

LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009





SITE PLAN REVIEW LEISURE APARTMENTS

215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

DRC PRESENTATION - FEBRUARY 1, 2021



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST

HALLANDALE BEACH, FL 33009 Ph: 305-814-8668

Contact: Victor E Taurizano,

ARCHITECT: CCA Design + Arch, LLC 1424 SW 23 St Miami, Florida 33145 PH: 786-487-3724

CONTACT: Jorge Castro, RA

LANDSCAPE ARCHITECT: FP Design, LLC. 15438 SW 25th Ter., Miami, Fl. 33185 PH: 305.778.7136

CONTACT: Fabio Perez

MEP ENGINEERING: **B&K Engineering Group, LLC** 3601 NW 2 nd Ave. Boca Raton, FL 33431 PH: 561-716-7120

Contact: Juan J. Bedoya, P.E.

CIVIL ENGINEERING: Winningham & Fradley, Inc. 111 NE 44th Street Oakland Park, Florida 33334 Office: 954-771-7440

Contact: Justine Bonito, PE

ARCHITE<u>CTURE</u>

101	COVER, DWG LIST AND MAPS
102	PROPERTY SURVEY
103	PROJECT RENDERINGS
104	PROJECT RENDERINGS
105	ZONING & TRANSPORTATION MAPS
00	SITE PLAN & ZONING DATA
01	1ST LEVEL PLAN
02	2ND & 3RD LEVEL PLANS
0.7	חססר חו אאו

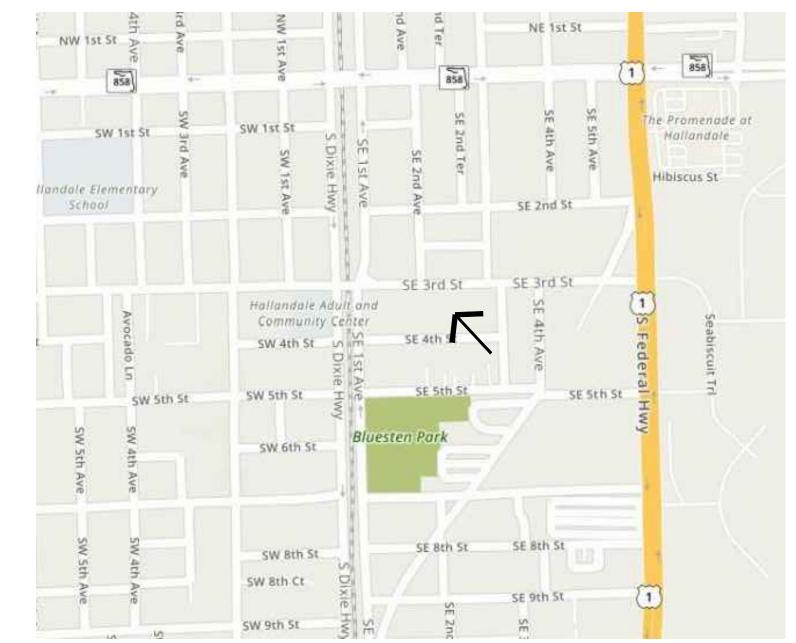
EXTERIOR ELEVATIONS

LANDSCAPE

L-1	TREE DISPOSITION PLAN
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE DETAILS
L-4	LANDSCAPE NOTES
IP-100	IRRIGATION PLAN
IP-200	IRRIGATION DETAILS
	•

<u> </u>	=
COVER	INDEX OF DRAWINGS
SP-1	SITE PLAN
DP-1	DEMOLITION PLAN
PD−1	PAVING & DRAINAGE PLAN
PD-2	PD — SECTIONS AND DETAILS
PD-3	PD — DETAILS
PM−1	PAVING MARKINGS AND SIGNAGE
WS-1	WATER, FIRE & SEWER
WS-2	WATER DIST & SEWAGE DETAILS
ΓΡΡΙ−1	TEMP. POLLUTION PREV. PLAN
ГРРІ-2	TPP - NOTES & DETAILS
ΓPPI−3	TPP - DETAILS

DRAWING LIST SCALE: AS NOTED



14 AREA MAP SCALE: AS NOTED

PROPERTY AERIAL PHOTO
SCALE: AS NOTED

CENTER FOR COLLABORATIVE ARCHITECTURE

Email: general @ccadesign.net



HALLANDALE, FL 33009

١٥.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
1	DRC COMMENTS	06-29-20
2	DRC COMMENTS	10-06-20
3	DRC COMMENTS	12-16-20
4	DRC COMMENTS	02-01-21

