

Letter of Intent

Date: August 11, 2025

To: Building Official
City of Hallandale Beach Building Department

Re: Proposed New Duplex
Request Approval for a density increase or Bonus Unit Allocation.

I, Cristina Ramos, owner of the property at 648 NW 5th Ct, Hallandale Beach, FL 33009, request the inclusion of one additional Bonus Density Unit as part of the proposed development, in accordance with the Broward County Affordable Housing Program and Broward County Bonus Unit – Policy 2.16.3.

The project involves a two-story duplex on an irregularly shaped RD-12 lot. Its triangular configuration limits the buildable area, requiring an Administrative Variance Request to adjust front and rear setbacks while maintaining harmony with the code and neighborhood.

Under the City of Hallandale Beach's Future Land Use for RD-12 zoning, the maximum density is 14 units per acre. With 5,655 sq. ft. (0.1298 acres), this equals 1.8175 units; by right, only 1 unit is permitted. A duplex requires 6,222.86 sq. ft., so the lot is 568 sq. ft. short (~9.1%), requiring a density increase or bonus allocation.

Per Policy 2.16.3, I request the affordable unit be classified under the Moderate-Income category (up to 120% AMI), consistent with typical approvals.

The proposed development will:

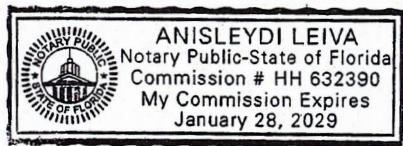
- Maintain architectural and functional compatibility with surrounding structures.
- Comply with the program's affordability commitment.
- Avoid any negative impacts on adjacent properties or public welfare.

Attached is the Administrative Variance Justification submitted to the City of Hallandale Beach, detailing the lot's special conditions and design adjustments. I am available for any additional documentation, plans, or clarifications needed for review.

Thank you for your time and consideration.

Cristina V. Ramos

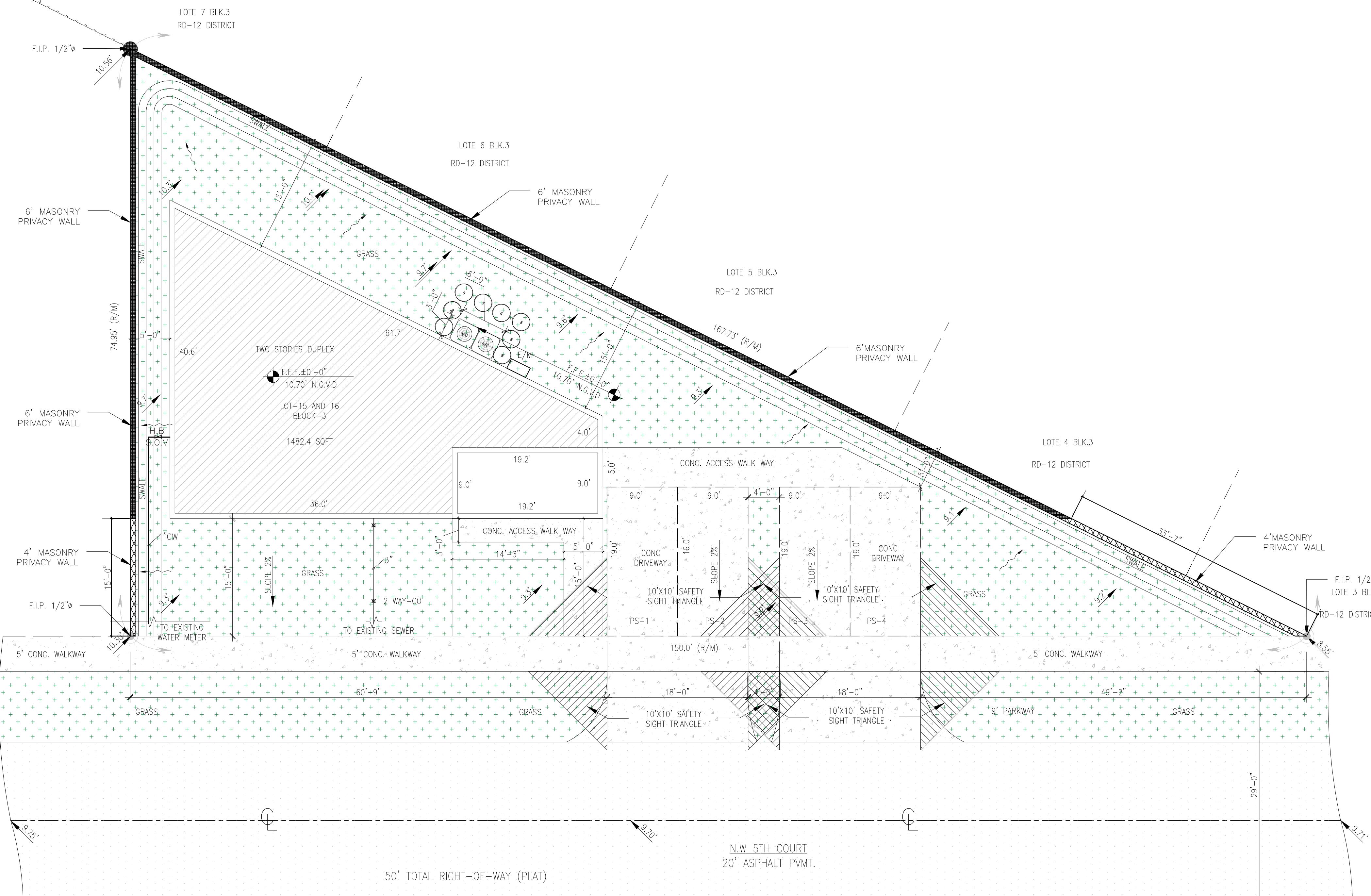
Cristina Ramos
Owner
Phone Number
(786) 973-1173



