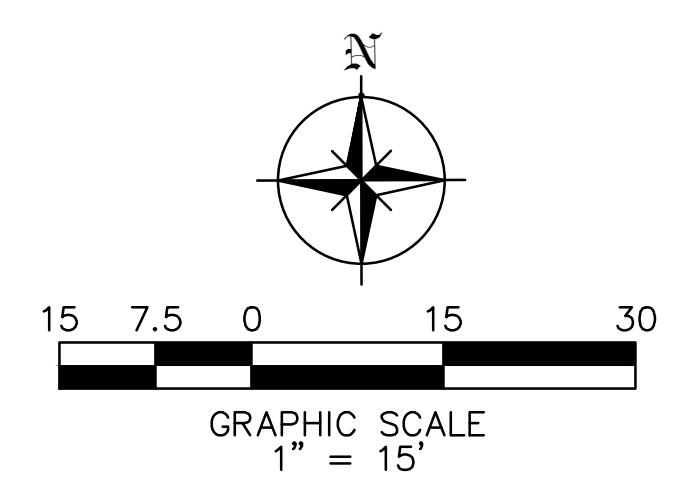
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Seal:
 Jorge M Szauder
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Designed by: **JORGE M. SZAUDER**
 Drawn by: **J. JANSE**
 Revised & Sealed: **JORGE M. SZAUDER**
 Date: **NOV. 2023**
 Scale: **AS SHOWN**
 Job No.:

Sheet: **C-03**

WEST HALLANDALE BEACH BOULEVARD
 100 RIGHT OF WAY PER DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 86508-2605 APPROVED 7-



- PROP. 2" REDUCED PRESSURE ZONE BFP FOR DOMESTIC SERVICE
- PROP. 1" PRESSURE VACUUM BREAKER BFP FOR IRRIGATION
- PROP. 4" DDCV ASSEMBLY FOR FIRE SERVICE
- PROP. 2" DOMESTIC METER
- EXISTING FIRE HYDRANT
- PROP. 1" IRRIGATION METER
- PROP. 6" C.O.
- PROP. 41LF OF 4" PVC FIRE SERVICE
- PROP. 31LF OF 2" PVC DOMESTIC WATER SERVICE
- PROP. 2" G.V.
- PROP. 4" G.V.
- PROP. 6"x4" TAPPING SLEEVE & VALVE
- PROP. 2" CORP. STOP

- SEE PLUMBING PLANS FOR CONTINUATION
- PROP. SIDEWALK RESTORATION
- PROP. PAVEMENT RESTORATION
- PROP. FDC
- EXISTING 30LF OF FRENCH DRAIN

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- LEGEND:**
- PROPERTY LINE
 - WATER
 - SEWER
 - GRASS
 - PAVEMENT RESTORATION

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Reviews:

