

**Letter of Intent**

**Date: August 11, 2025**

**To: Building Official  
City of Hallandale Beach Building Department**

**Re: Proposed New Duplex  
Request Approval for a density increase or Bonus Unit Allocation.**

I, Cristina Ramos, owner of the property at 648 NW 5th Ct, Hallandale Beach, FL 33009, request the inclusion of one additional Bonus Density Unit as part of the proposed development, in accordance with the Broward County Affordable Housing Program and Broward County Bonus Unit – Policy 2.16.3.

The project involves a two-story duplex on an irregularly shaped RD-12 lot. Its triangular configuration limits the buildable area, requiring an Administrative Variance Request to adjust front and rear setbacks while maintaining harmony with the code and neighborhood.

Under the City of Hallandale Beach's Future Land Use for RD-12 zoning, the maximum density is 14 units per acre. With 5,655 sq. ft. (0.1298 acres), this equals 1.8175 units; by right, only 1 unit is permitted. A duplex requires 6,222.86 sq. ft., so the lot is 568 sq. ft. short (~9.1%), requiring a density increase or bonus allocation.

Per Policy 2.16.3, I request the affordable unit be classified under the Moderate-Income category (up to 120% AMI), consistent with typical approvals.

The proposed development will:

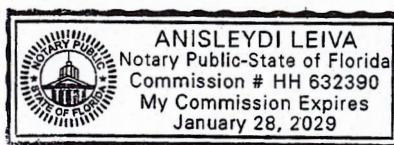
- Maintain architectural and functional compatibility with surrounding structures.
- Comply with the program's affordability commitment.
- Avoid any negative impacts on adjacent properties or public welfare.

Attached is the Administrative Variance Justification submitted to the City of Hallandale Beach, detailing the lot's special conditions and design adjustments. I am available for any additional documentation, plans, or clarifications needed for review.

Thank you for your time and consideration.