Anisleydi Leiva

REVISIONS	DATE
PLANNING/ZONING	10/29/2025

PLANNING, ZONING



GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES. - (FBC-2023, RESIDENTIAL).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF RECORDS OF ANY DISCREPANCY.
- ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY OR GRADE SHALL BE PRESSURE TREATED WOOD (P.T. WOOD).
- ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM BENDING STRESS OF 1,000 PSI.
- SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING'S ACI-318-02 AND ACI-318R-02, SHALL BE APPLICABLE FOR ANYTHING OTHER CONSIDERATION.
- WHEN APPLICABLE SHOP AND SETTING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR THE APPROVAL BEFORE FABRICATION, ONE SET SHALL BE FILED AT THE ENGINEER'S OFFICE.
- 8 OR 12 INCHES NOMINAL SIZE OF HOLLOW CONCRETE MASONRY UNITS. - ASTM-C-90. - ($f' = 1,500$ PSI MINIMUM), USE MORTAR TYPE "S", 1,800 PSI MINIMUM 28 DAYS STRENGTH, MUST COMPLY WITH THE STANDARD SPECIFICATION FOR MORTAR FOR UNIT MASONRY ASTM-C-270. - HORIZONTAL JOINT REINFORCING SHALL BE PROVIDED AT EVERY SECOND COURSE (16" VERTICALLY) FOR ALL EXTERIOR AND INTERIOR WALLS, EXCEPT MORE STRENGTHENING ENGINEER NOTE. - STANDARD 9 GAUGE, LADDER TYPE FOR REINFORCING MASONRY AND TRUSS TYPE FOR ALL OTHERS SHALL BE PROVIDED. [STANDARD 8 GAUGE IF WILL BE INDICATED IN PLANS]. - IT CONFORMS TO ASTM-A-82. - GALVANIZED TYPE SHALL BE REQUIRED. - THIS REINFORCEMENT SHALL BE EXTENDED 4" INTO THE TIE COLUMNS OR TIED TO THE SKELETON STRUCTURAL COLUMNS WITH APPROVED METHODS WHERE STRUCTURAL COLUMNS REPLACE THE TIE COLUMNS. - FBC - 2004 [SPECIAL INSPECTOR REQUIRED].
- FOR ALL WORKS EXCEPTS AS NOTED BELOW; CONCRETE 4,000 PSI MINIMUM 28 DAYS STRENGTH. SLUMP: 4 - 6 INCHES MAXIMUM.
- POURED MASONRY WALLS CELLS 3,000 PSI GROUT MINIMUM 28 DAYS STRENGTH. SLUMP: 8- 10 INCHES AS REQUIRED FOR FILLING CELLS. - ALL ADMIXTURES SHALL CONFORM WITH THE ASTM-C-476. STANDARD SPECIFICATION FOR GROUT FOR MASONRY AND ASTM-C-143. - TEST GROUT SLUMP AND ASTM-C-1019. - STANDARD TEST METHOD FOR SAMPLING AND TESTING GROUT.

CALCULATION:

REQUIRED:	PROVIDED:
LOT COVERAGE:	35% MAX. 26%
GREEN SPACE DIAGRAM:	30% MIN. 55%
FIRST FLOOR SQUARE FOOTAGE UNDER A/C:	1284.14 SF
SECOND SQUARE FOOTAGE UNDER A/C:	1284.14 SF
TOTAL SQUARE FOOTAGE UNDER A/C:	2568.28 SF

FLOOD ZONE INFORMATION:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: X N/A
PANEL NO/SUFFIX: 0732H
COMMUNITY NO. 125110
DATE FOR FIRM: 08-18-2014
(THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA)

SWALES CALCULATION:

LOT AREA: 5635.98 SF	1186 SF X 0.0417=49.45 CF
AREA TO DRAIN: 1186 SF	49.45 CF / 1.04 SF=47.55 LF
AREA OF SWALES: 1.04 SF	47.55 LF / 2 =23.77 LF

24 LF PER SIDE (ENCIRLING THE ENTIRE PROPERTY LINE)

GENERAL LEGEND:

PROPERTY LINE	CONCRETE
DIRECTION OF RUN -OF-	INTERVIEW AREA
SEWER	ASPHALT
COLD WATER	GRASS
4'MASONRY WALL	
6'MASONRY WALL	

STORMWATER RETENTION
SCALE: 1/4"=1'-0"

INDEX OF DRAWINGS			
SHEET	DESCRIPTION	SHEET	DESCRIPTION
SP-1	EXISTING SITE PLAN	SP-2	EXISTING SITE PLAN
SP-2	PROPOSED LANDSCAPING PLAN	L-1	PROPOSED GROUND FLOOR PLAN
L-1	PROPOSED GROUND FLOOR PLAN	A-1.1	PROPOSED SECOND FLOOR PLAN
A-1.2	ELEVATIONS	A-2	ELEVATIONS
REAR SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED
FRONT SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED

PROPERTY ADDRESS:
FOLIO: 5142 21 18 0570
648 NW 5 COURT, HALLANDALE BEACH, FL 33009

OWNER:
PAUSF LLC

SITE INFORMATION:
ZONING: RD-12
RESIDENTIAL - TWO FAMILY DUPLEX
LOT SIZE: 5635.98 Sq.Ft (APPROX. 0.1 ACRES)
LIVING AREA: 2568.28 SF
DWELLING UNIT 1: 1,332.6 SQ.FT.
DWELLING UNIT 2: 1,332.6 SQ.FT.
EXTERIOR STAIR: 149.8 SQ.FT.
AN ADMINISTRATIVE WAIVER IS BEING REQUESTED FOR THE FRONT AND REAR SETBACKS.