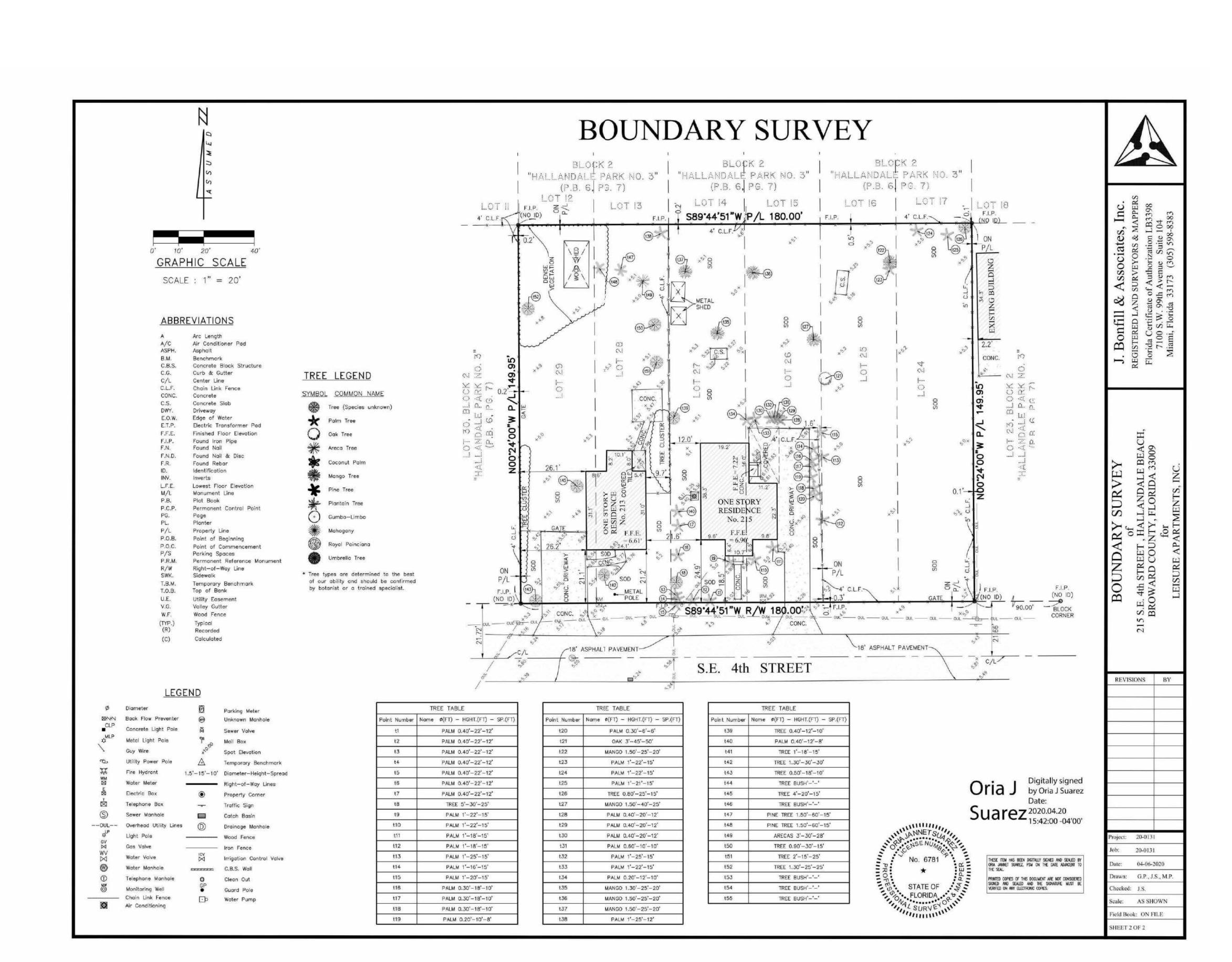


LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

Scale

G-101





CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469

LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE DRC MEETING DRC COMMENTS DRC COMMENTS

LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

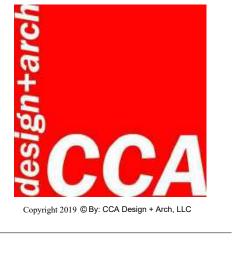
PROJECT INFO:

PROPERTY SURVEY

DRAWING INFO:

Project number Drawn by

Scale



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:
JORGE CASTRO-CALOU - AR97469



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

0.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
	DRC COMMENTS	06-29-20
7	DRC COMMENTS	10-06-20
\	DRC COMMENTS	12-16-20
$\overline{}$	DRC COMMENTS	02-01-21



LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

RENDERINGS

Drawn by

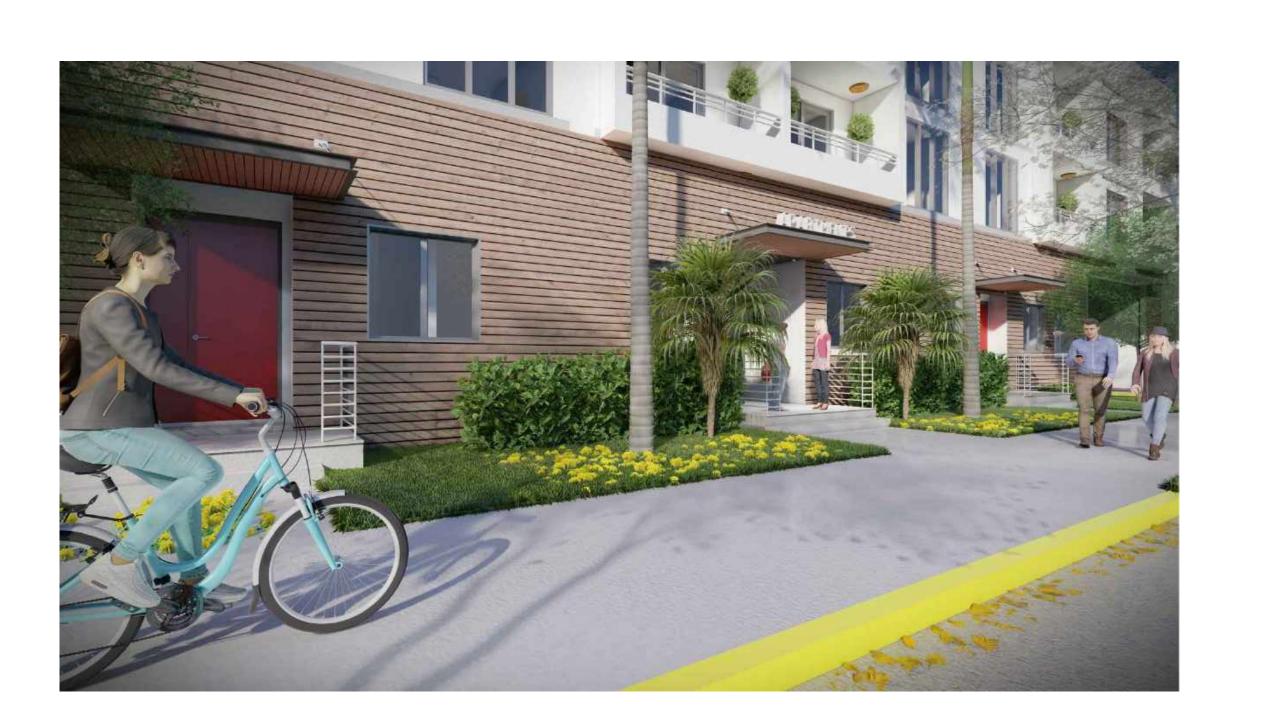
Scale

06 RENDERING SCALE: NTS



08 RENDERING SCALE: NTS







CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:
JORGE CASTRO-CALOU - AR97469



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

	· 	
NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
1	DRC COMMENTS	06-29-20
2	DRC COMMENTS	10-06-20
3	DRC COMMENTS	12-16-20
4	DRC COMMENTS	02-01-21



LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

RENDERINGS

Drawn by Scale

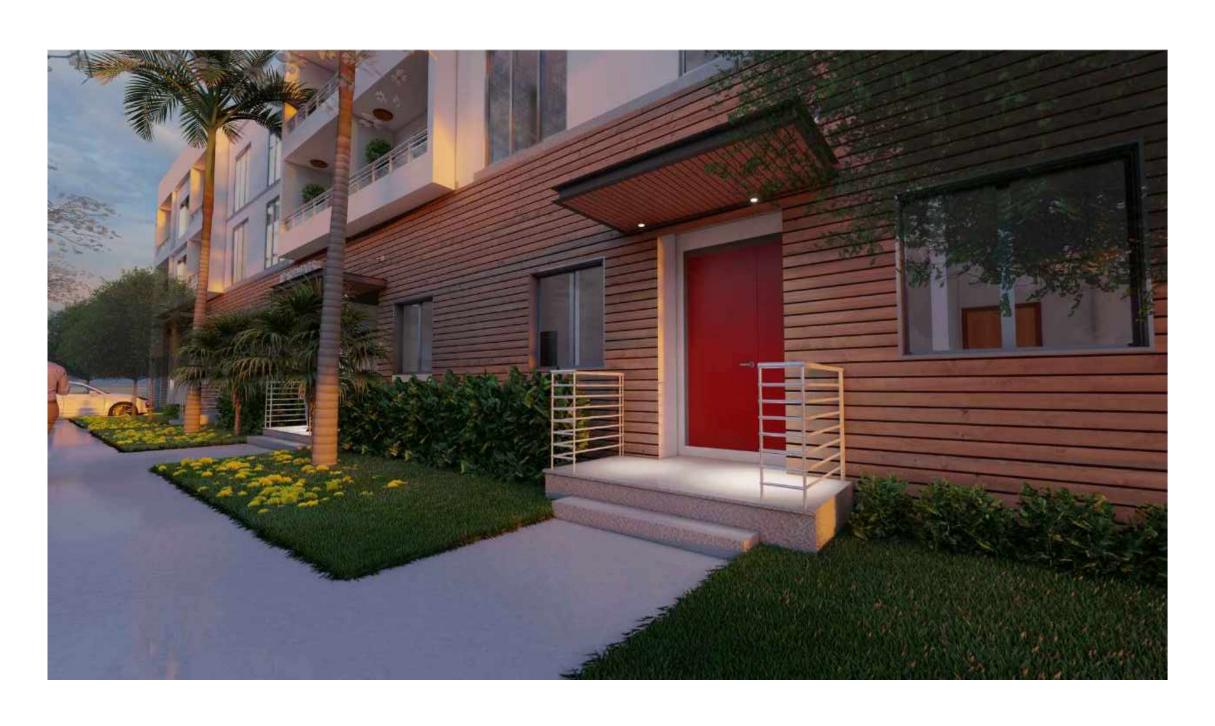
G-104

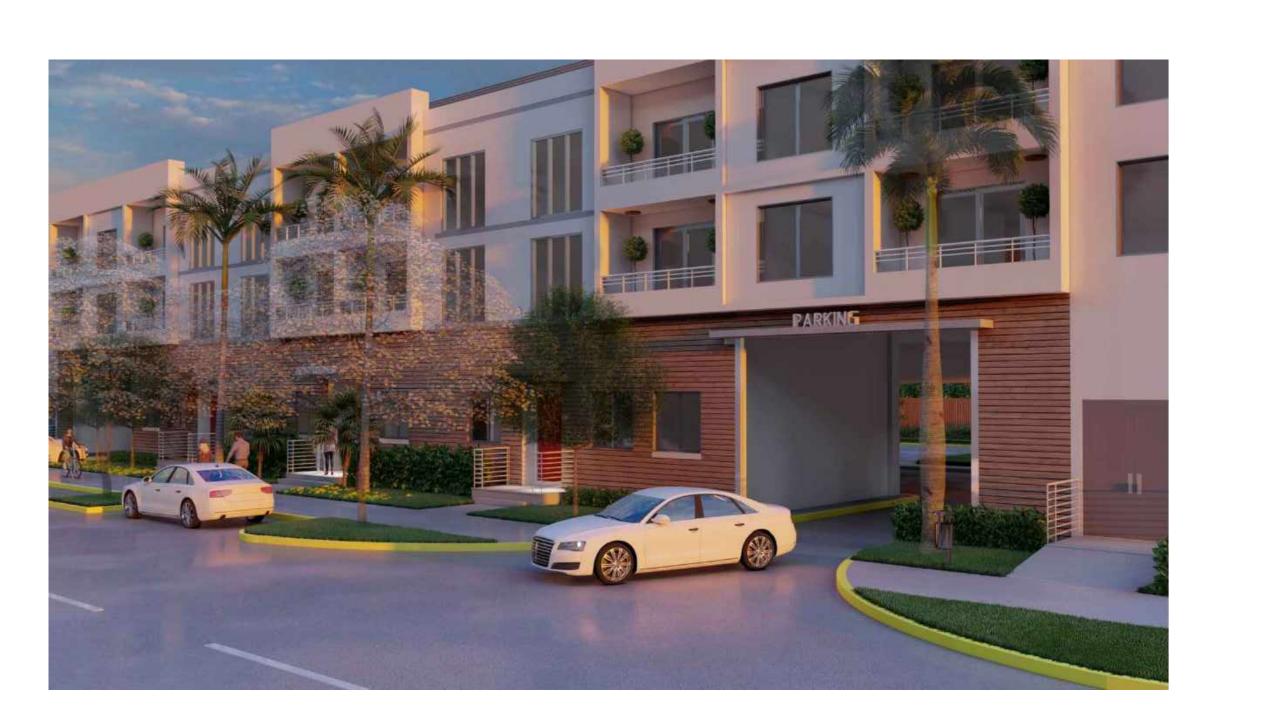


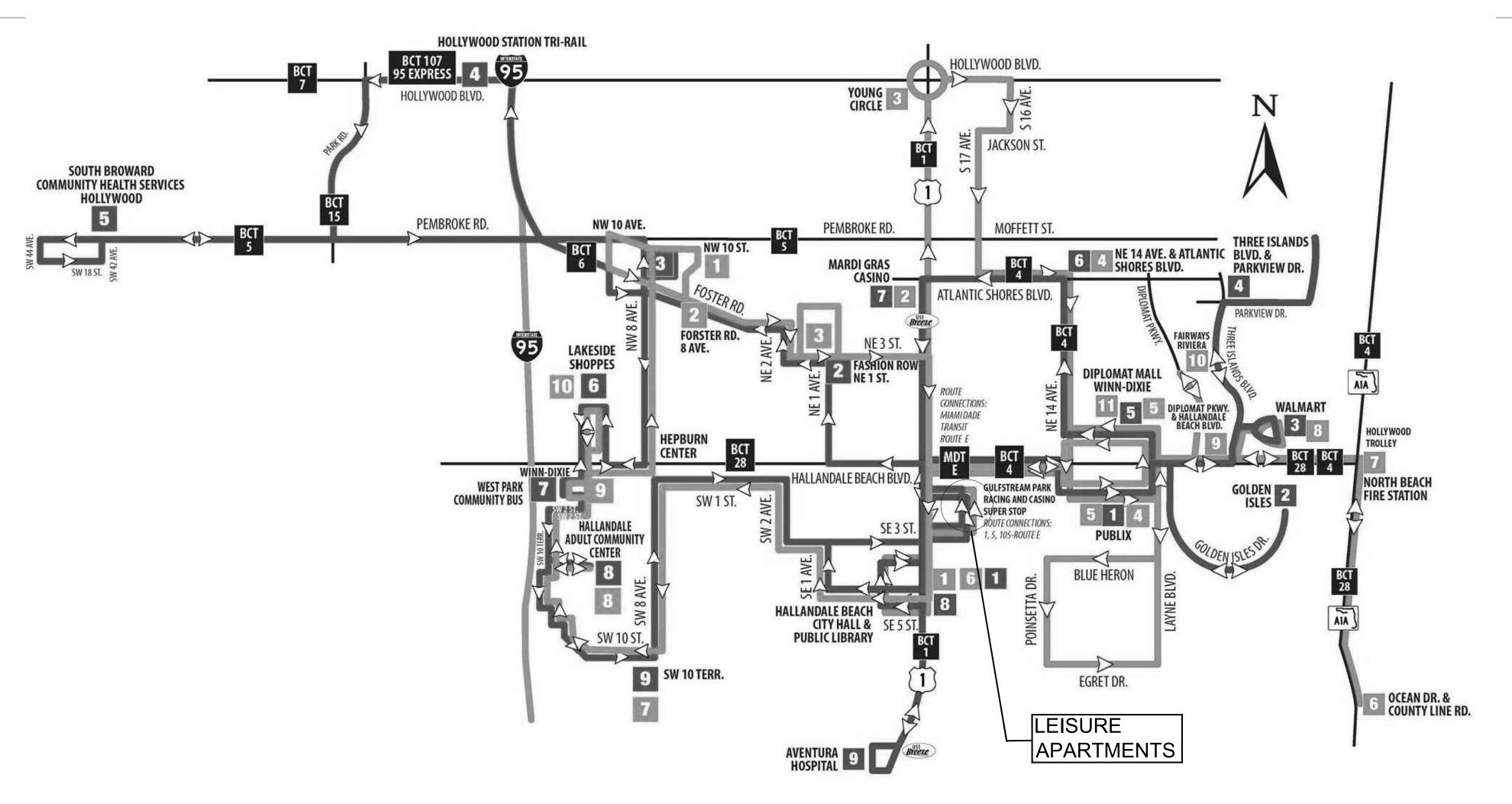
06 RENDERING
SCALE: NTS



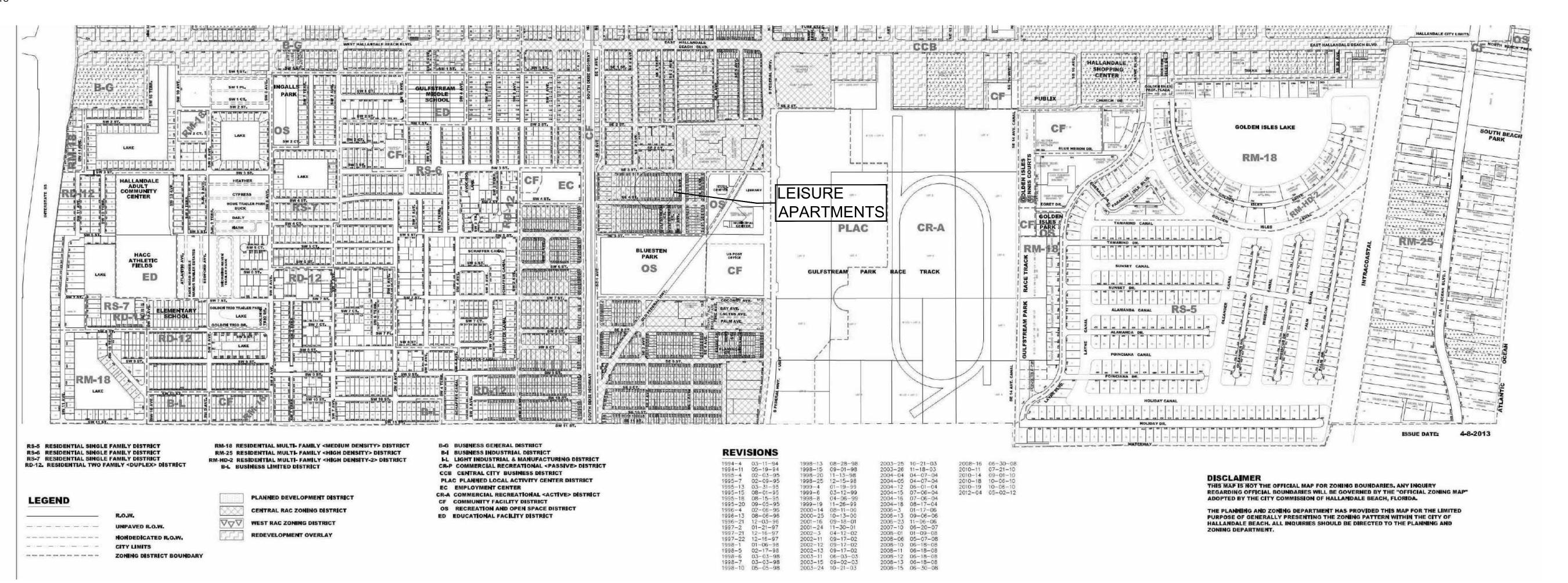
08 RENDERING SCALE: NTS













CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:
JORGE CASTRO-CALOU - AR97469

AF9169

OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE

04-20-20 06-29-20

DRC MEETING
DRC COMMENTS
DRC COMMENTS

LEISURE

APARTMENTS AT
HALLANDALE BEACH

LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

ZONING & FRANSPORTATION MAP

DRAWING INFO:

NOTE:

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB; AND THIS OFFICE MUST BE NOTHED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWNOS.

SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

Project number

Drawn by

Scale

SITE & BUILDING INFORMATION

	ransit Core Subdistrict Dimensio	nal Requirements	
ot Size		REQUIRED	PROPOSED
ot Width		50 ft. min.	180 feet
ot Area		5000 sf. min./ 100,000	26,991 Gross s.f.
		max.	26,389.8 Net s.f.
ot Cove	rage	95% max.	82.99%
Minimum	Landscape Area	5%	17.01%
Building	Placement		
		10 ft. min./	N/A
	Primary Street Setback	15 ft. max.	
Α	Secondary Street Setback	10 ft. min.	9 ft. to balconies
В	Street Above the 5th Story	20 ft.	N/A
	Interior Side Setback	0 ft. min.	1 foot
С	Adjacent to residential	10 feet	20 feet
D	Side Above the 5 th Story	30 ft. min.	N/A
E	Rear Setback	10 ft. min.	73 feet
F	Rear Above the 5th Story	20 ft. min.	N/A
G	Bldg Frontage on Primary Streets	75% min.	N/A
Building	Size & Height		
Min. Heig	ht Primary Streets	2 Stories, or	N/A
		1 Story 20 ft. high	