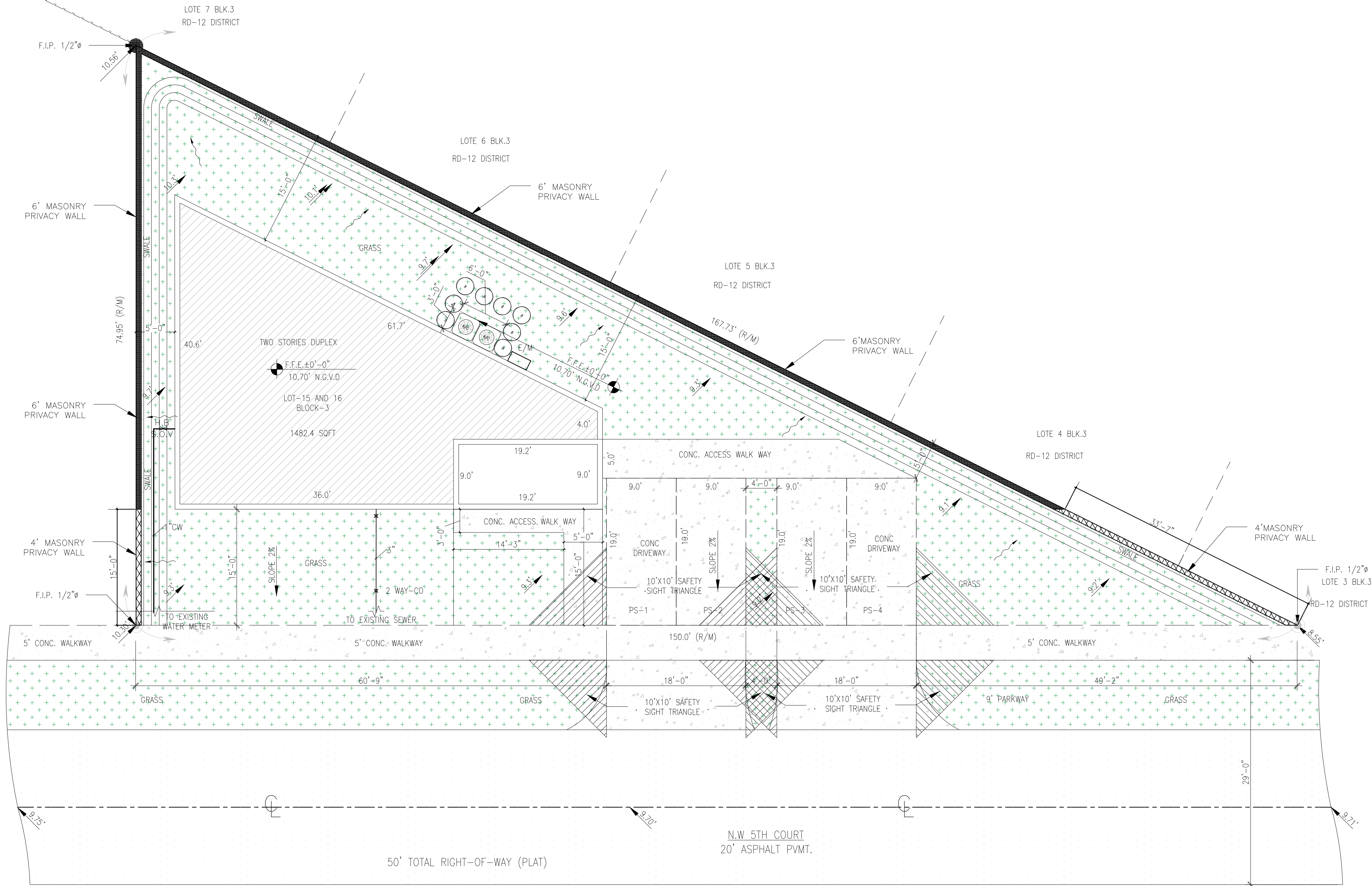
*Cristina V. Ramos*

Cristina Ramos  
Owner  
Phone Number  
(786) 973-1173



*[Signature]*





EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES. - (FBC-2023, RESIDENTIAL).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE E. OF RECORDS OF ANY DISCREPANCY.
- ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY OR GRADE SHALL BE PRESSURE TREATED WOOD (P-T WOOD).
- ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM BENDING STRESS OF 1,000 PSI.
- SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING'S ACI-318-02 AND ACI-318R-02, SHALL BE APPLICABLE FOR ANYTHING OTHER CONSIDERATION.
- WHEN APPLICABLE SHOP AND SETTING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR THE APPROVAL BEFORE FABRICATION, ONE SET SHALL BE FILED AT THE ENGINEER'S OFFICE.
- 8 OR 12 INCHES NOMINAL SIZE OF HOLLOW CONCRETE BLOCK WALLS MUST COMPLY WITH THE STANDARD SPECIFICATION FOR LOADBEARING CONCRETE MASONRY UNITS.- ASTM-C-90.- (1" m = 1,500 PSI MINIMUM), USE MORTAR TYPE "S", 1,800 PSI MINIMUM 28 DAYS STRENGTH, MUST COMPLY WITH THE STANDARD SPECIFICATION FOR MORTAR FOR UNIT MASONRY ASTM-C-270.- HORIZONTAL JOINT REINFORCING SHALL BE PROVIDED AT EVERY SECOND COURSE (16" VERTICALLY) FOR ALL EXTERIOR AND INTERIOR WALLS, EXCEPT MORE STRENGTHENING ENGINEER NOTE.- STANDARD 9 GAUGE, LADDER TYPE FOR REINFORCING MASONRY AND TRUSS TYPE FOR ALL OTHERS SHALL BE PROVIDED. [STANDARD 8 GAUGE IF WILL BE INDICATED IN PLANS]- IT CONFORMS TO ASTM-A-82.- GALVANIZED TYPE SHALL BE REQUIRED.- THIS REINFORCEMENT SHALL BE EXTENDED 4" INTO THE TIE COLUMNS OR TIED TO THE SKELETON STRUCTURAL COLUMNS WITH APPROVED METHODS WHERE STRUCTURAL COLUMNS REPLACE THE TIE COLUMNS.- FBC - 2004 [SPECIAL INSPECTOR REQUIRED].
- FOR ALL WORKS EXCEPTS AS NOTED BELOW; CONCRETE 4,000 PSI MINIMUM 28 DAYS STRENGTH; SLUMP: 4 - 6 INCHES MAXIMUM.
- POURED MASONRY WALLS CELLS 3,000 PSI GROUT MINIMUM 28 DAYS STRENGTH. SLUMP: 8 - 10 INCHES AS REQUIRED FOR FILLING CELLS. - ALL ADMIXTURES SHALL CONFORM WITH THE ASTM-C-476. STANDARD SPECIFICATION FOR GROUT FOR MASONRY AND ASTM-C-143. - TEST GROUT SLUMP AND ASTM-C-1019. - STANDARD TEST METHOD FOR SAMPLING AND TESTING GROUT.

CALCULATION:

	REQUIRED:	PROVIDED:
LOT COVERAGE:	35% MAX.	26%
GREEN SPACE DIAGRAM:	30% MIN.	55%

FIRST FLOOR SQUARE FOOTAGE UNDER A/C:	1284.14 SF
SECOND SQUARE FOOTAGE UNDER A/C:	1284.14 SF
TOTAL SQUARE FOOTAGE UNDER A/C:	2568.28 SF

FLOOD ZONE INFORMATION:  
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
  
FLOOD ZONE: X N/A  
PANEL NO/SUFFIX: 0732H  
COMMUNITY NO. 125110  
DATE FOR FIRM: 08-18-2014  
(THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA)

SWALES CALCULATION:

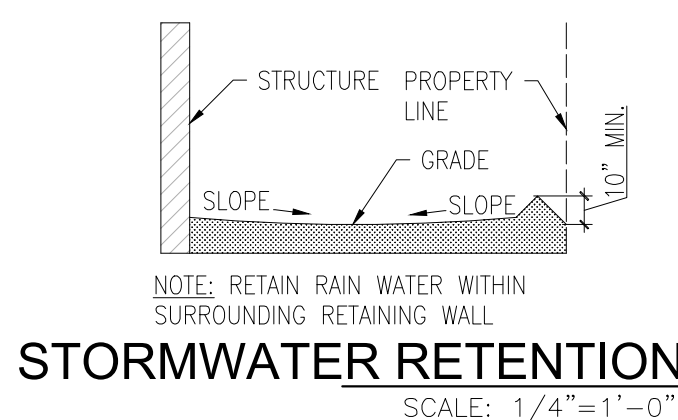
LOT AREA: 5635.98 SF	1186 SF X 0.0417=49.45 CF
AREA TO DRAIN: 1186 SF	49.45 CF / 1.04 SF=47.55 LF
AREA OF SWALES: 1.04 SF	47.55 LF / 2 =23.77 LF

24 LF PER SIDE ( ENVICRILING THE ENTIRE PROPERTY LINE )

GENERAL LEGEND:

	PROPERTY LINE		CONCRETE
	DIRECTION OF RUN -OF		INTERVIEW AREA
	SEWER		ASPHALT
	COLD WATER		GRASS
	4'MASONRY WALL		
	6'MASONRY WALL		

ZONING	REQUIRED	PROVIDED	NOTES
FRONT SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED
REAR SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED



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SP-2	EXISTING SITE PLAN
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A-1.2	PROPOSED SECOND FLOOR PLAN
A-2	ELEVATIONS

PROPERTY ADDRESS:

FOLI:  
5142 21 18 0570  
648 NW 5 COURT, HALLANDALE BEACH FL 33009

OWNER:

PAUSF LLC

SITE INFORMATION:

ZONING: RD-12  
RESIDENTIAL - TWO FAMILY DUPLEX  
LOT SIZE: 5635.98 Sq.Ft (APPROX. 0.1 ACRES)  
LIVING AREA: 2568.28 SF  
DWELLING UNIT 1: 1,332.6 SQ.FT  
DWELLING UNIT 2: 1,332.6 SQ.FT.  
EXTERIOR STAIR: 149.8 SQ.FT.  
AN ADMINISTRATIVE WAIVER IS BEING REQUESTED FOR THE FRONT AND REAR SETBACKS.

SET BACKS MAIN BUILDING :

	REQUIRED	PROPOSED
FRONT (SOUTH):	20.0'	15.0'
REAR (NORTH):	20.0'	15.0'
SIDE (WEST):	5.0'	5.0'

LEGAL DESCRIPTION:

THIS PROPERTY DESCRIBED AS:  
FOSTER PARK 21-13 B  
LOT 15,16 BLK 3  
LOT SIZE 150' x 167.67' x 74.92'

OCCUPANCY:

RESIDENTIAL - MULTY FAMILY

SCOPE OF WORK:

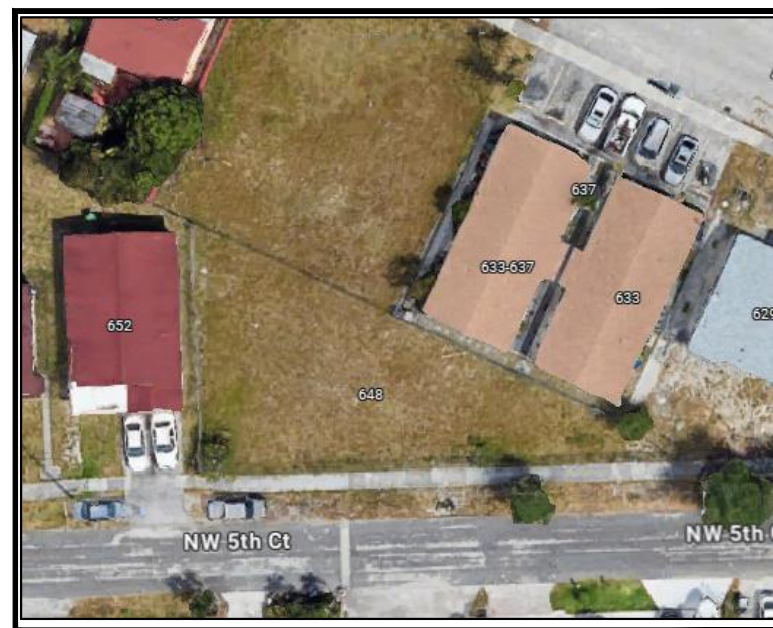
EACH DUPLEX UNIT HAS A TOTAL AREA OF 1,332.6 SQUARE FEET AND A MAXIMUM HEIGHT OF 26 FEET. EACH UNIT INCLUDES THREE BEDROOMS, TWO BATHROOMS, A KITCHEN, AND A LIVING ROOM. THE DESIGN FEATURES AN EXTERIOR STAIRCASE THAT CONNECTS THE CIRCULATION OR ENTRANCE TO BOTH APARTMENT UNITS.