SET BACKS MAIN BUILDING :

	REQUIRED	PROPOSED
FRONT (SOUTH):	20.0'	15.0'
REAR (NORTH):	20.0'	15.0'
SIDE (WEST):	5.0'	5.0'

LEGAL DESCRIPTION:
THIS PROPERTY DESCRIBED AS:
FOSTER PARK 21-13 B
LOT 15,16 BLK 3
LOT SIZE 150' x 167.6' x 74.92'

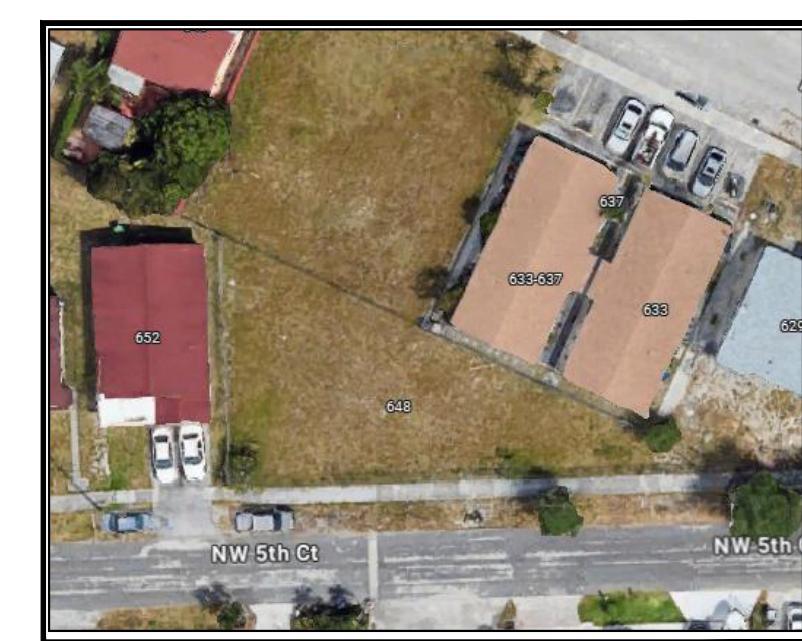
OCCUPANCY:
RESIDENTIAL - MULTY FAMILY

SCOPE OF WORK:

EACH DUPLEX UNIT HAS A TOTAL AREA OF 1,332.6 SQUARE FEET AND A MAXIMUM HEIGHT OF 26 FEET. EACH UNIT INCLUDES THREE BEDROOMS, TWO BATHROOMS, A KITCHEN, AND A LIVING ROOM. THE DESIGN FEATURES AN EXTERIOR STAIRCASE THAT CONNECTS THE CIRCULATION OR ENTRANCE TO BOTH APARTMENT UNITS.

CODE ANALYSIS:
APPLICABLE CODE-FLORIDA BUILDING CODE 2023 8th EDITION.

FENCE INFORMATION:
4' HIGH MASONRY PRIVACY WALL WITH 48.7 LINEAL FEET.
6' HIGH MASONRY PRIVACY WALL WITH 194 LINEAL FEET.



LOCATION MAP:

STRUCTOWER CONSULTING ENGINEERS

18191 NW 68th Ave. Suite 226,
Miami Lakes, FL 33015
DENNIS CURBELO, P.E. (Lic. No. 97358)
email: info@structower.com
phone: 786 670-0834