1	CITY COMMENTS 07/16/2024 J.S.
2	CITY COMMENTS 08/05/2024 J.S.
3	CITY COMMENTS 10/30/2025 J.S.

Client: 633 HALLANDALE BEACH BLVD
 Project: 633 HALLANDALE BEACH BLVD, HALLANDALE BEACH, FL 33009

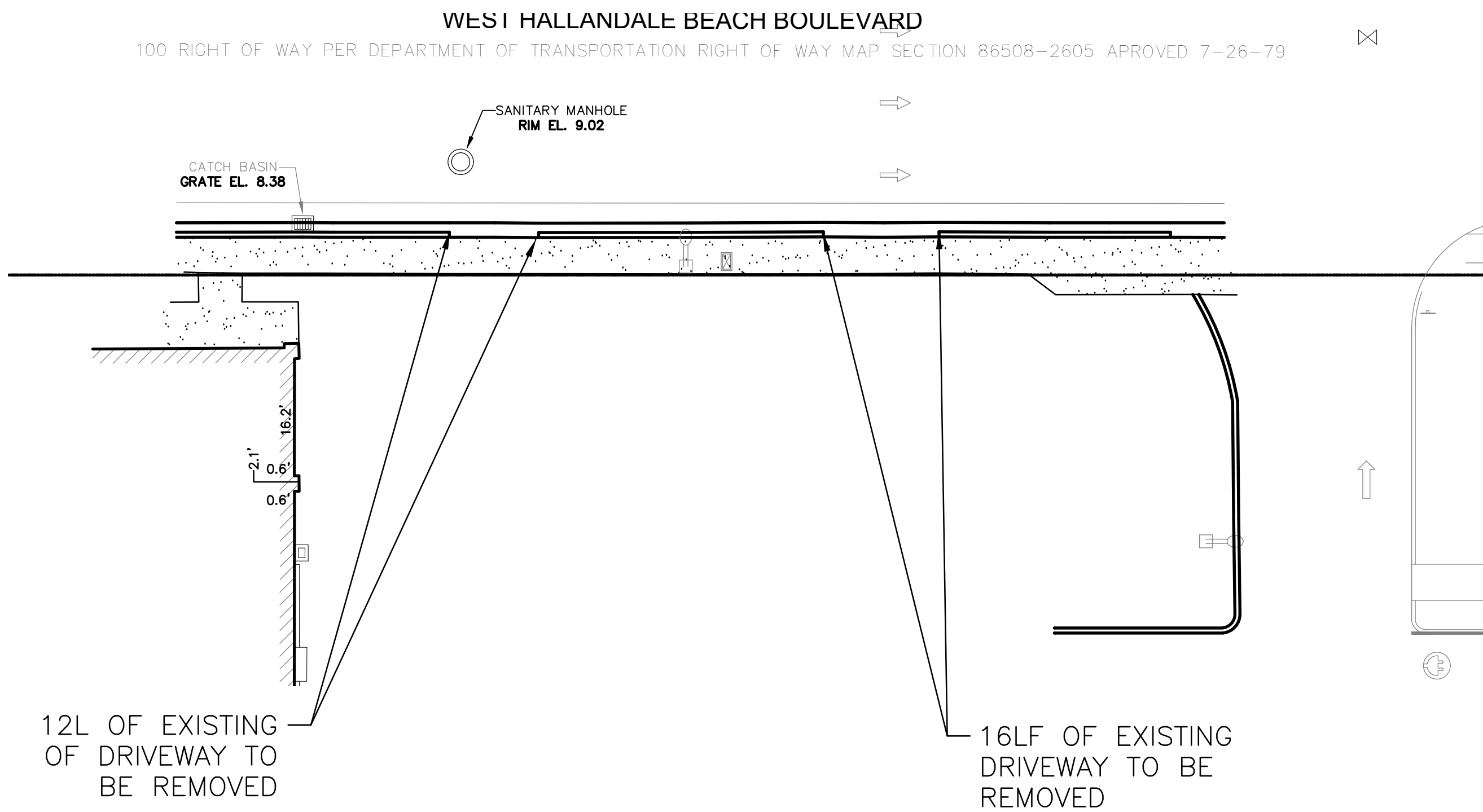
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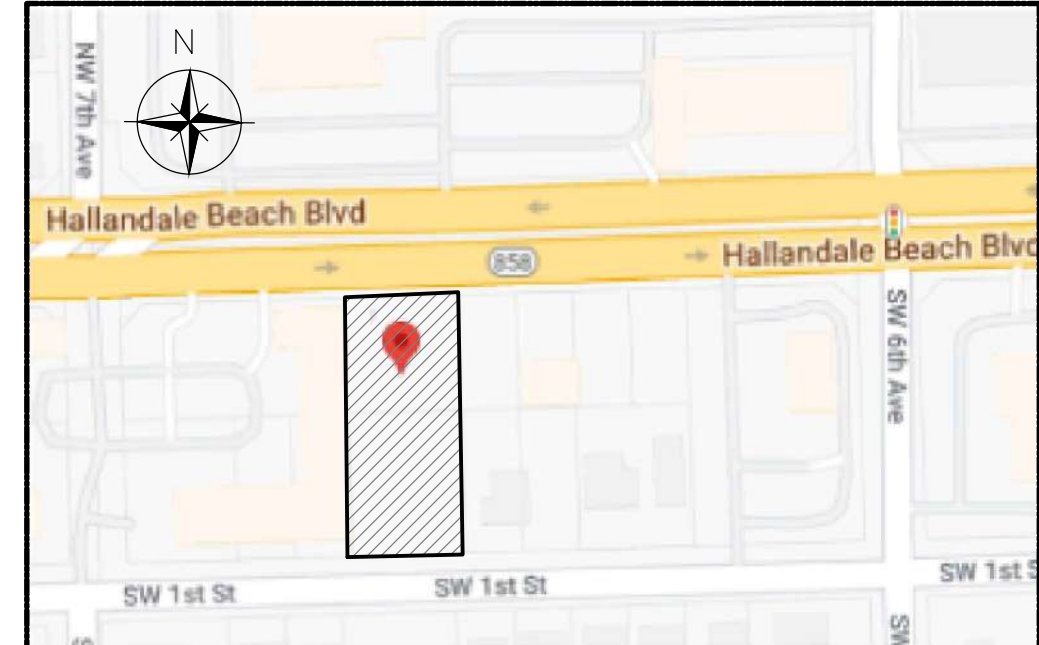
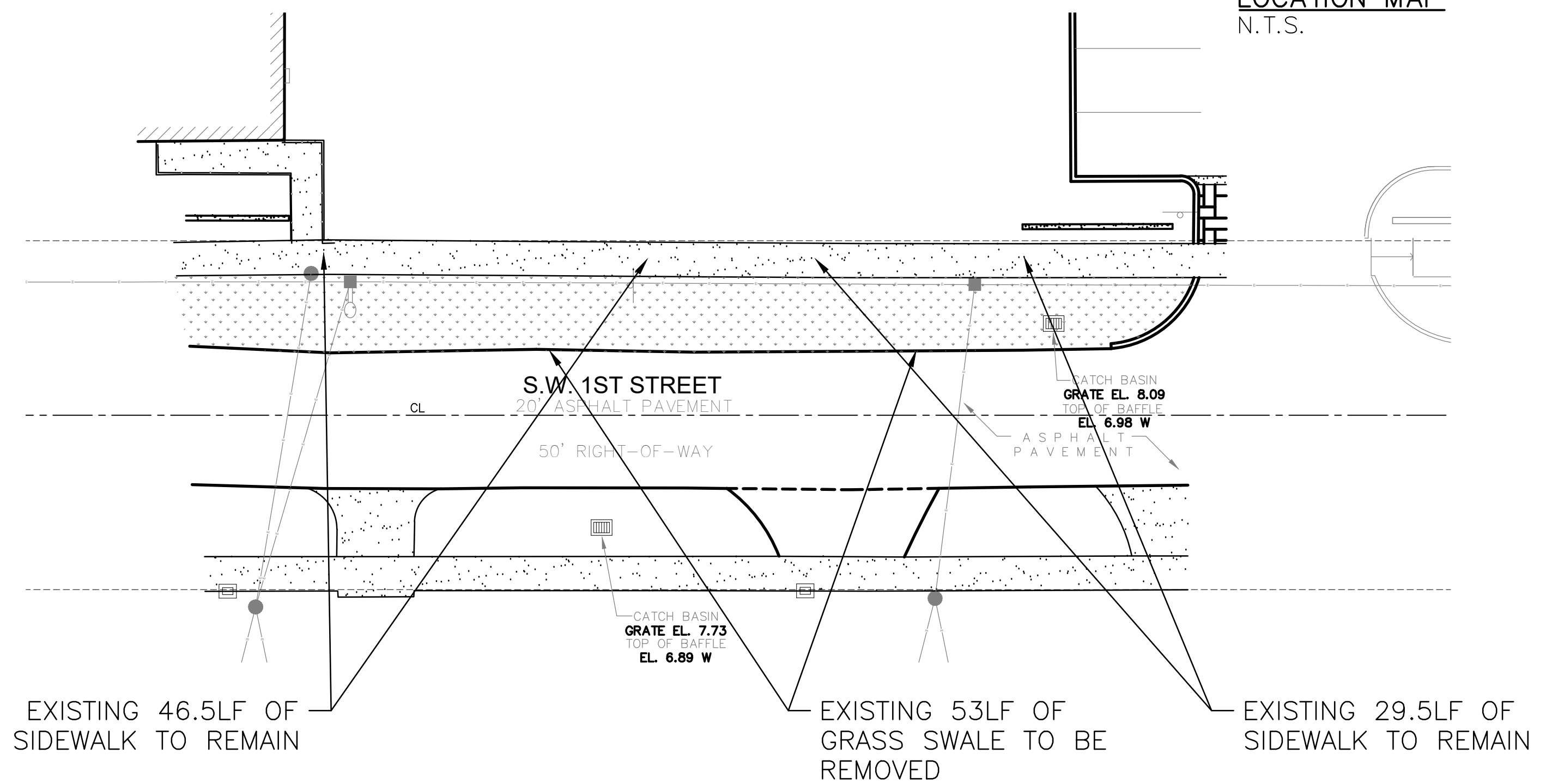
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EXISTING
HALLANDALE BEACH BLVD