CODE ANALYSIS:

APPLICABLE CODE-FLORIDA BUILDING  
CODE 2023 8th EDITION.

FENCE INFORMATION:

4' HIGH MASONRY PRIVACY WALL WITH 48.7 LINEAL FEET.  
6' HIGH MASONRY PRIVACY WALL WITH 194 LINEAL FEET.



LOCATION MAP:

REVISIONS	DATE
1. PLANNING/ ZONING	10/29/2025

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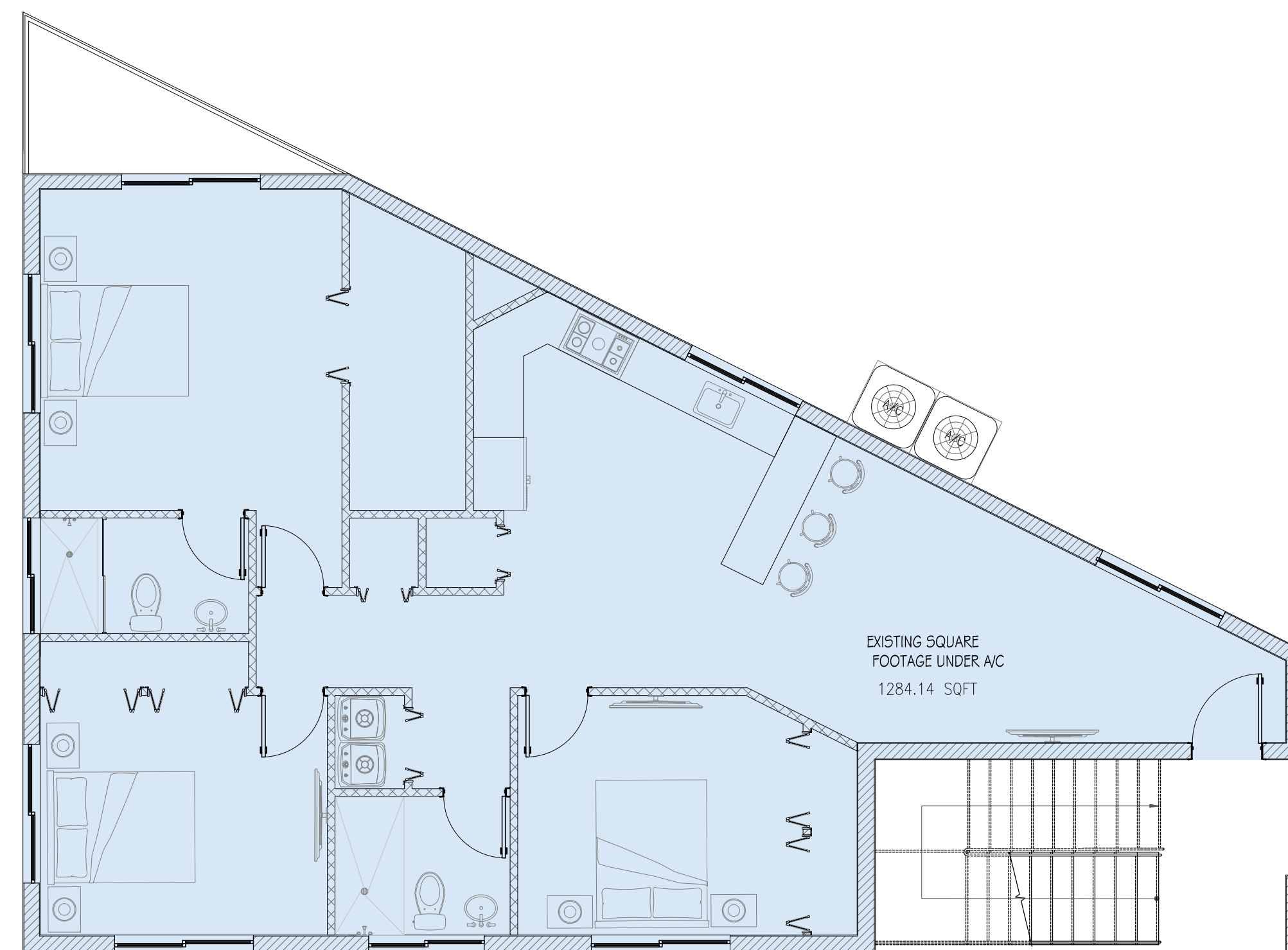
**NEW DUPLEX**  
PAUSF LLC  
648 NW 5TH COURT,  
HALLANDALE BEACH, FL,  
33009

SITE PLAN

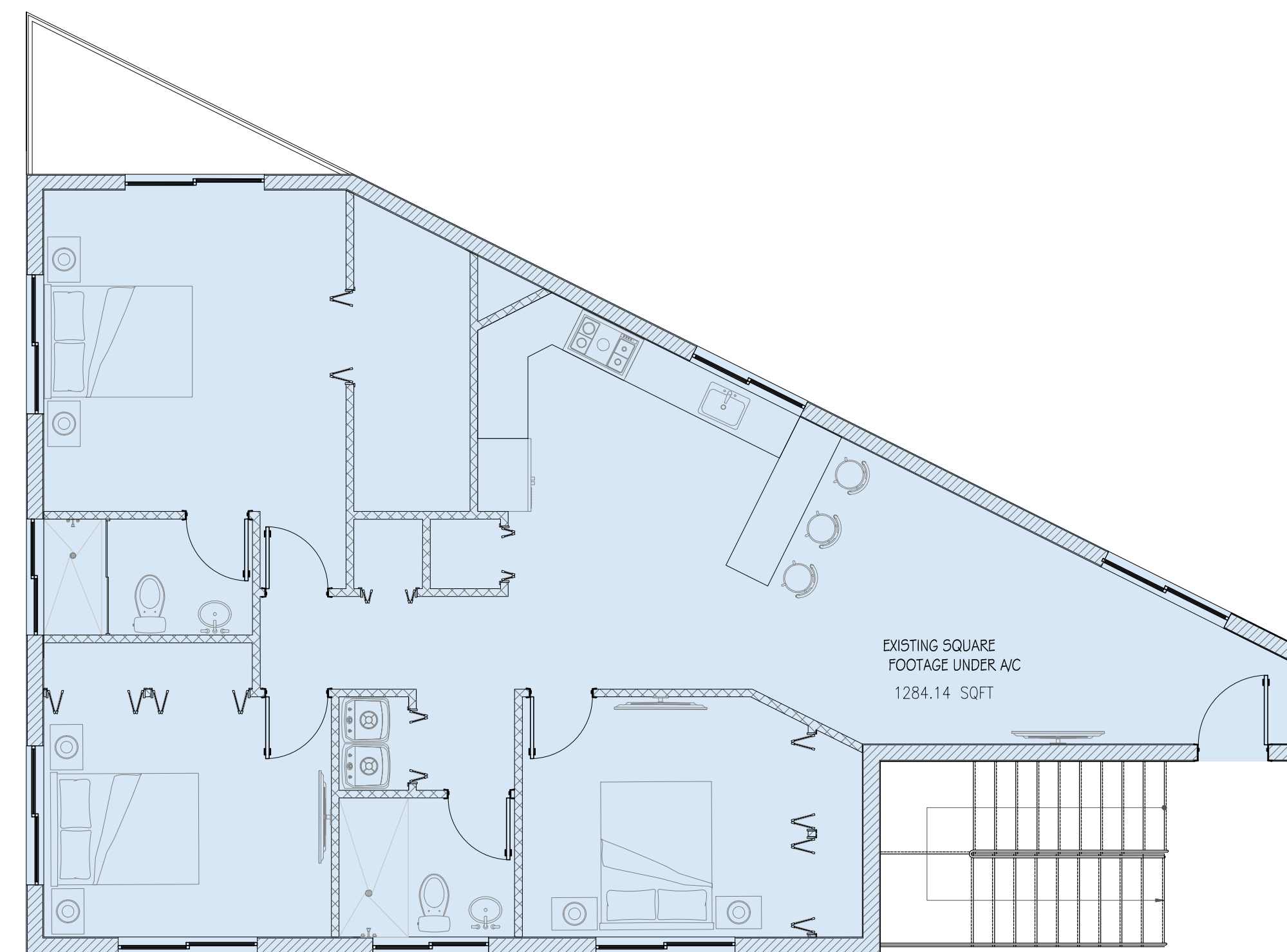
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DATE 10/15/2025
SCALE AS INDICATED
JOB NO. 241109
SHEET