NEW DUPLEX

PAUSF LLC
648 NW 5TH COURT,
HALLANDALE BEACH, FL,
33009

SITE PLAN

DRAWN
MP
CHECKED
JR
DATE
10/15/2025
SCALE
AS INDICATED
JOB NO.
241109
SHEET

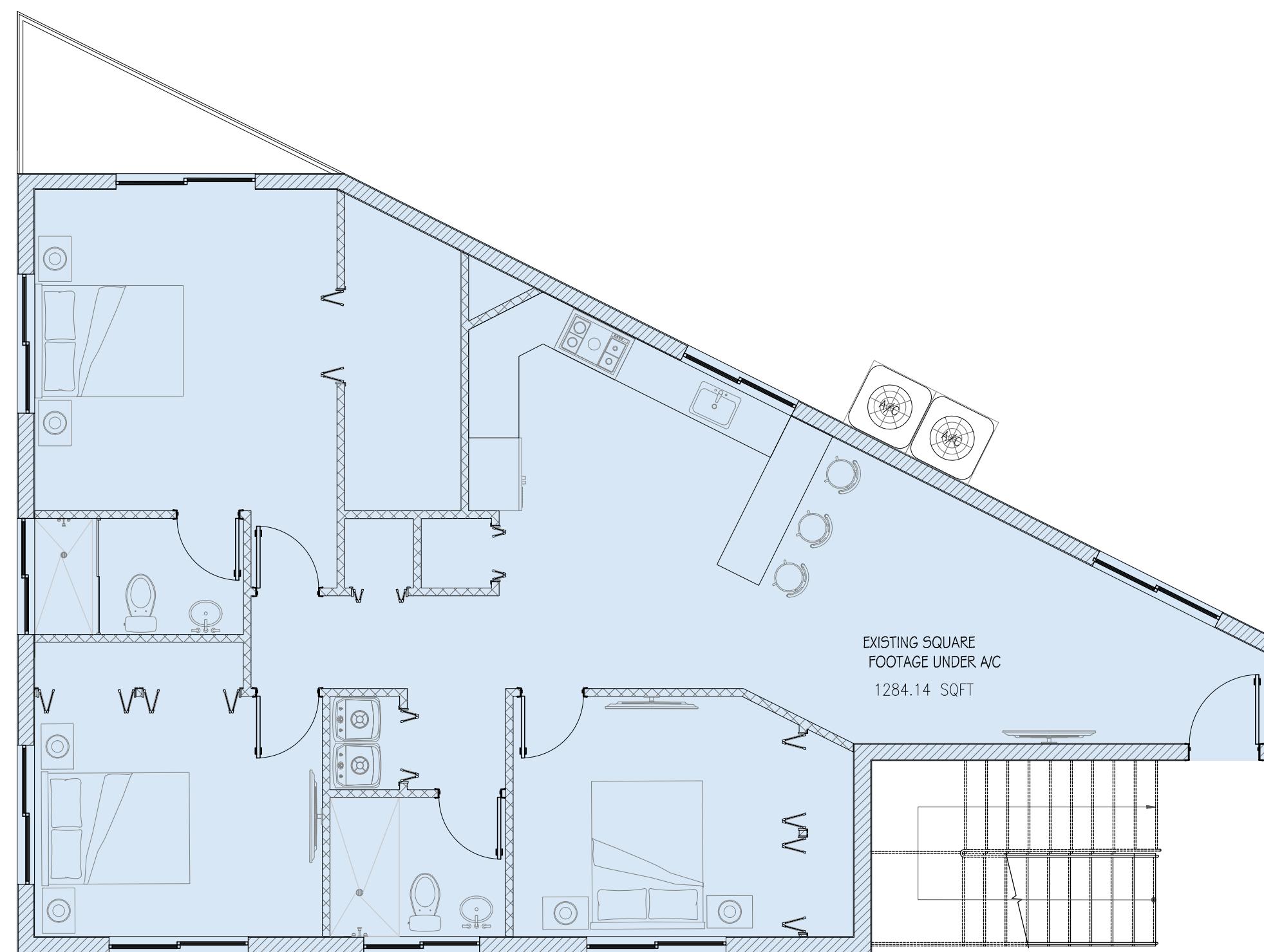
SP-1

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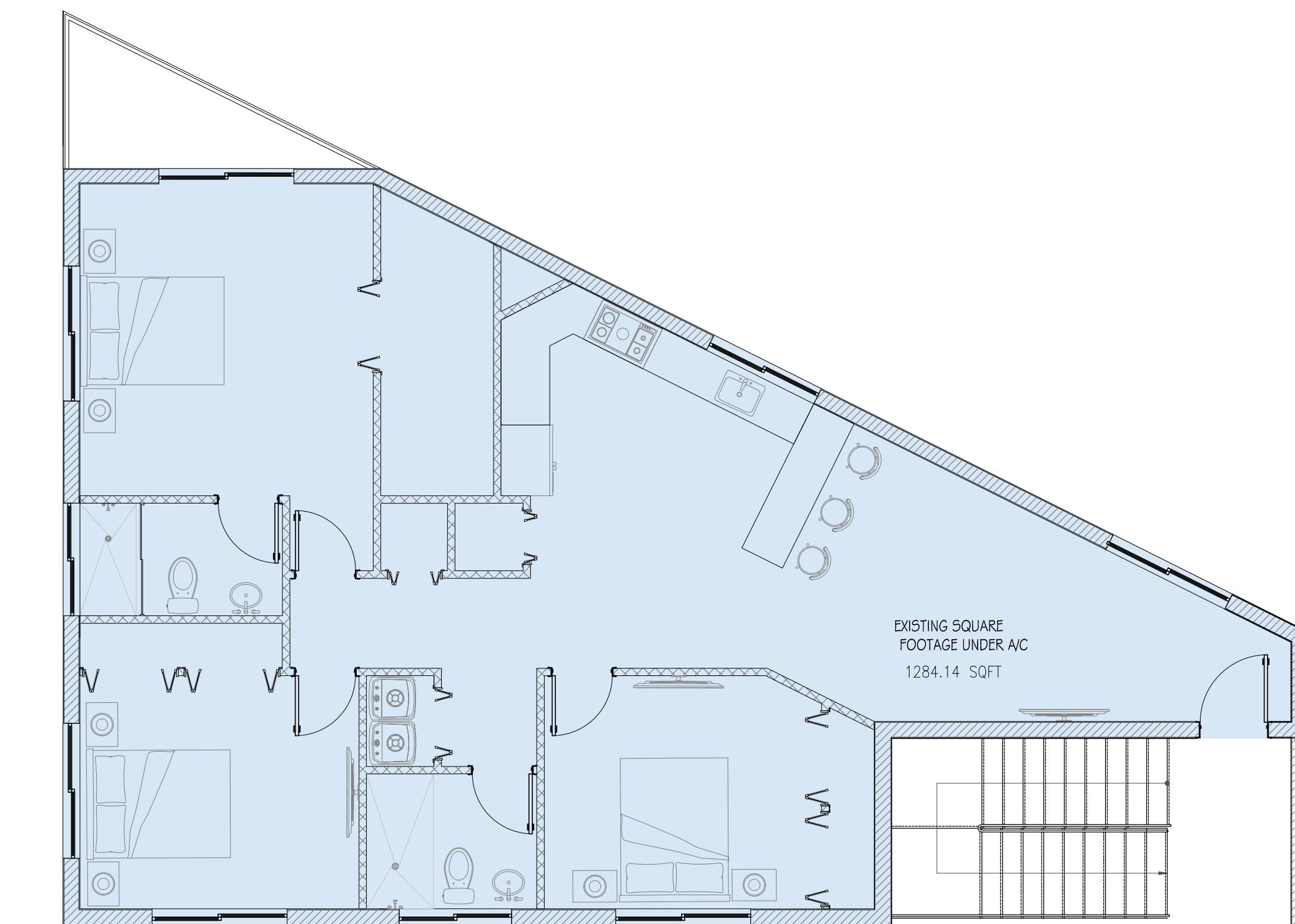