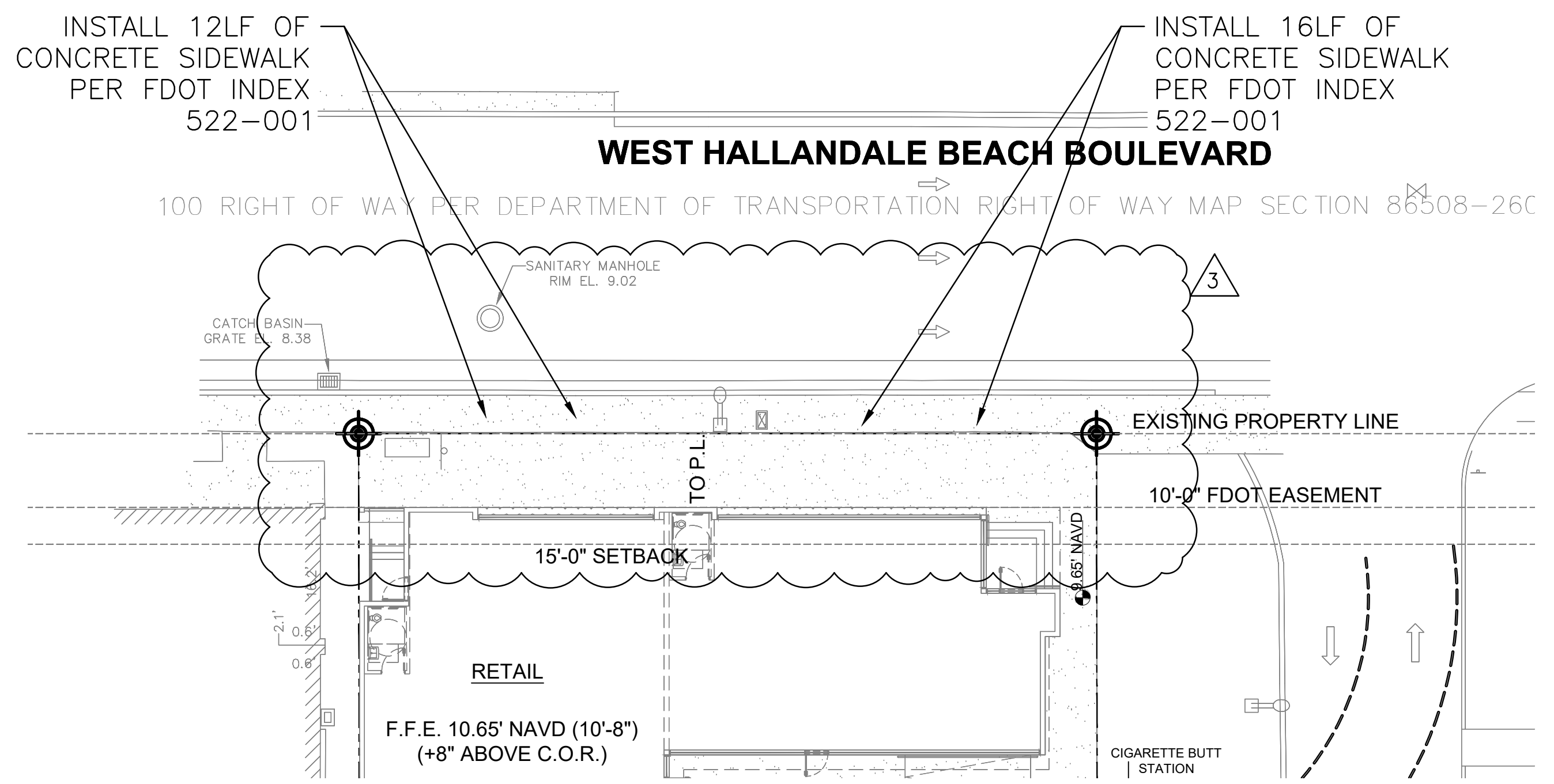
EXISTING
SW 1ST STREET



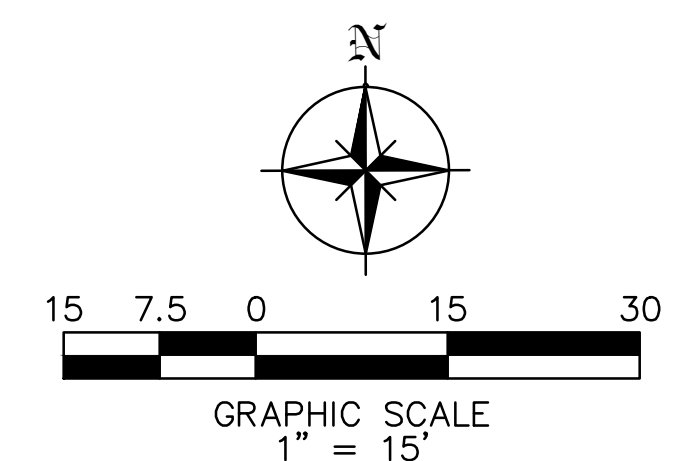
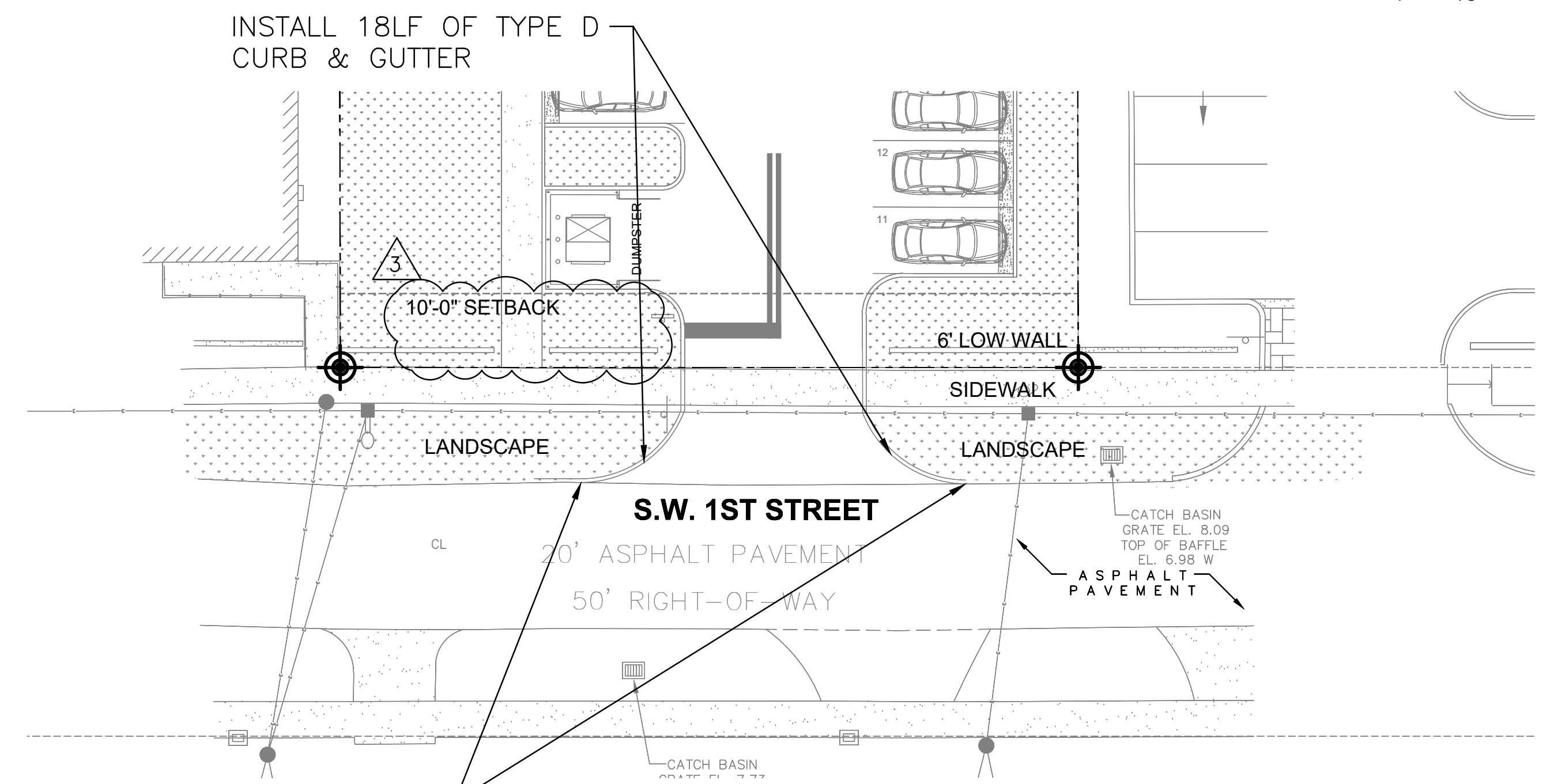
LOCATION MAP
N.T.S.

- LEGEND:**
- PROPERTY LINE
 - [Stippled Box] GRASS
 - [Solid Box] CONCRETE

PROPOSED
HALLANDALE BEACH BLVD



PROPOSED
SW 1ST STREET



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Szauder Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:
CITY COMMENTS 10/30/2025 J.S.