SP-1

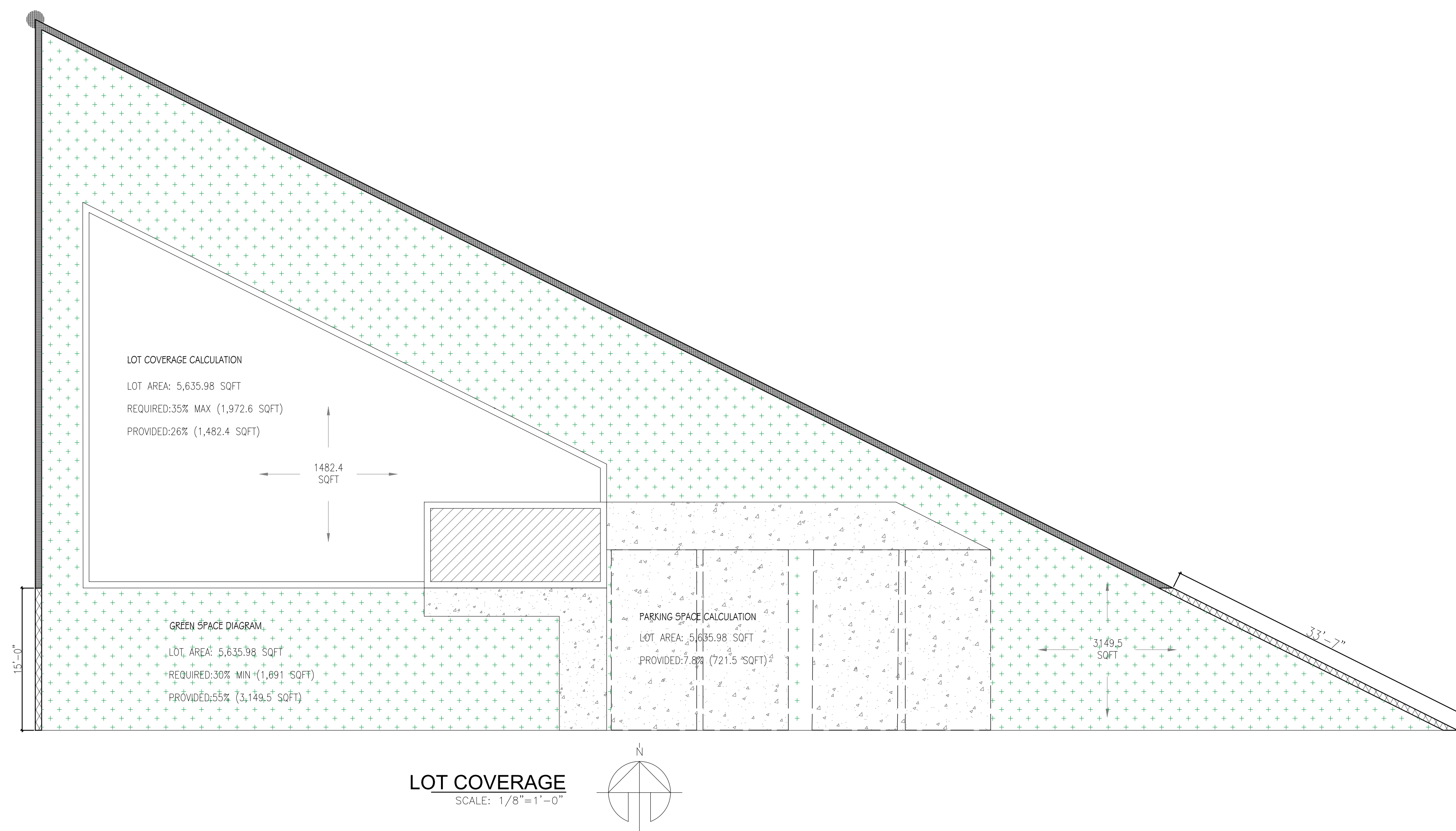




FIRST FLOOR SQUARE  
FOOTAGE UNDER A/C  
SCALE: 3/16"=1'-0"



SECOND FLOOR SQUARE  
FOOTGET UNDER A/C  
SCALE: 3/16"=1'-0"



**CALCULATION:**

	<u><b>REQUIRED:</b></u>	<u><b>PROVIDED:</b></u>
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THE NFIP FLOOD MAPS HAVE DESIGNATED THE  
HEREIN DESCRIBED LAND TO BE SITUATED IN:

FLOOD ZONE: X N/A  
PANEL NO./SUFFIX: 0732H  
COMMUNITY NO. 126110  
DATE FOR FIRM: 08-18-2014  
(THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA)

ZONING	REQUIRED	PROVIDED	NOTES
FRONT SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED
REAR SETBACK	20'-0"	15'-0"	ADMINISTRATIVE WAIVER REQUESTED

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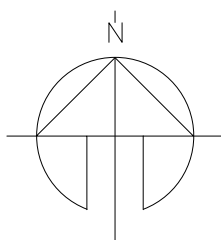
**NEW DUPLEX**  
PAUSF LLC  
648 NW 5TH COURT,  
HALLANDALE BEACH, FL.,  
33009

## ZONING DIAGRAMS

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10/15/2025
SCALE
AS INDICATED
JOB NO.
241109
SHEET

SP-2





SCALE: 1/8"=1'-0"