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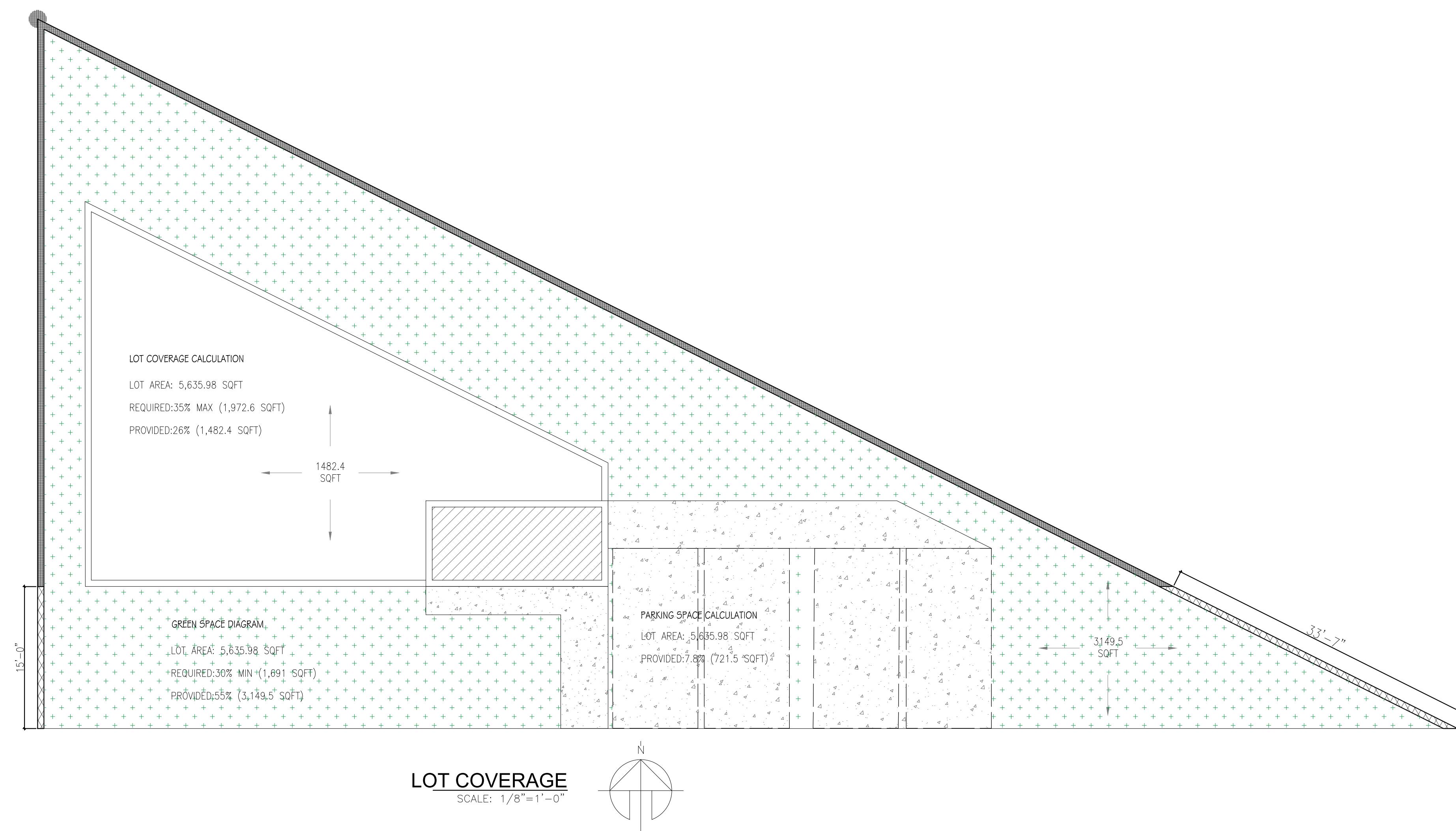
FIRST FLOOR SQUARE
FOOTAGE **GET UNDER A/C**

SCALE: $3/16'' = 1'-0''$



SECOND FLOOR SQUARE
FOOTAGE GET UNDER A/C

SCALE: 3/16"=1'-0"