Base Bui	lding Height Limit	5 Stories	3 stories
Vlaximum	n Height Limit	8 Stories	3 stories
Density			
Base De	nsity	18 du/ac	N/A
Vlax. Den	sity	50 du/ac	39.62 DU/AC**
Civic Ope	en Space Requirement		
Sites Gre	eater than 40,000 sq. ft.	5%	N/A
All Sites I Height Li	Exceeding Base Density or Base mit	7.50%	0%*

* Waiver Required

PARKING CALCULATIONS

UNIT MIX PER LEVEL	Efficiency	1Bed	2 Bed	Units/Floor
1st level	0	0	2	2
2nd level	0	9	2	11
3rd level	0	9	2	11
Total Units	0	18	6	24
PARKING CALCULATIONS				
<u>Unit Type</u>	# Units	Parking/Unit	Total Parking	
2 Bed	6	1.75	10.50	
1 Bed	18	1.25	22.50	
Efficency	0	1.00	0.00	
	24		33.00	
Guest Parking				
1st 20 Units	20	0.5	10	
21 to 51 Units	4	0.3	1.2	
			11.2	
Total Parking Units + Gues	t Required		44.2	
Total Parking Units + Gues	t Provided		45	
HC Parking Included			2	

UNIT AREA INFORMATION

Floor	Unit #	2B/2B	1B/1B	Balcony	Total
Ground Floor	Α	1,335			1,335
	В	1,335		,	1,335
2nd Level	Α		944	49	993
	В		768	50	818
	С		768	50	818
	D		768	50	818
	E		768	50	818
	F		944	49	993
	G	1,313		60	1,373
	Н		768	50	818
	I		900	49	949
	J		900	49	949
	K	1,313		60	1,373
3rd Level	Α		944	49	993
	В		768	50	818
	С		768	50	818
	D		768	50	818
	E		768	50	818
	F		944	49	993
	G	1,313		60	1,373
	Н		768	50	818
			900	49	949
	J		900	49	949
	K	1,313	A state of	60	1,373
			9 4		
Total		7,922	15,056	1,132	24,110

BUILDING AREA PER LEVEL

Floor	Total Units	Balconies	Corr. /Lobby	Stair & Elev	MEP/Sto	Garage	Totals
Ground FL	2,670	0	1,448	520	1,071	6,270	11,979
2nd FL	10,154	566	1,082	363	107	0	12,272
3rd FL	10,154	566	1,082	363	107	0	12,272
Roof							
Total	22,978	1,132	3,612	1,246	1,285	6,270	36,523

LANDSCAPE

NEW 6' WOOD

NEW 6' WOOD

BUILDING 2ND FLOOR PROJECTION

F.F.E. = 7.17 N.A.V.D.