PLANTING SCHEDULE				
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
TREES				
CD	2	COCCOLOBA DIVERSIFOLIA PIGEON PLUM	10' HT, 2" DBH. 5' SPREAD, STANDARD 25G	YES
CE	2	TABEBUIA CARAIBA TRUMPET TREE	10' HT, 2" DBH. 5' SPREAD, STANDARD 25G	YES
PALMS				
PE	1	PTYCHOSPERMA ELEGANS SOLITAIRE PALM	10'-14' HT, 6' CT, 3 TRUNKS 25G	NO
HEDGES				
CI	268	CHRYSOBALANUS ICACO COCOPULM	36' HT 7G	YES
ACCENT PLANTS				
DS	1	DIOON SPINULOSUM GIANT DIOON	4' HT 15G	NO
CA	6	CRINUM ASIATICUM GIANT CRINUM LILY	3' HT 3G	NO
SHURBS				
IT	41	IXORA TAIWANENSIS DWARF YELLOW DAWRF IXORA YELLOW	18' HT, FULL, LOW BRANCHED, 18" O.C. 3G	NO
ZP	21	ZAMIA PUMILA COONTIE	12' HT, FULL, 18" O.C. 3G	YES
SOD				
SOD	3,110 S.F.	STENOTAPHRUM SECUNDATUM PALMETO PIGEON PLUM	STAGGERED AND BUTTED JOINTS	YES

NOTE: SIZE AND SPECIFICATIONS SUPERSEDE GALLON SIZE WHEN PROCURING PLANTING MATERIAL




LOT SIZE: 5,620 SF	REQUIRED	PROVIDED
LANDSCAPE AREA REQUIRED 40% OF LOT SIZE MINIMUM	2,248 SF	3,155 SF
GRASS ALLOWED, 80% OF LANDSCAPE MAXIMUM	2,525 SF	2,109 SF
TREES REQUIRED, 1 PER EACH 1,500 SF OF LOT	4	4
50% OF TREES PROVIDE TO BE NATIVE	2	2
50% OF TREES PROVIDE TO BE DROUGHT TOLERANT	2	2

NOTE:

PROVIDE NOTE ON LANDSCAPE PLANS STATING THE FOLLOWING:

- \* ALL LANDSCAPING SHALL BE EFFECTIVELY SUPPORTED WITH A WATER-CONSERVATION IRRIGATION SYSTEM, WHERE ESTABLISHED NATIVE VEGETATION IS INCORPORATED INTO THE LANDSCAPE DESIGN, IRRIGATION OF THOSE AREAS SHALL NOT BE REQUIRED.
- \* THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACCOMMODATE REUSE WATER AND MAY INCLUDE BUT IS NOT LIMITED TO RAIN BARRELS OR OTHER WATER CONSERVATION METHODS.
- \* PLANTS SHALL BE GROUPED TOGETHER BY IRRIGATION DEMAND AND MAINTAINANCE NEEDS.
- \* IRRIGATION SYSTEM SHALL MEET THE IRRIGATION STANDARDS IDENTIFIED IN F.S. § 373.228, AS AMENDED.
- \* IRRIGATION SYSTEMS SHALL BE MAINTAINED IN AN OPERABLE CONDITION.

**LEGEND:**

- |   |   |
|---|---|
|  | ST. AUGUSTINE GRASS QTY: 3,149.5 SF                                   |
|  | GRAVEL QTY: 721.5 SF WEED BARRIER UNDERLAYMENT<br>SAMPLE FOR APPROVAL |
|  | MASONRY WALL  |

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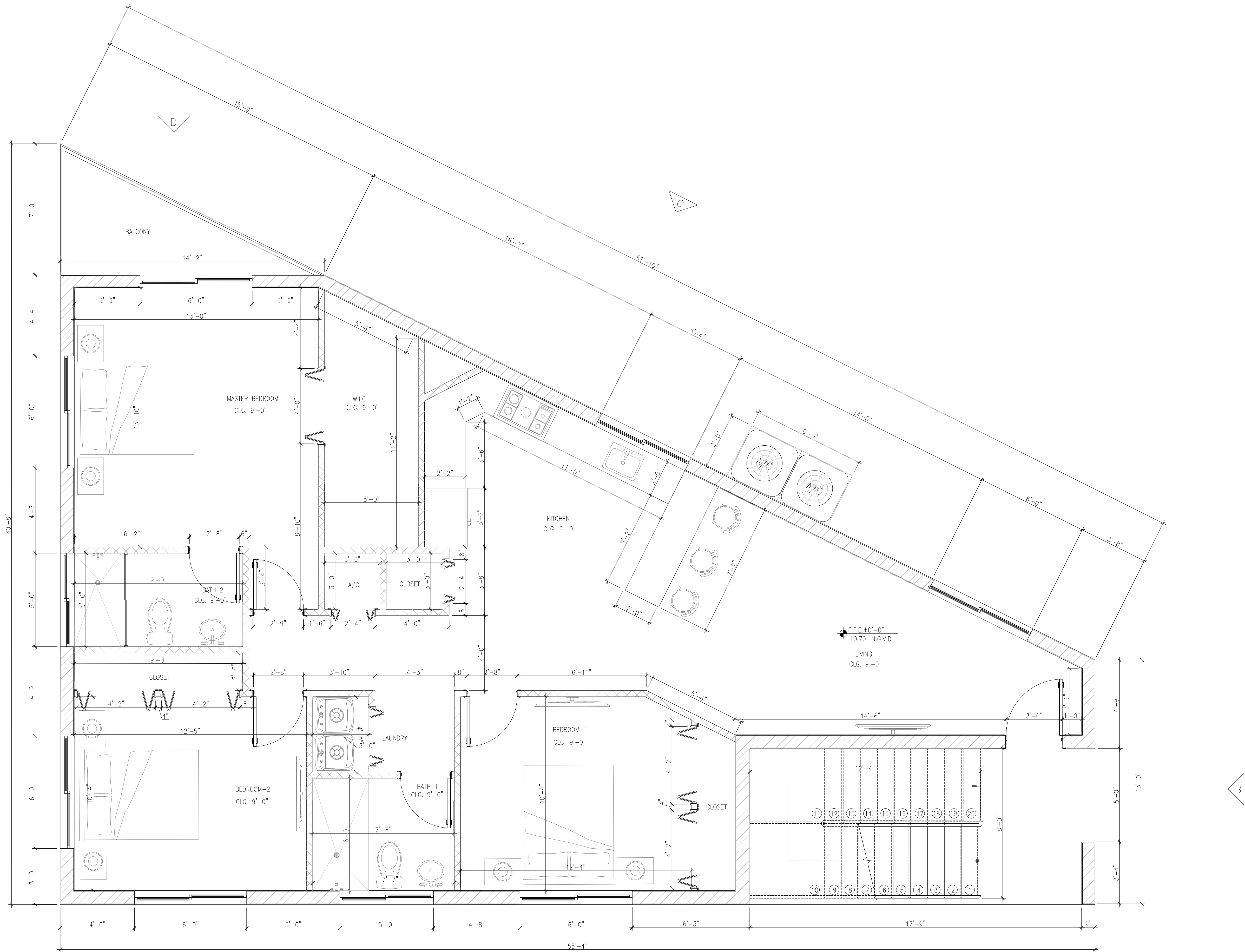
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PAUSF LLC  
648 NW 5TH COURT,  
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33009

## LANDSCAPING PLAN

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AS INDICATED
JOB NO.
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L-1



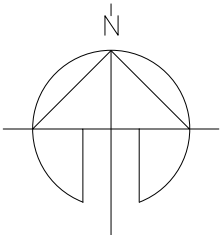


LEGEND

MASONRY WALL

4" PARTITION WALL

GROUND FLOOR PLAN  
SCALE: 3/8"=1'-0"