Client: 633 HALLANDALE BEACH BLVD
Project: 633 HALLANDALE BEACH BOULEVARD, HALLANDALE BEACH, FL 33009

ROADWAY PLAN

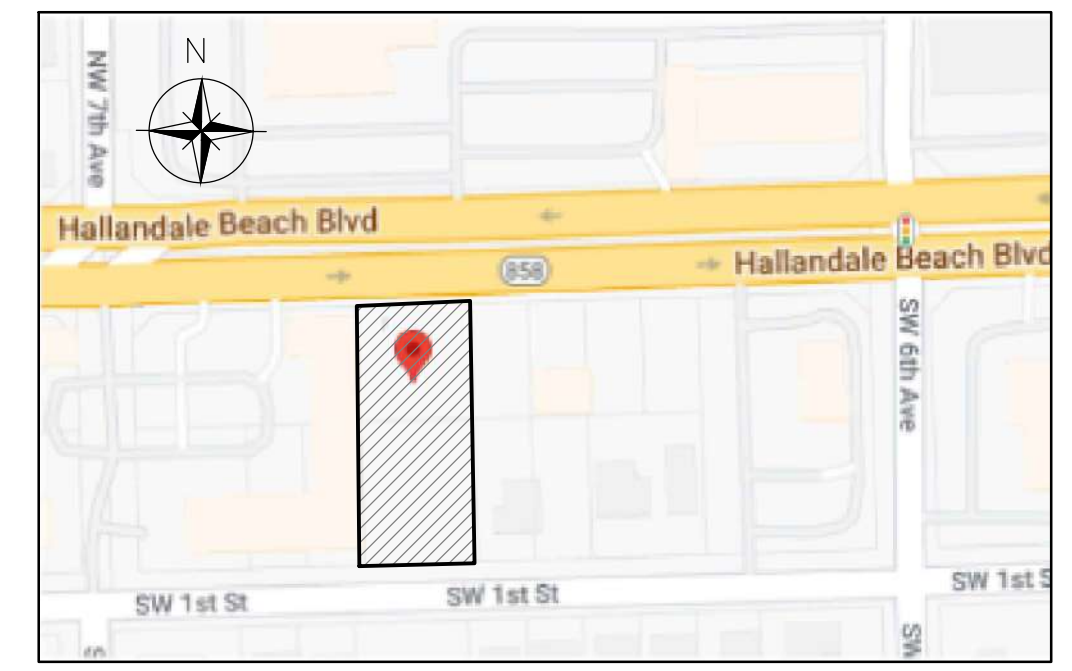
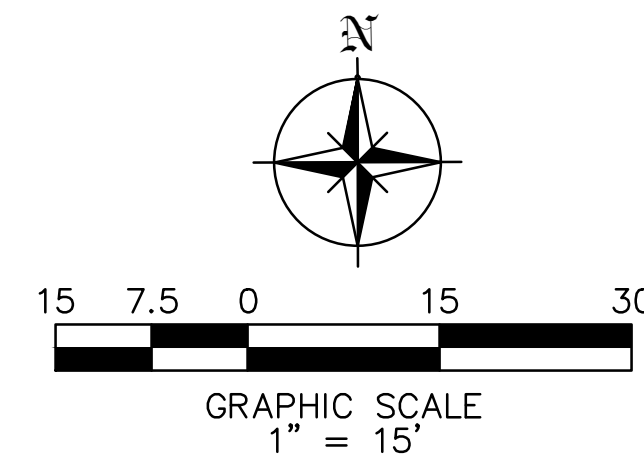
Seal:
Jorge M. Szauder
2026.01.13
18:19:18-0500
JORGE SZAUDER
FLA. REG. P.E. # 62579

Designed by:	JORGE M. SZAUDER
Drawn by:	J. JANSE
Reviewed & Sealed:	JORGE M. SZAUDER
Date:	NOV. 2023
Scale:	AS SHOWN
Job No.:	

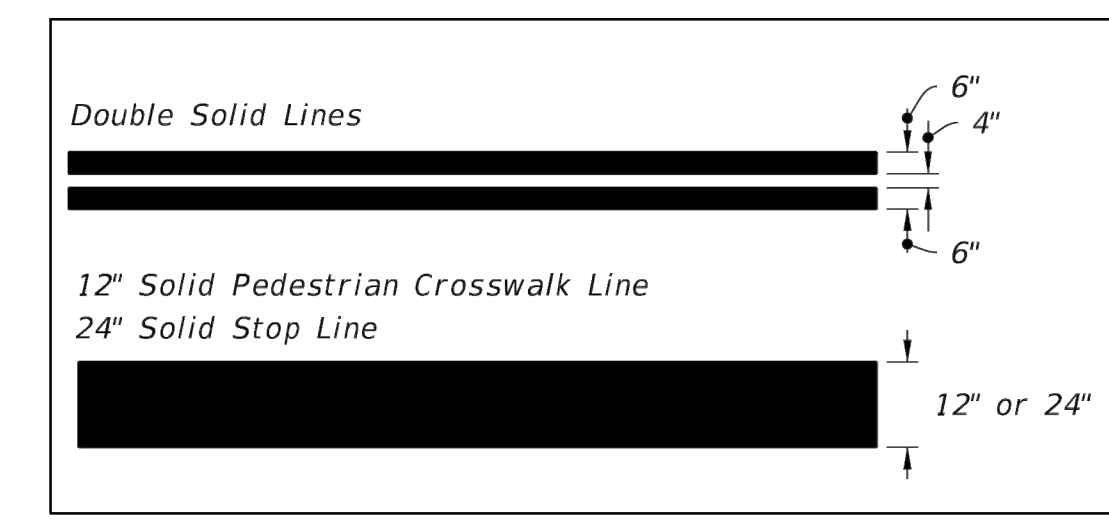
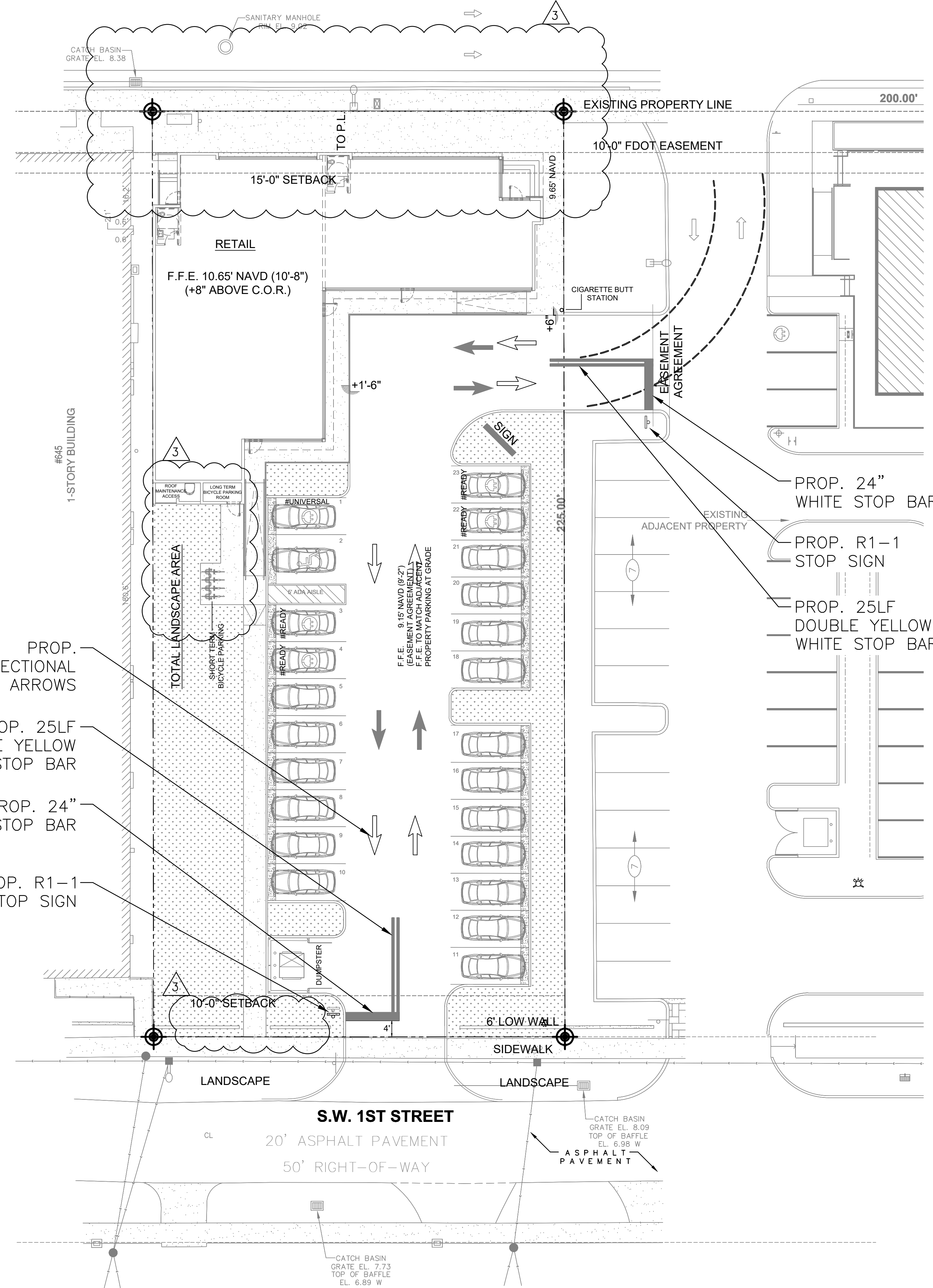
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C-05
1 of 1 Sheets