ZONING DIAGRAMS / AREA EXHIBITS

<u>CALCULATION:</u>								
	<u>REQUIRED:</u>	<u>PROVIDED:</u>						
LOT COVERAGE:	35% MAX.	26%						
GREEN SPACE DIAGRAM:	30% MIN.	55%						
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">FIRST FLOOR SQUARE FOOTAGE UNDER A/C:</td> <td style="width: 40%;">1284.14 SF</td> </tr> <tr> <td>SECOND SQUARE FOOTAGE UNDER A/C:</td> <td>1284.14 SF</td> </tr> <tr> <td>TOTAL SQUARE FOOTAGE UNDER A/C:</td> <td>2568.28 SF</td> </tr> </table>			FIRST FLOOR SQUARE FOOTAGE UNDER A/C:	1284.14 SF	SECOND SQUARE FOOTAGE UNDER A/C:	1284.14 SF	TOTAL SQUARE FOOTAGE UNDER A/C:	2568.28 SF
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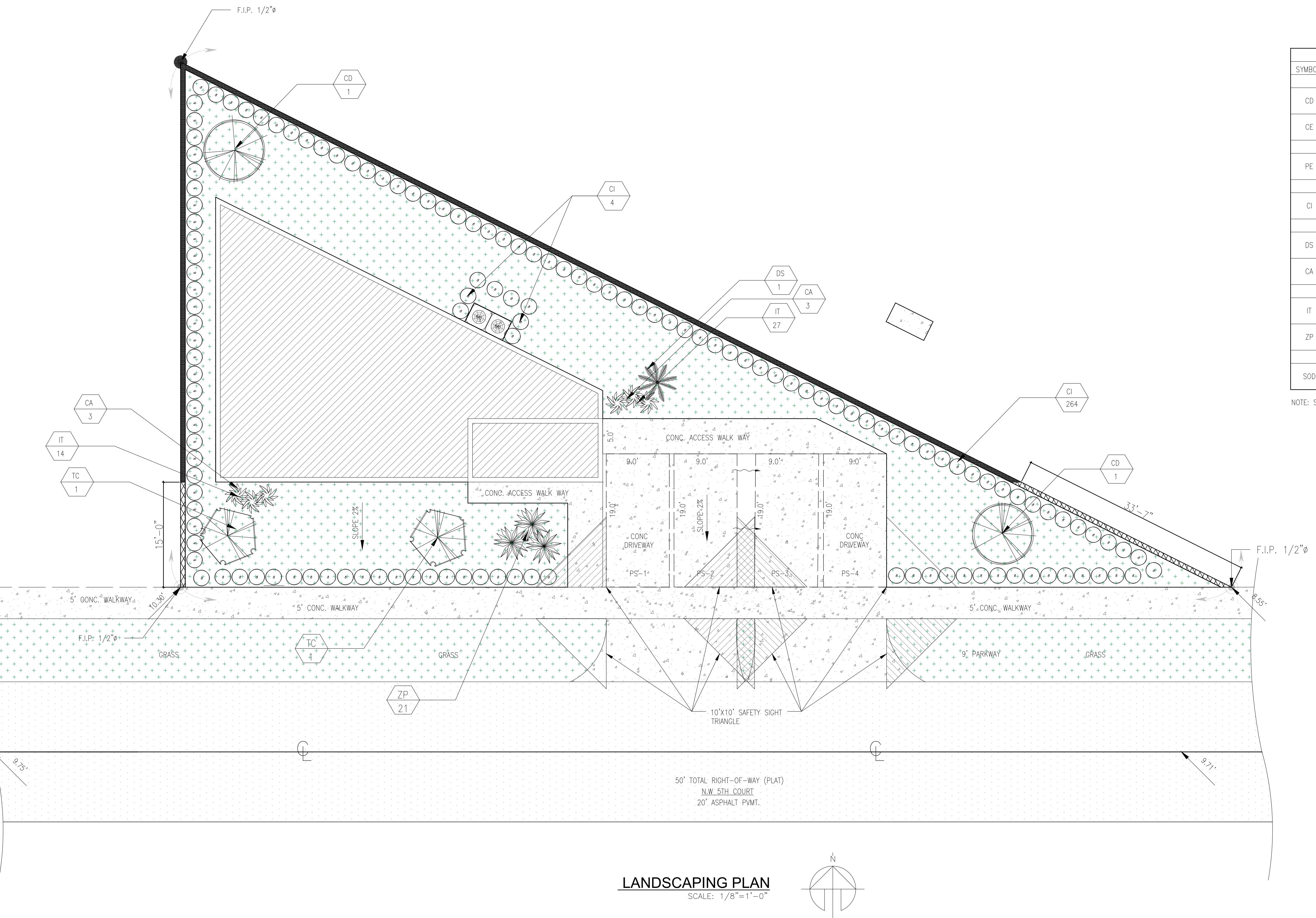
ZONING	REQUIRED	PROVIDED	NOTES
FRONT SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED
REAR SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED

ZONING DIAGRAMS

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SP-2

REVISIONS	DATE
△ PLANNING / ZONING	10/15/2025

△ PLANNING, ZONING



PLANTING SCHEDULE				
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
TREES				
CD	2	COCCOLoba DIVERSIFOLIA PIGEON PLUM	10' HT, 2" DBH, 5' SPREAD, STANDARD 25G	YES
CE	2	TABEBuIA CARAIBA TRUMPET TREE	10' HT, 2" DBH, 5' SPREAD, STANDARD 25G	YES
PALMS				
PE	1	PTYchosPERMA ELEGANS SOUTIARE PALM	10'-14' HT, 6' CT, 3 TRUNKS 25G	NO
HEDGES				
CI	268	CHRYsBALANuS ICACO COCOPLUM	36' HT 7G	YES
ACCENT PLANS				
DS	1	DIoON SPINuLOSUM GIANT DIoON	4' HT 15G	NO
CA	6	CRINuM ASIATICuM GIANT CRINuM LILY	3' HT 3G	NO
SHRUBS				
IT	41	IXORA TYAIWANENSIS DWARF YELLOW DAWFR IXORA YELLOW	18' HT, FULL, LOW BRANCHED, 18" O.C. 3G	NO
ZP	21	ZAMIA PUMILA COONITE	12' HT, FULL, 18" O.C. 3G	YES
SOD				
SOD	3,110 S.F.	STENOTAPHruM SECUNDuM PALMETO PIGEON PLUM	STAGGERED AND BUTTED JOINTS	YES

NOTE: SIZE AND SPECIFICATIONS SUPERSEDE GALLON SIZE WHEN PURCHASING PLANTING MATERIAL.