REVISIONS	DATE

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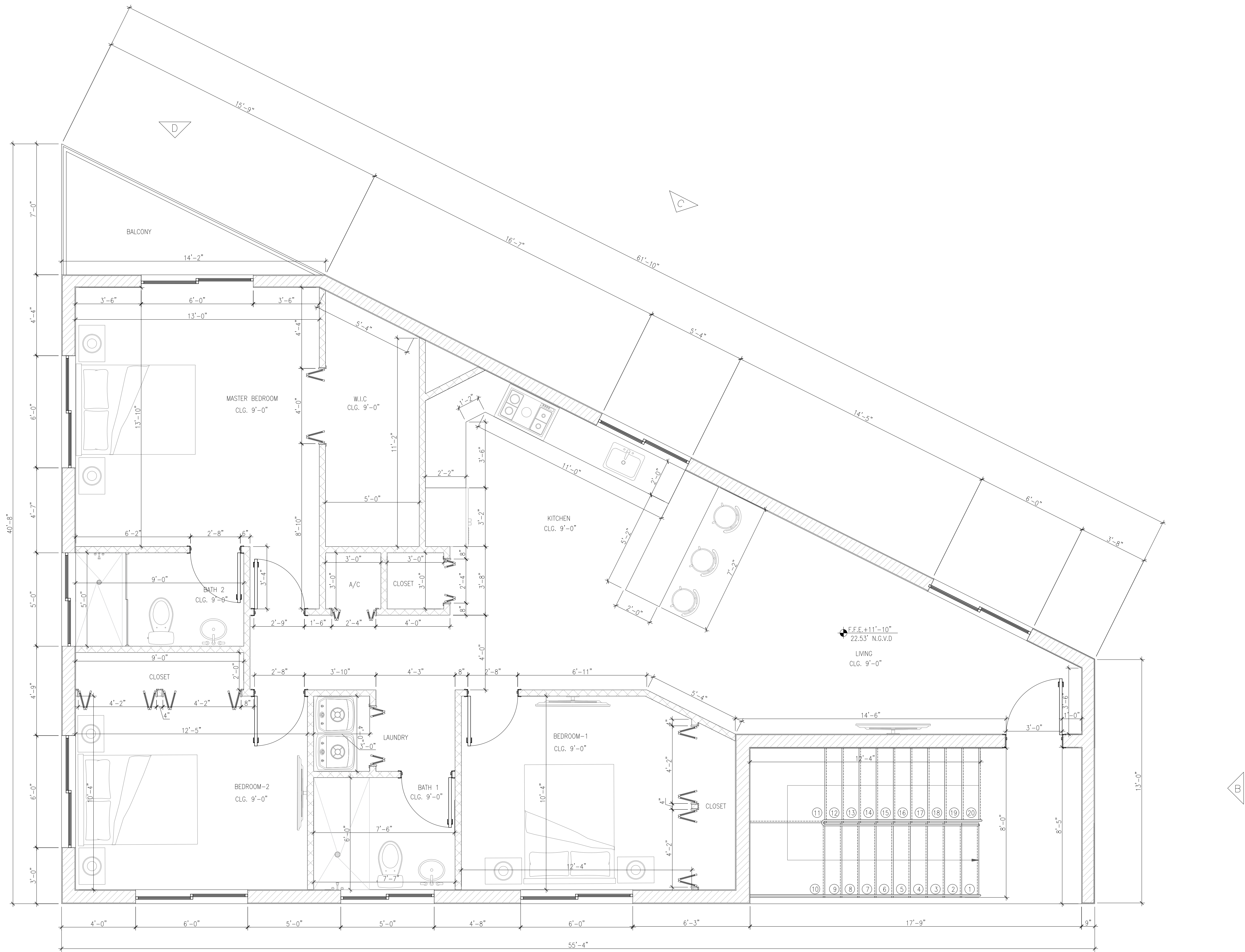
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GROUND FLOOR PLAN

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A-1.1

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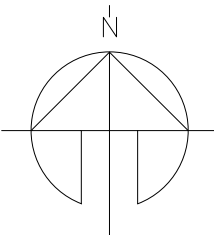


LEGEND

MASONRY WALL

4" PARTITION WALL

SECOND FLOOR PLAN  
SCALE: 3/8"=1'-0"