WEST HALLANDALE BEACH BOULEVARD

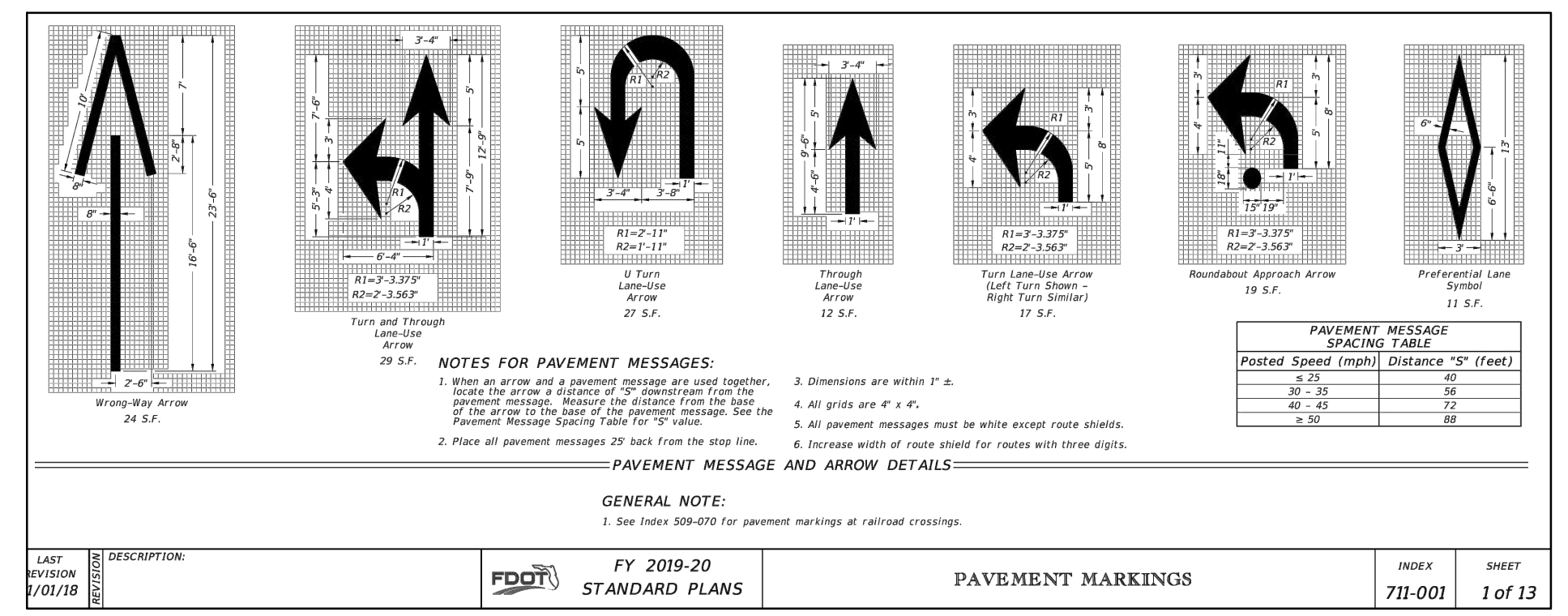
100 RIGHT OF WAY PER DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 86508-2605 APROVED 7-



LOCATION MAP
N.T.S.



PAVING MARKINGS LINES
DETAIL 1
NTS STD



DIRECTIONAL ARROWS
DETAIL 2
NTS STD

LEGEND:

- PROPERTY LINE
- Grass symbol GRASS
- STOP sign symbol R1-1 STOP SIGN

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7251 W Palmetto Park Road Suite 100
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Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:

CITY COMMENTS	08/05/2024	J.S.
CITY COMMENTS	10/30/2025	J.S.

Client: **633 HALLANDALE BEACH BLVD**
Project: **633 HALLANDALE BEACH BLVD**
633 W HALLANDALE BEACH BOULEVARD, HALLANDALE BEACH, FL 33009

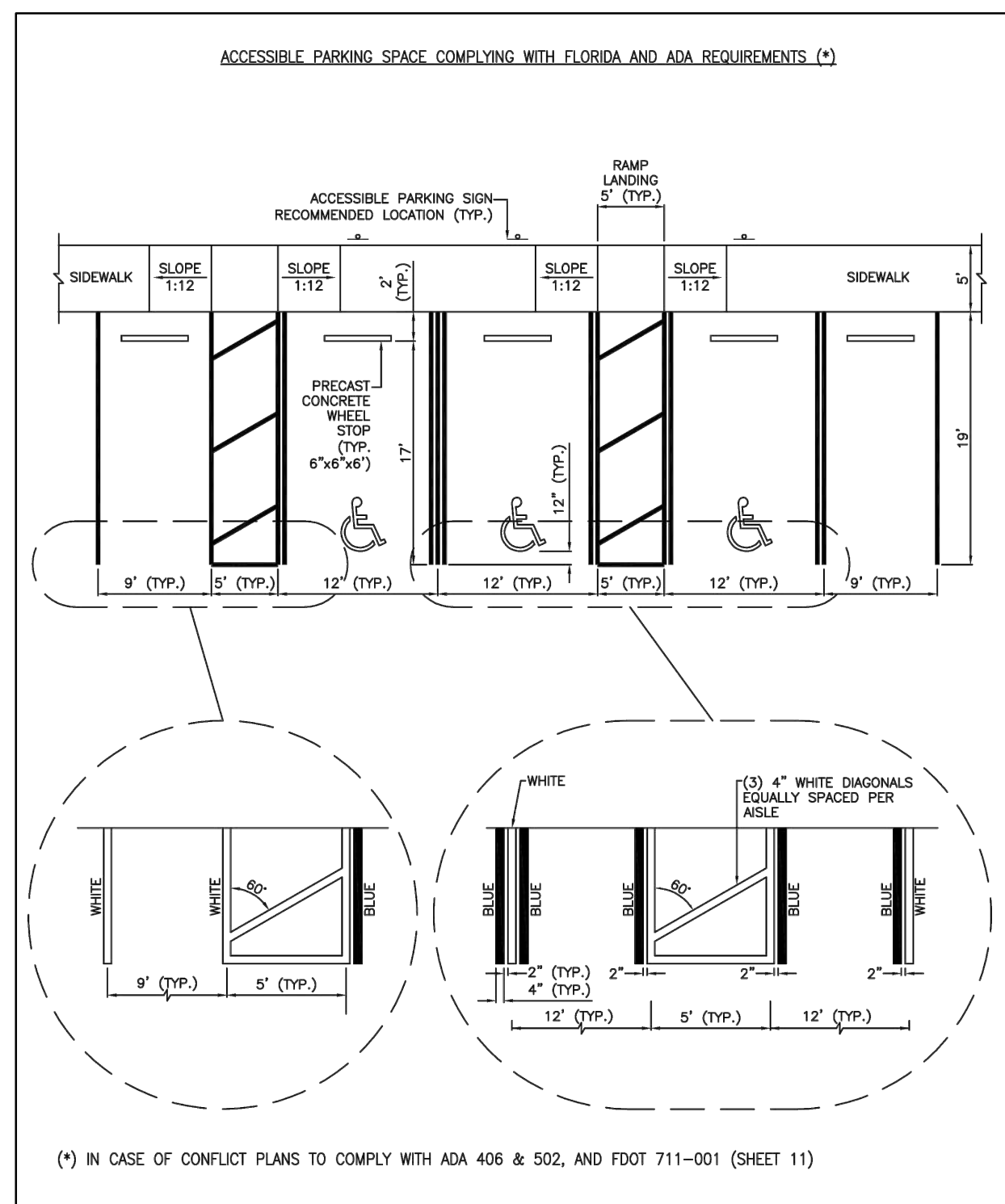
PAVING MARKINGS & SIGNAGE PLAN

Seal:

JORGE SZAUDER
FLA. REG. P.E. # 62579

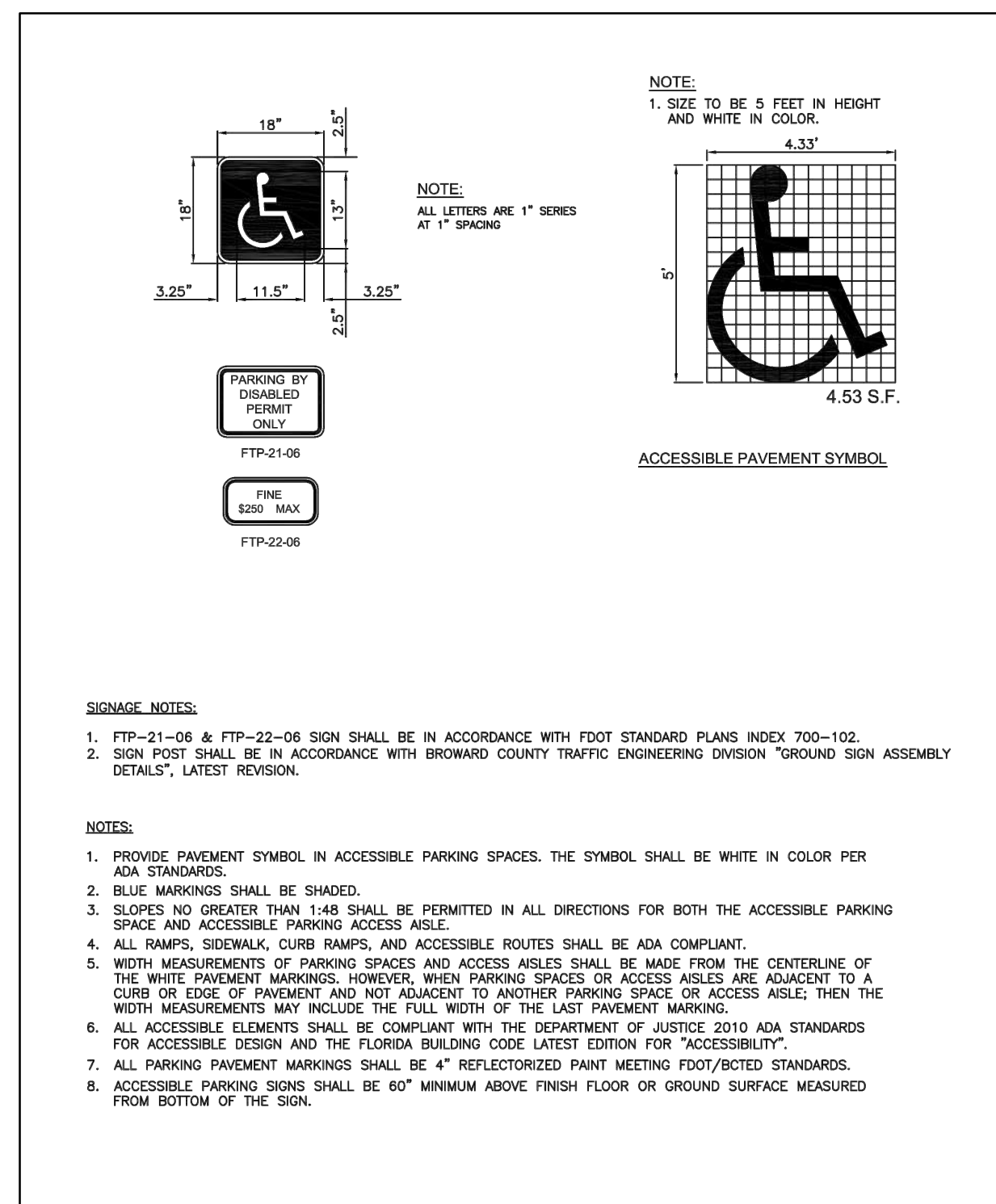
Designed by:	JORGE M. SZAUDER
Drawn by:	J. JANSE
Reviewed & Sealed:	JORGE M. SZAUDER
Date:	JULY 2024
Scale:	AS SHOWN
Job No.:	