ZONING : RD-12 RESIDENTIAL TWO-FAMILY (DUPLEX)

DISTRICT

LOT SIZE: 5,620 SF

	REQUIRED	PROVIDED
LANDSCAPE AREA REQUIRED 40% OF LOT SIZE MINIMUM	2,248 SF	3,155 SF
GRASS ALLOWED, 80% OF LANDSCAPE MAXIMUM	2,525 SF	2,109 SF
TREES REQUIRED, 1 PER EACH 1,500 SF OF LOT	4	4
50% OF TREES PROVIDE TO BE NATIVE	2	2
50% OF TREES PROVIDE TO BE DROUGHT TOLERANT	2	2

NOTE:
• ALL LANDSCAPING SHALL BE EFFECTIVELY SUPPORTED WITH A WATER-CONSERVATION IRRIGATION SYSTEM, WHERE ESTABLISHED NATIVE VEGETATION IS INCORPORATED INTO THE LANDSCAPE DESIGN. IRRIGATION OF THOSE AREAS SHALL NOT BE REQUIRED.
• THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE REUSE WATER, WHICH MAY INCLUDE BUT IS NOT LIMITED TO RAIN BARRELS OR OTHER WATER CONSERVATION METHODS.
• PLANTS SHALL BE GROUPED TOGETHER BY IRRIGATION DEMAND AND MAINTENANCE NEEDS.
• IRRIGATION SYSTEM SHALL MEET THE IRRIGATION STANDARDS IDENTIFIED IN F.S. § 373.228, AS AMENDED.
• IRRIGATION SYSTEMS SHALL BE MAINTAINED IN AN OPERABLE CONDITION.

LEGEND:	
	ST. AUGUSTINE GRASS QTY: 3,149.5 SF
	GRAVEL QTY: 721.5 SF WEED BARRIER UNDERLAYMENT SAMPLE FOR APPROVAL
	MASONRY WALL

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NEW DUPLEX
PAUSe LLC

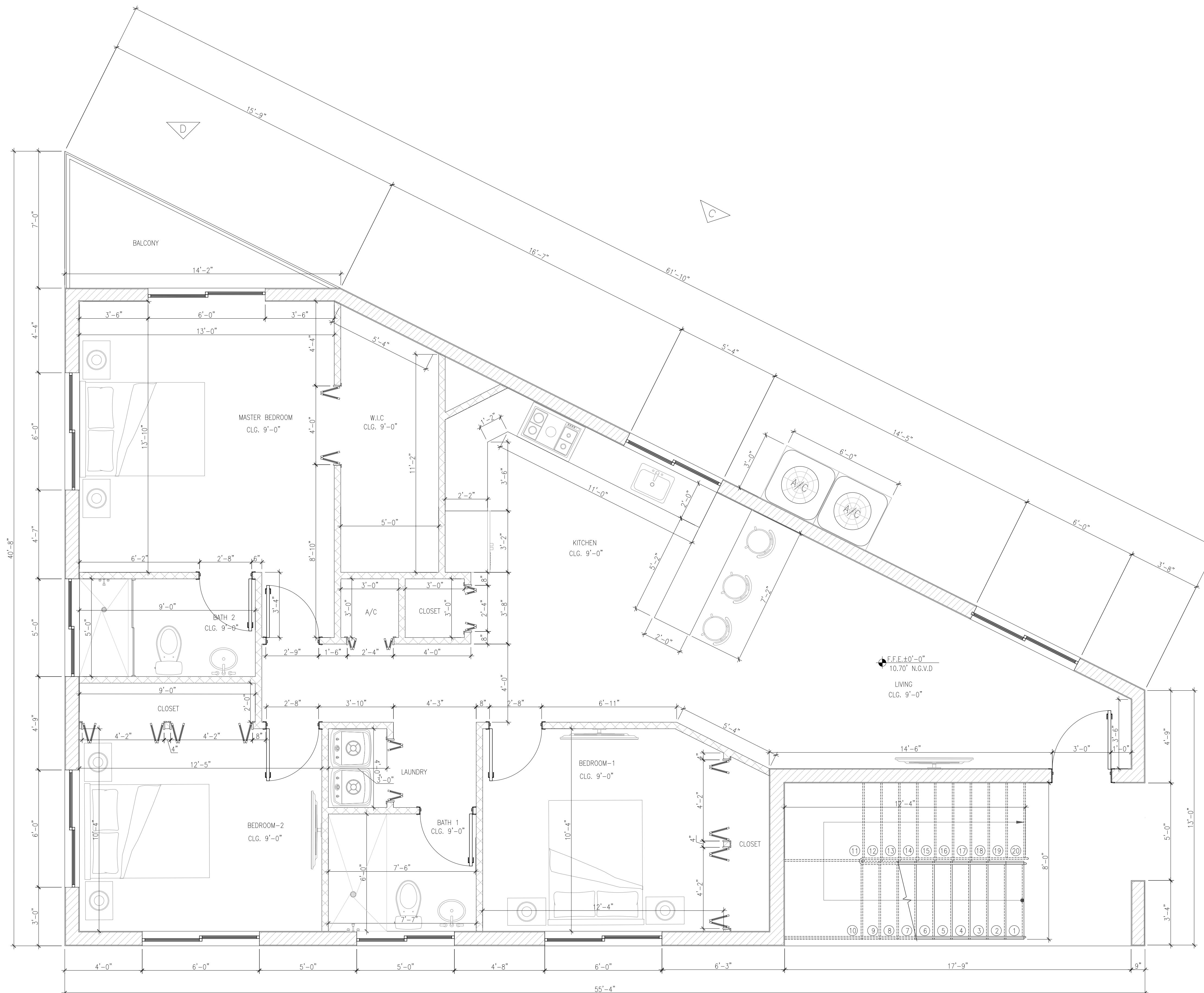
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LANDSCAPING PLAN