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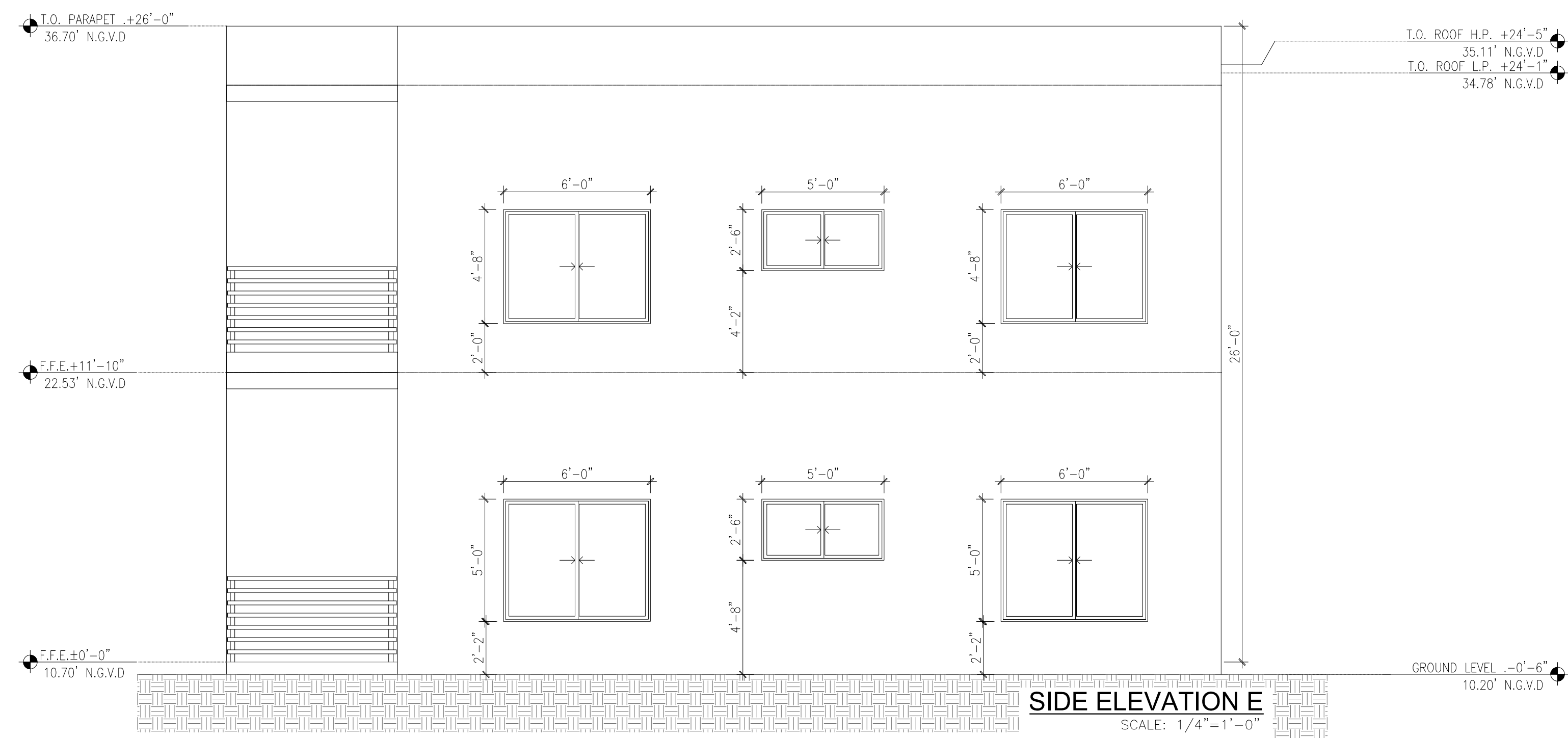
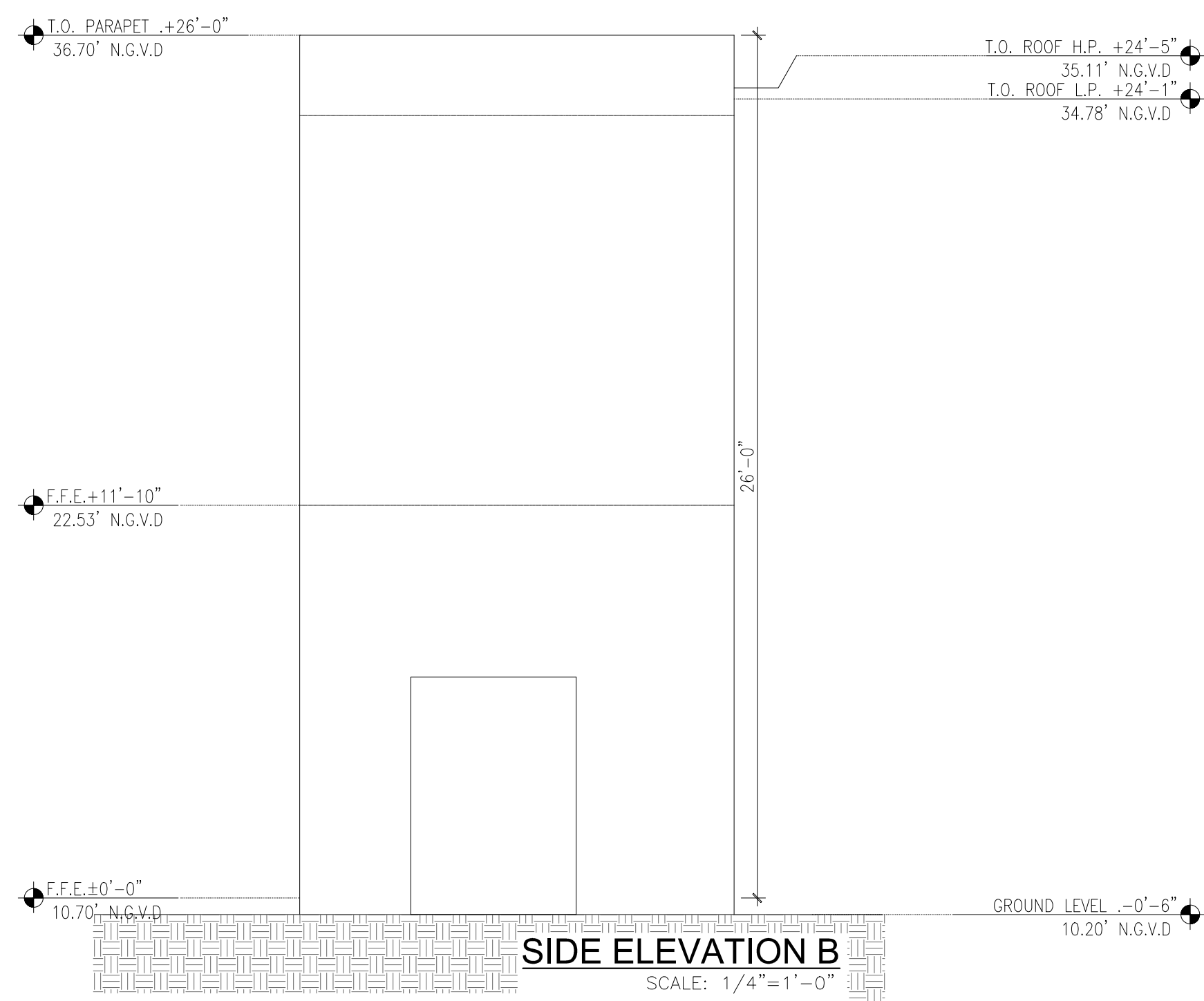
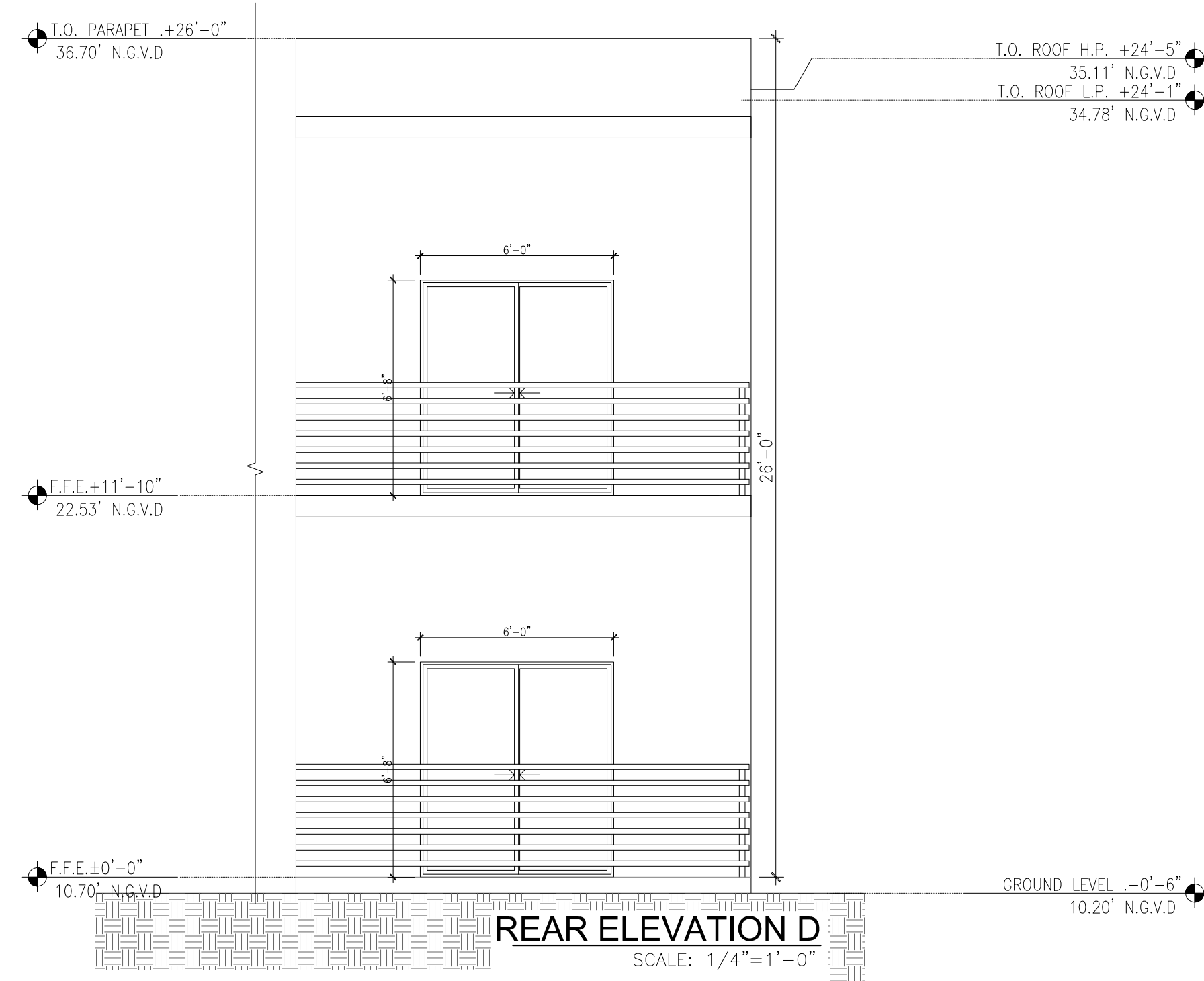
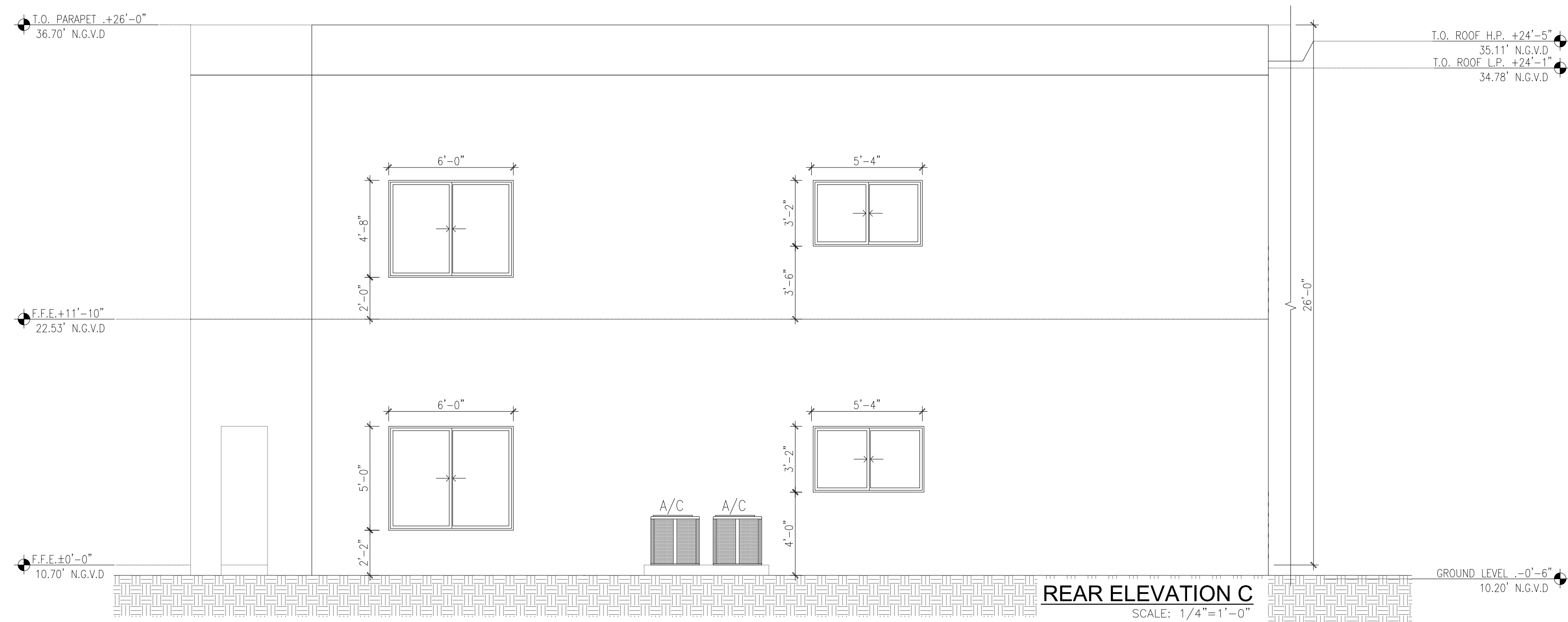
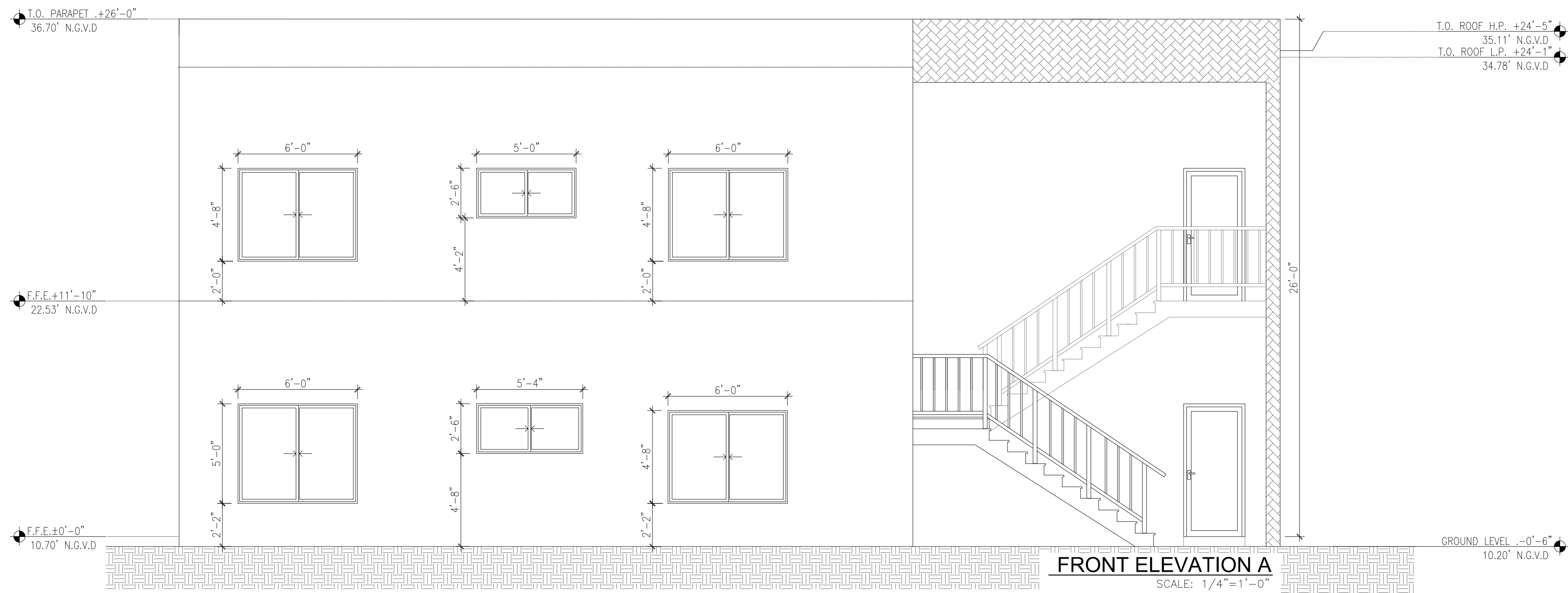
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648 NW 5TH COURT,  
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SECOND FLOOR PLAN

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 HALLANDALE BEACH, FL,  
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PAUSF LLC  
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A-2