FENCE\

FENCE

BUFFER_

VEHICLE, OVERHANG

UNIT MINIMUM SIZE

JNIT MINIMUM SIZE	MIN. REQUIRED		MIN. PROVIDE	<u>.D</u>
Table 32-194(b)				
1 Bedroom Unit	700	SF	768	SF
2 Bedroom Unit	850	SF	1313	SF

BUILDING ENTRANCES

9	DIMENSIONAL REQUIREMENTS FOR STOOPS						
	TABLE 32-201 (c)						
2		REQUIRED		PROVIDED			
		5' MIN. / 8'		5'-0"			
2	DEPTH	MAX.					
		4' MIN. / NO		9'-0''			
	WIDTH	MAX.					
		1' MIN. / 4'		1'-0''			
3	FLOOR ELEV.	MAX.					
	MAX. SETBACK			3'-6"			
	ENCROACHMENT	5' MAX.					

LANDSCAPE

사람의 모임들은 그 등록 열면 경찰 모든 말은 바람들은 음악하다면 그는 모임들은 가장 보장 보다면 하다고 하는데 있다.

SEE LANDSCAPE DWGS FOR DETAILS

24'-0" PARKING

17'-0" TYP.

6

17'-0" TYP.

1 F.F.E. = 7.50 N.A.V.D.

F.F.E. = 4'-0" ONE-WAY 2'-9" DRIVEWAY

MAN DOOR TO TRASH ROOM

SIDEWALK (SEE CIVIL DWG FOR DETAILS)

17

13

(12)

19'-0" TYP.

F.F.E. = 7.50 N.A.V.D.

2 BED UNIT A 1335 SF

ENTRANCE SIDEWALK 18

NEW 6' WOOD FENCE

HC RAMP (TYP.)

F.F.E. = 7.50 N.A.V.D.

SEE LANDSCAPE ENTRANCE DWGS FOR DETAILS SIDEWALK

SE 4 STREET

5 BIKE RACK, M#
BR2H-IG-EPX,
BELSON OUTDOORS
POWER COATED BLK

F.F.E. = 7.50 N.A.V.D.

TENANTS STORAGE

ON STREET PARKING (SEE CIVIL DWG FOR DETAILS)

ELECTRIC VEHICLE CHARGING STATION

F.F.E. = 7.50 N.A.V.D.

2 BED UNIT B 1335 SF

SIDEWALK

1:12 MAX. SLOPE,

PROPERTY INFORMATION

<u>LOT A</u> PROPERTY ADDRESS
213 SE 4TH STREET, HALLANDALE BEACH, FL 330
FOLIO NBR. 514227160290 LEGAL DESCRIPTION
HALLANDALE PARK NO 3 6-7 B LOT 28,29 BLK
LOT B
PROPERTY ADDRESS
215 SE 4TH STREET, HALLANDALE BEACH, FL 330

FOLIO NBR. 514227160280 LEGAL DESCRIPTION HALLANDALE PARK NO 3 6-7 B LOT 26,27 BLK 2

PROPERTY ADDRESS
SE 4TH STREET, HALLANDALE BEACH, FL 33009
FOLIO NBR. 514227160271
LEGAL DESCRIPTION
HALLANDALE PARK NO 3 6-7 B LOT 24 & 25 BLK 2

23)

24)

25)

24'-0" Parking Driveway

22

1) PER SECTION 32-194(A)(7) UNITS MUST HAVE THE FIRST HABITABLE FLOOR ELEVATED TO AT LEAST 18 INCHES ABOVE THE HIGHEST CROWN OF THE ROAD OF ALL ADJOINING STREETS OR REGULATORY FREEBOARD ABOVE THE BASE FLOOD ELEVATION(BFE), WHICHEVER IS HIGHER. CONSIDERING THAT IN THIS PROPERTY THE BFE IS HIGHER (6.00) THE FIRST HABITABLE STORY FOR THIS PROJECT HAS BEEN ESTABLISHED AT 7.50.

2) ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988

SEE LANDSCAPE DWGS FOR DETAILS (38)

LINE OF BUILDING

17'-0" TYP.

F.F.E. = 7.50 N.A.V.D.

F.F.E. = 7.50 N.A.V.D.

13'-0"
ONE-WAY
DRIVEWAY



R REVIEWING AUTHORITY USE

NEW 6' WOOD

FENCE

LANDSCAPE

RESIDENTIAL

BUILDING

BUFFER

VEHICLE OVERHANG

1'-2"

BUILDING 2ND FLOOR PROJECTION

CENTER FOR **COLLABORATIVE** ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469

OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRC MEETING 0	
DRC MEETING 0.	
DIO MEETING	4-20-20
DRC COMMENTS 0	6-29-20
DRC COMMENTS 10	0-06-20
DRC COMMENTS 12	2-16-20
DRC COMMENTS 02	2-01-21

215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

DRAWING INFO:

Project number Drawn by

SITE PLAN / LEVEL 1 - ELEV. 0'-0"
SCALE: 3/32"=1'-0"