Sheet: **C-06**
of Sheets



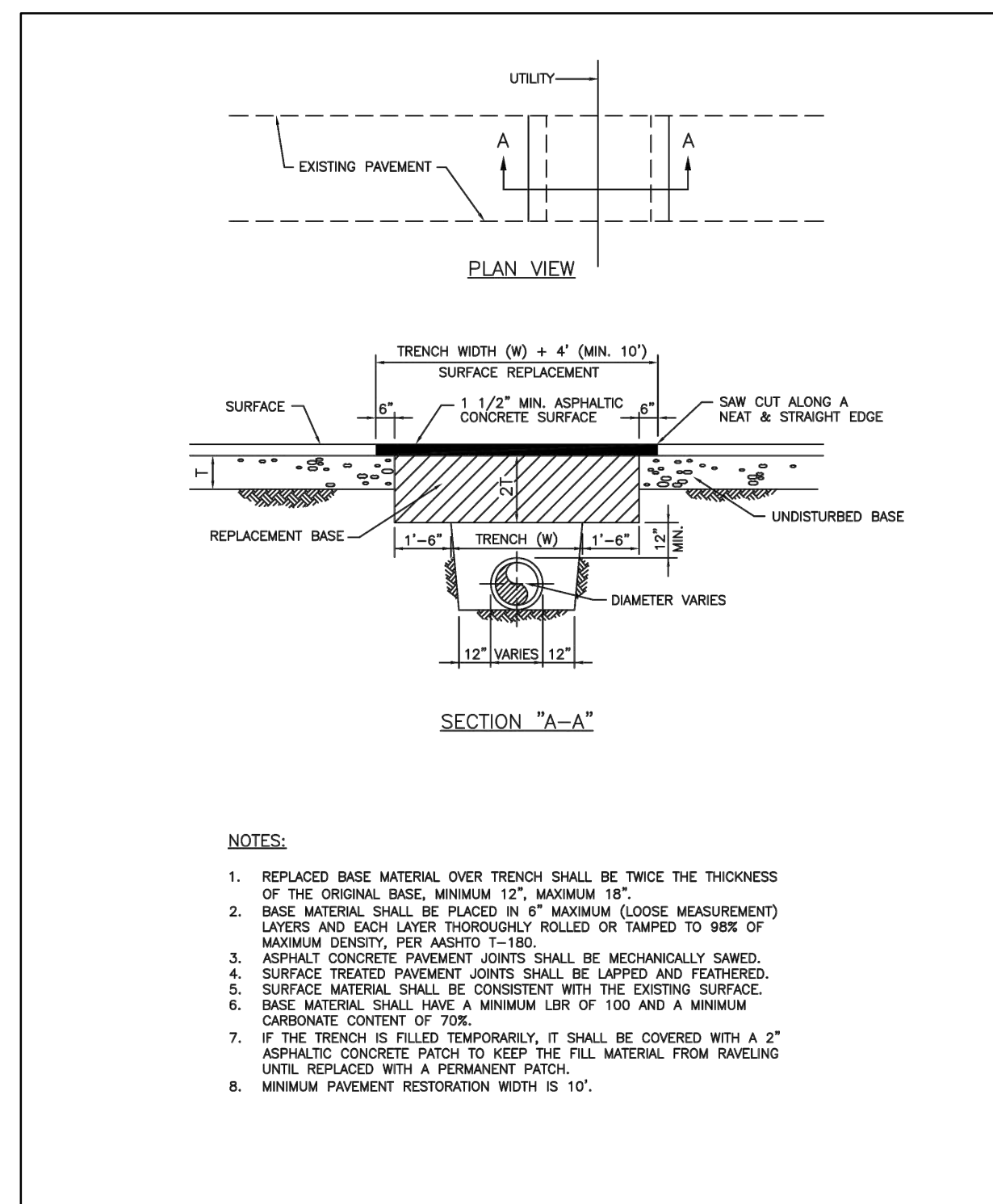
ACCESSIBLE PARKING SPACE 1/2

DETAIL	1
NTS	STD



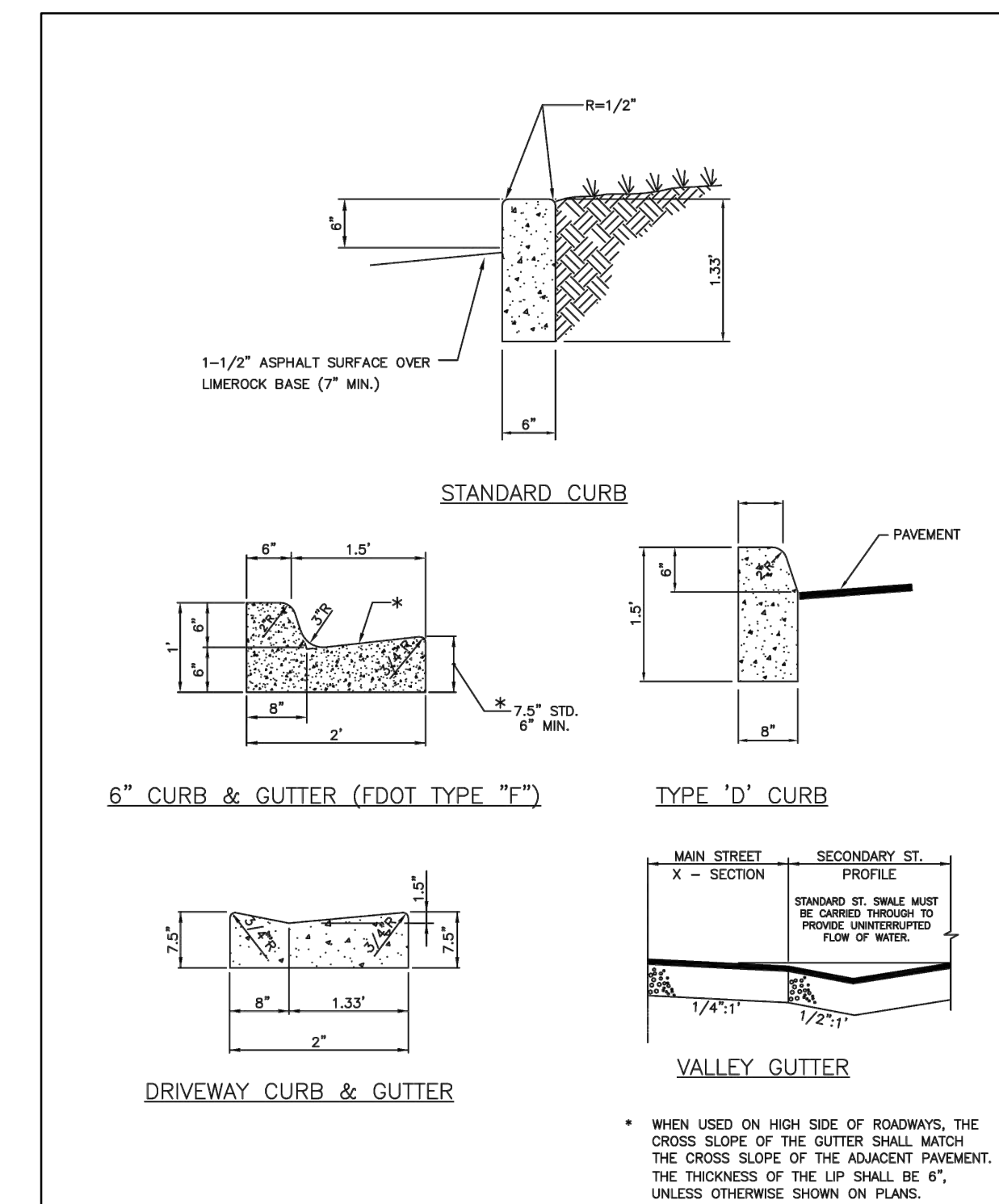
ACCESSIBLE PARKING SPACE 2/2

DETAIL	2
NTS	STD



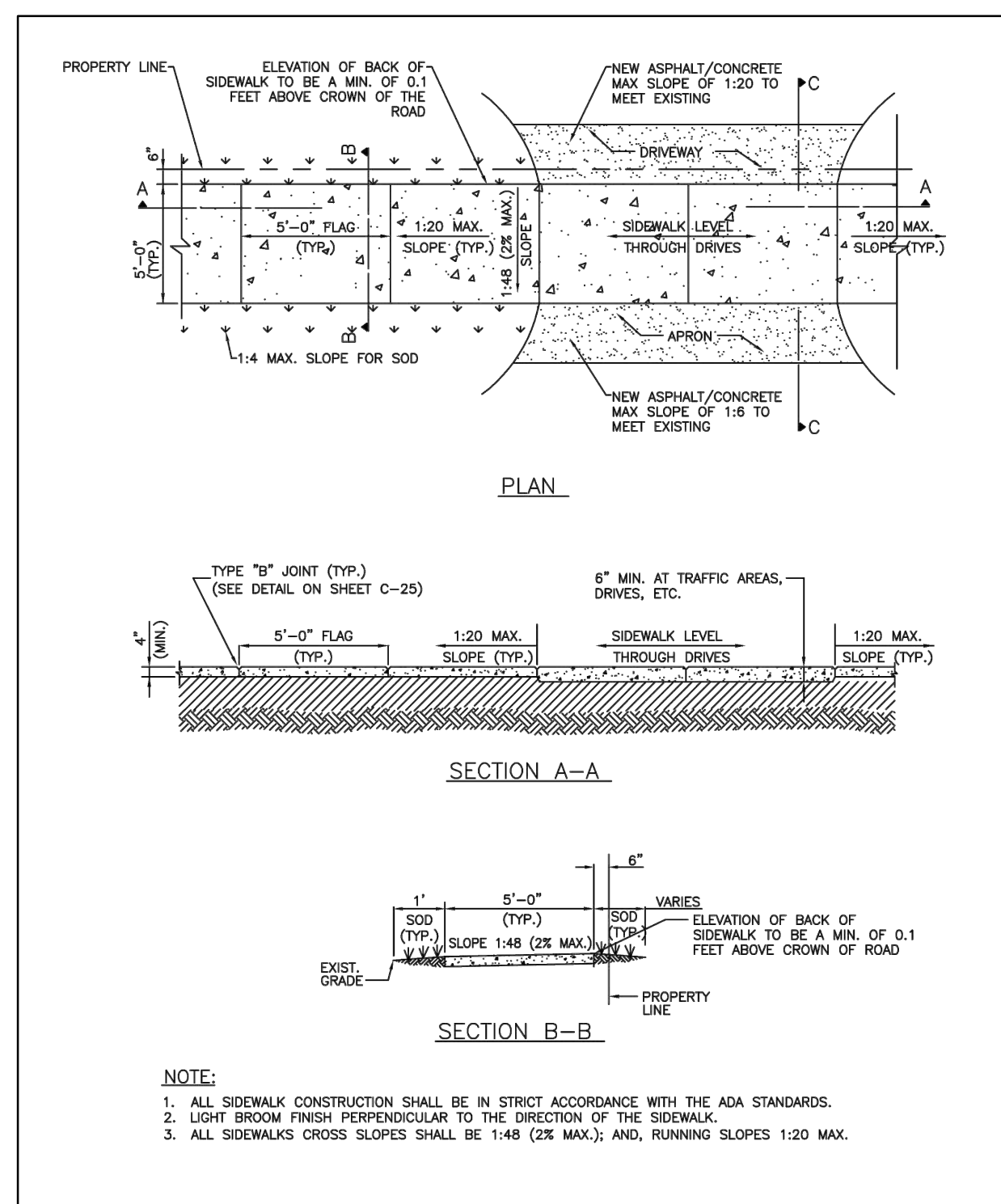
PAVEMENT RESTORATION

DETAIL	3
NTS	STD



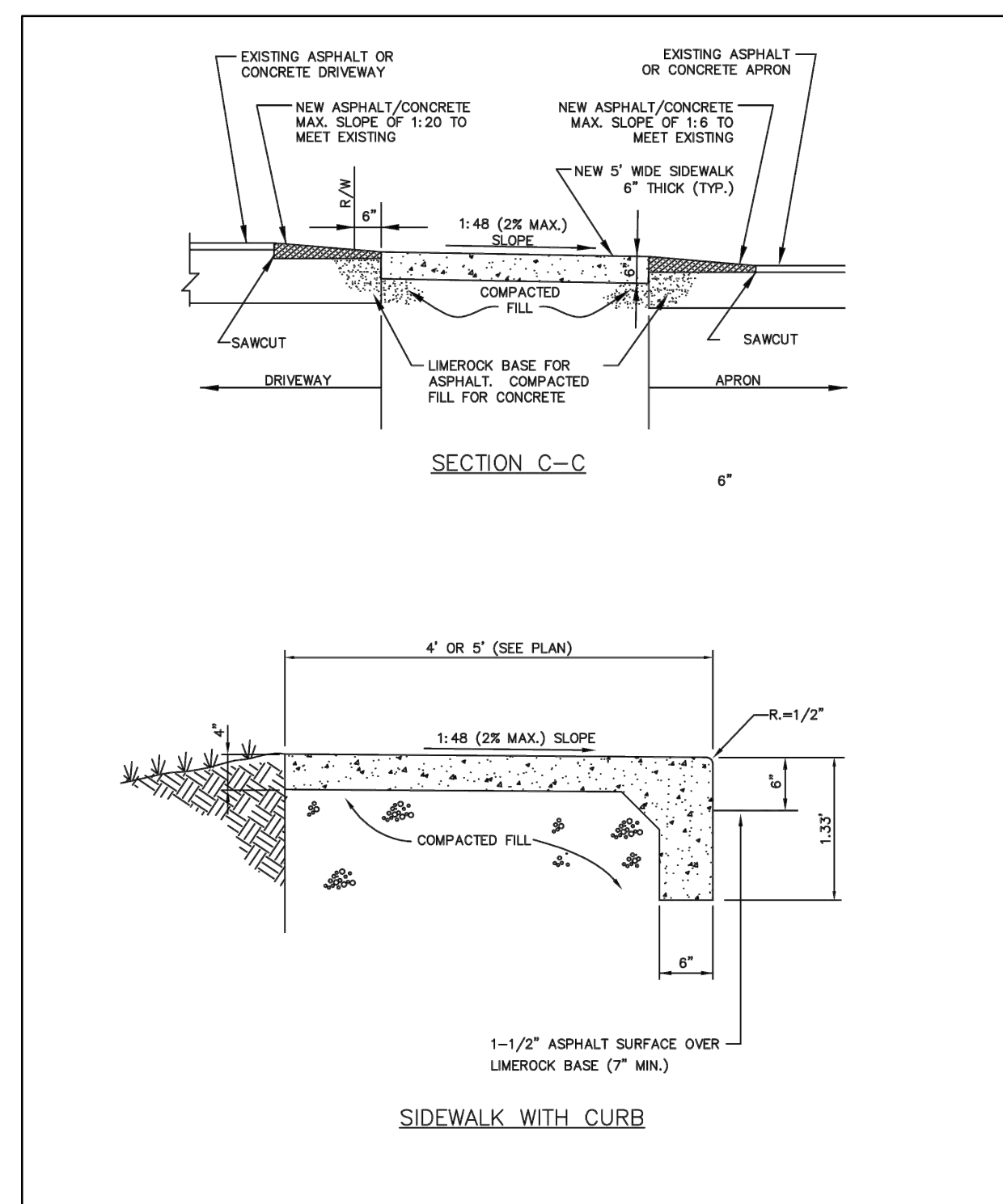
CURB & GUTTER

DETAIL	4
NTS	STD



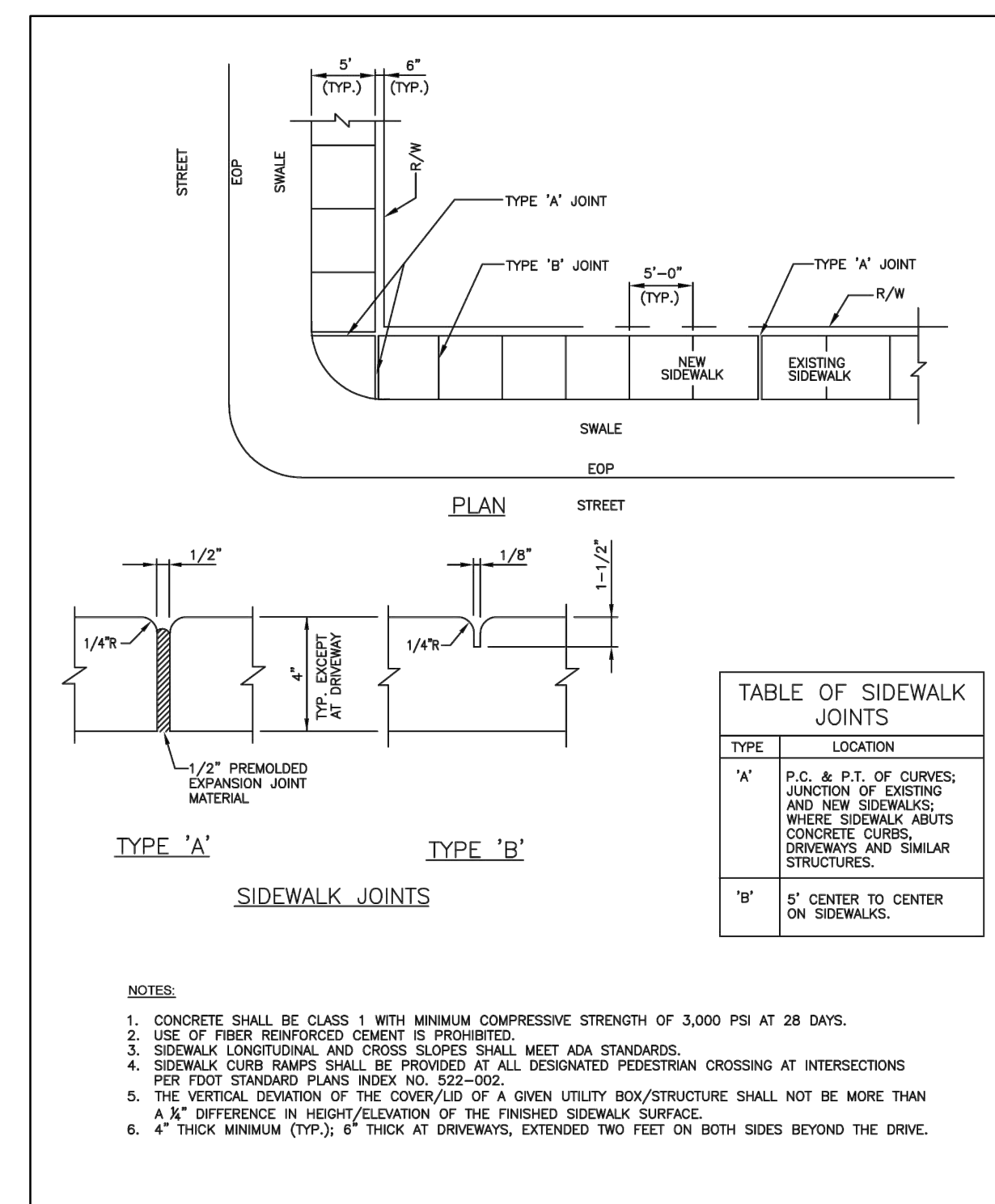
SIDEWALK CONSTRUCTION 1/3

DETAIL	5
NTS	STD



SIDEWALK CONSTRUCTION 2/3

DETAIL	6
NTS	STD



SIDEWALK CONSTRUCTION 3/3

DETAIL	7
NTS	STD

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Reviews:

Client: 633 HALLANDALE BEACH BLVD
 Project: 633 HALLANDALE BEACH BOULEVARD, HALLANDALE BEACH, FL 33009

GENERAL DETAILS

Seal: JORGE M. SZAUER
 2026.01.13
 18:19:44-05'00"

Designed by: JORGE M. SZAUER
 Drawn by: J. JANSE
 Revised & Sealed: JORGE M. SZAUER
 Date: JULY 2024
 Scale: AS SHOWN
 Job #:

Sheet: C-07
 of 5 Sheets