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GROUND FLOOR PLAN

A-1.1

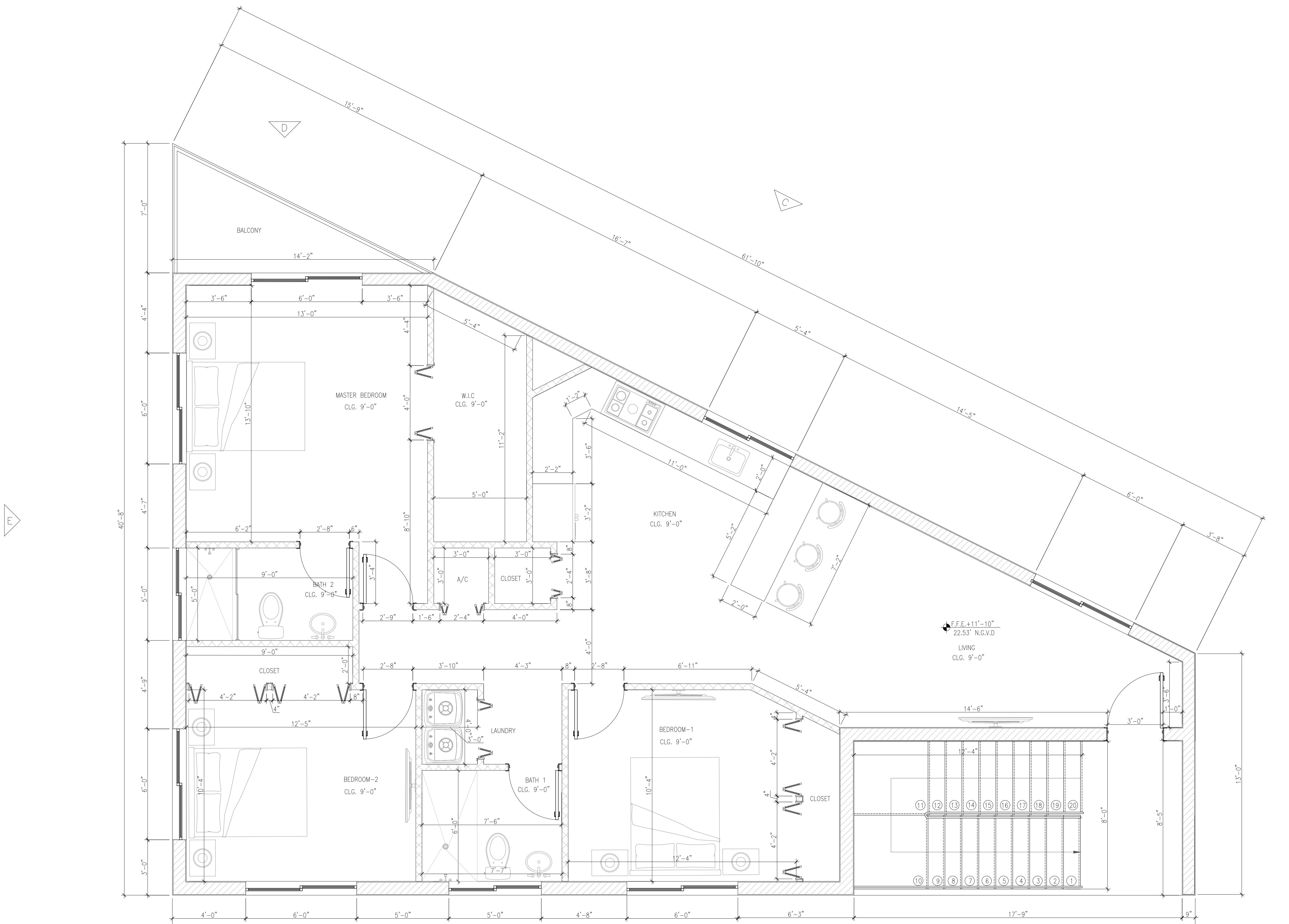
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11W 68th Ave Suite 226

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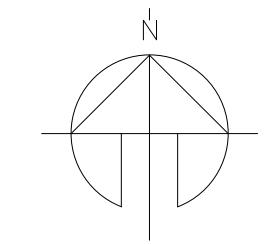
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SECOND FLOOR PLAN

FLLOOR PLAN



LEGEND

MASONRY WALL

4" PARTITION WALL

A-1.2

D R A W N
M P
C H E C K E D
J R
D A T E
7/01/2025
S C A L E
A S I N D I C A T E D
J O B N O .
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S H E E T

STRUCTURE

SULTING ENGINEER

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