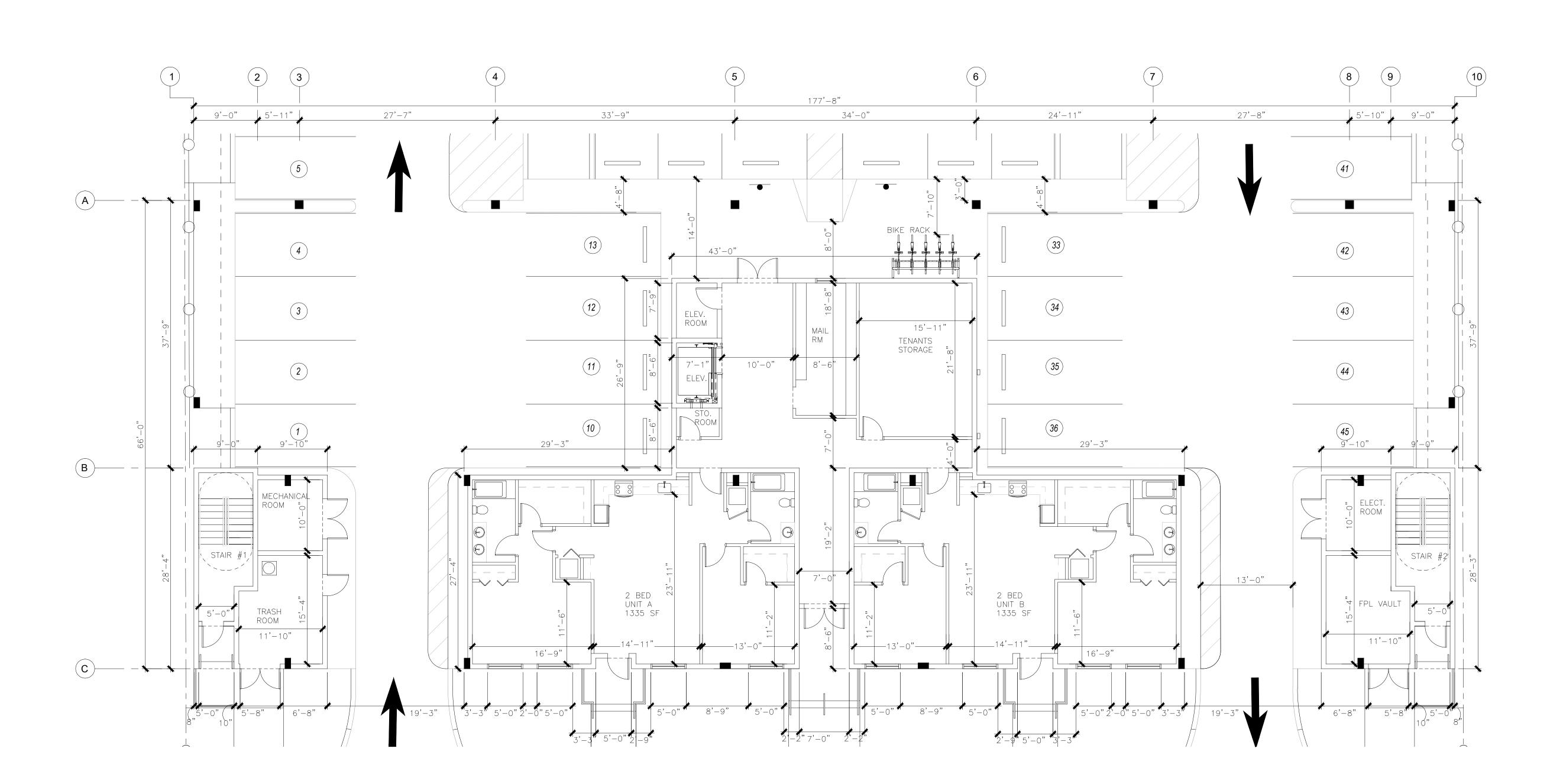
LEISURE APARTMENTS

& ZONING

Scale

A-100

^{**} Affordable Housing - 15% of the units must be designate as affordable or a contribution to the City's Affordable Housing Fund is required.





CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:

JORGE CASTRO-CALOU - AR97469



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
1	DRC COMMENTS	06-29-20
2	DRC COMMENTS	10-06-20
3	DRC COMMENTS	12-16-20
4	DRC COMMENTS	02-01-21



LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

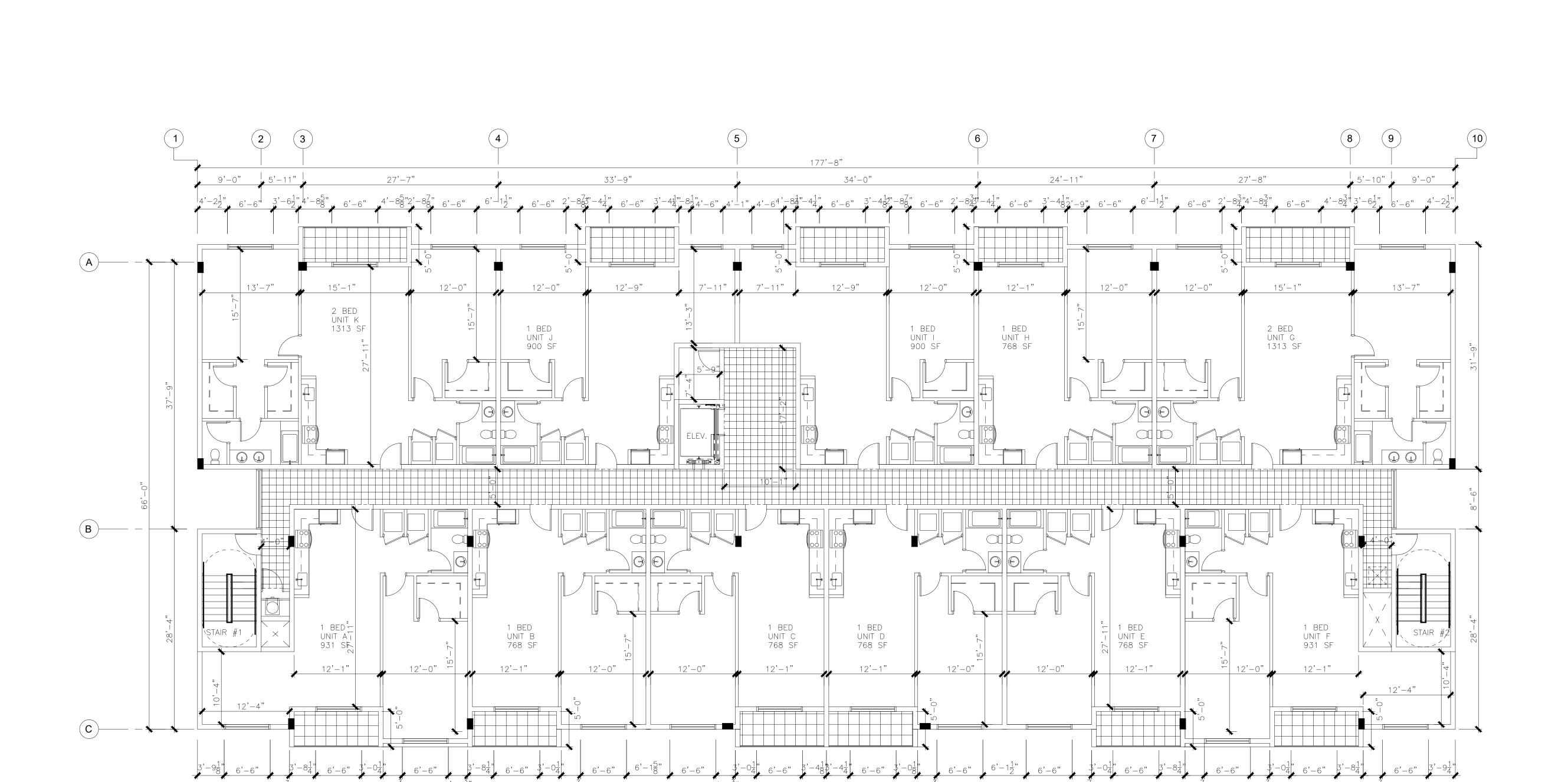
PROJECT INFO:

FLOOR PLAN LEVEL 1

DRAWING INFO:

Drawn by Scale

A1.01





CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469

OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE 04-20-20 06-29-20 10-06-20 DRC MEETING DRC COMMENTS DRC COMMENTS

LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

FLOOR PLAN LEVEL 2 & 3

Drawn by

Scale

A1.02



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE DATE 04-20-20 06-29-20 10-06-20 DRC MEETING DRC COMMENTS DRC COMMENTS

LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

DRAWING INFO:

Project number Drawn by

Scale

CALCULATION FOR STORM DRAIN #1

4" STORM DRAIN AREA= 1912 SQ/FT PERIMETER = 144'PARAPET = 4' 4/2=2 144X2=288 1912 + 288 = 2200 SQ/FT - 115 GPM

BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #2

4" STORM DRAIN AREA= 2028 SQ/FT PERIMETER = 62' PARAPET = 4' 4/2=2 62X2=124 2028 + 124 =2152 SQ/FT - 112 GPM

BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #3

4" STORM DRAIN AREA= 2027 SQ/FT PERIMETER = 63PARAPET = 4'4/2=2 63X2=126 2027 + 126 =2153 SQ/FT - 112 GPM

BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #4

4" STORM DRAIN AREA= 2034 SQ/FT PERIMETER = 63'PARAPET = 4' 4/2=2 63X2=1262034 + 126 = 2160 SQ/FT - 113 GPM

BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #5

4" STORM DRAIN AREA= 2028 SQ/FT PERIMETER = 62'PARAPET = 4' 4/2=2 62X2=124 2028 + 124 =2152 SQ/FT - 112 GPM

BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

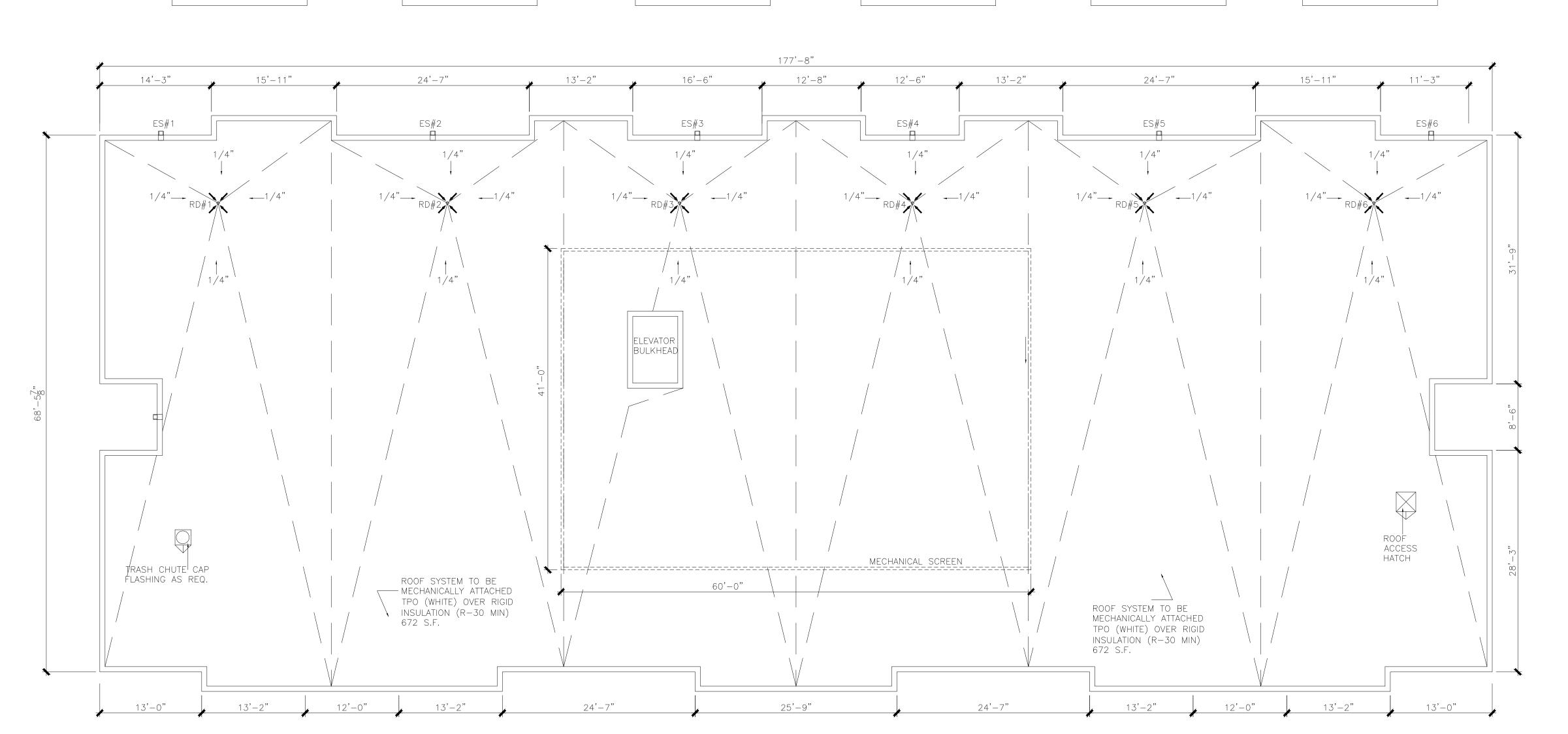
AREA= 1912 SQ/FT PERIMETER = 144PARAPET = 4' 4/2=2 144X2=288 1912 + 288 = 2200 SQ/FT - 115 GPM BASED ON 5"

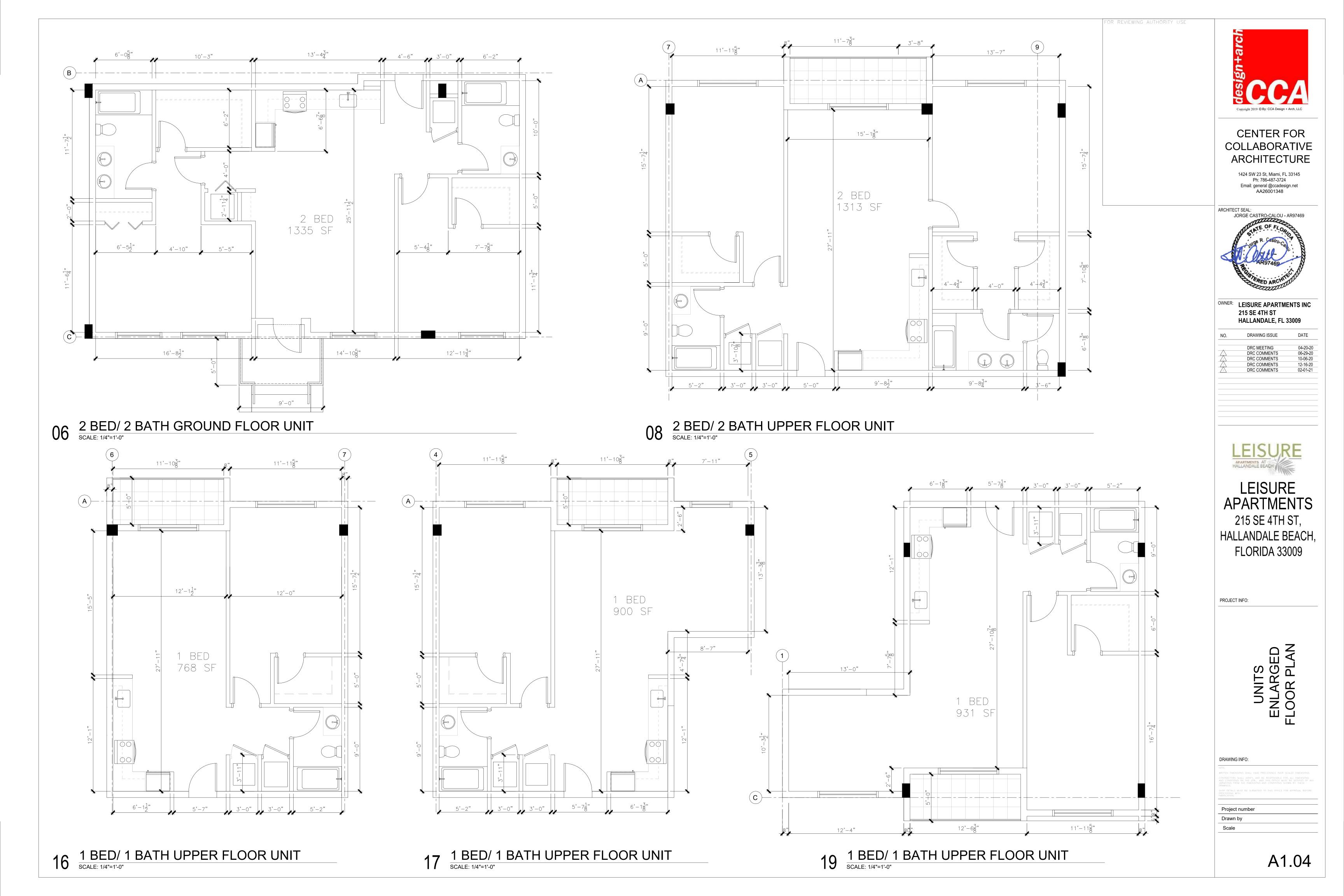
CALCULATION FOR

STORM DRAIN #6

4" STORM DRAIN

RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3









CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469



LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
1	DRC COMMENTS	06-29-20
2	DRC COMMENTS	10-06-20
3	DRC COMMENTS	12-16-20
4	DRC COMMENTS	02-01-21

LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

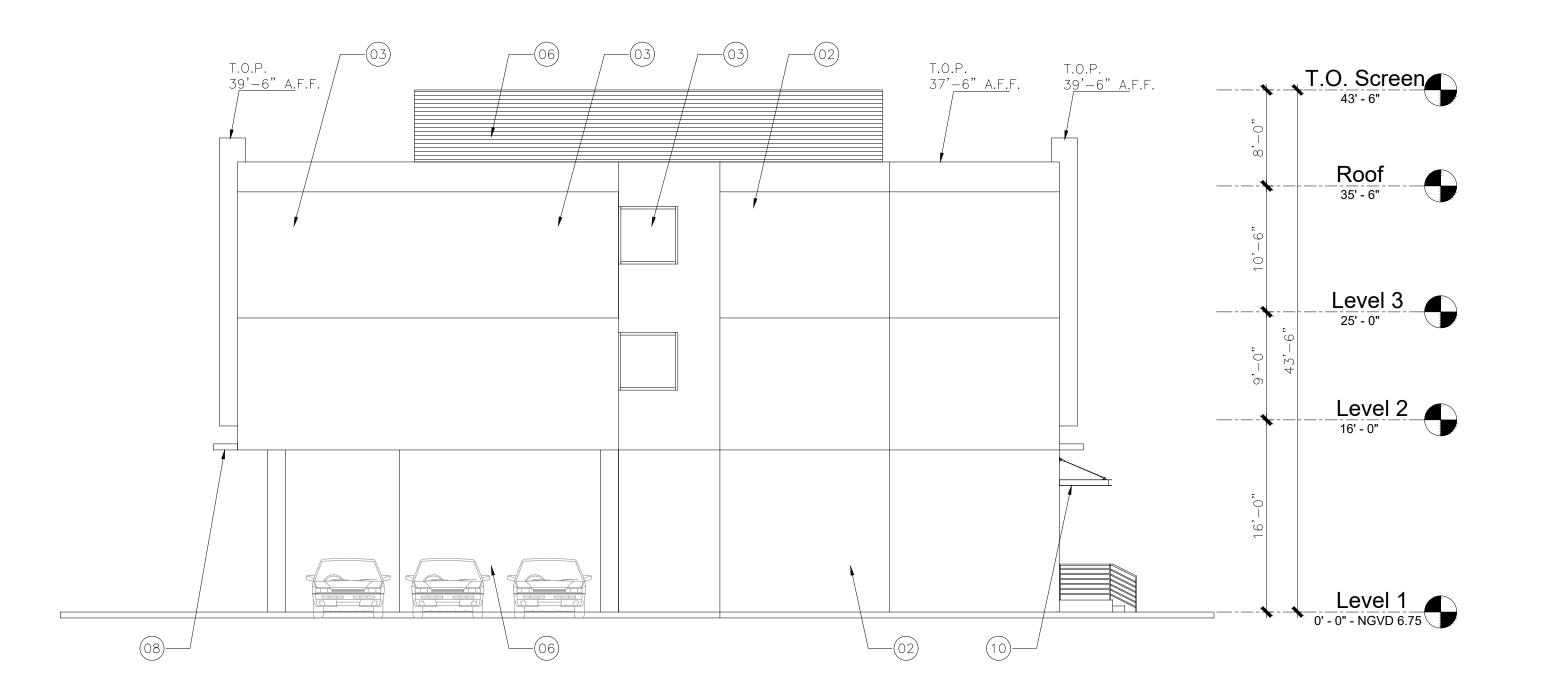
EXTERIOR ELEVATIONS

DRAWING INFO:	

Drawn by

Scale

A-201



01) NICHIHA SYSTEM - VINTAGEWOOD PANEL (02) SMOOTH STUCCO PAINTED WHITE

(03) WHITE FRAME IMPACT FIXED WINDOW

(04) WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP)

(05) WHITE 42" ALUMINUM RAILING (TYP.)

(06) LIGHT BRONZE ALUMINUM LOUVER

(07) 3 SQ FEET MAX. SIGNAGE OVER GARAGE ENTRANCE

(08) SMOOTH STUCCO OVERHANG PAINTED WHITE

09) 1'-6" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE

(10) DARK GREY METAL AWNING OVER ENTRANCE

16 WEST ELEVATION
SCALE: 1/8"=1'-0"



ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:
JORGE CASTRO-CALOU - AR97469

OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

C MEETING		04-20-20
C COMMENT	S	06-29-20
C COMMENT	S	10-06-20
C COMMENT	S	12-16-20
C COMMENT	S	02-01-21
	C COMMENT	C COMMENTS C COMMENTS C COMMENTS C COMMENTS

LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

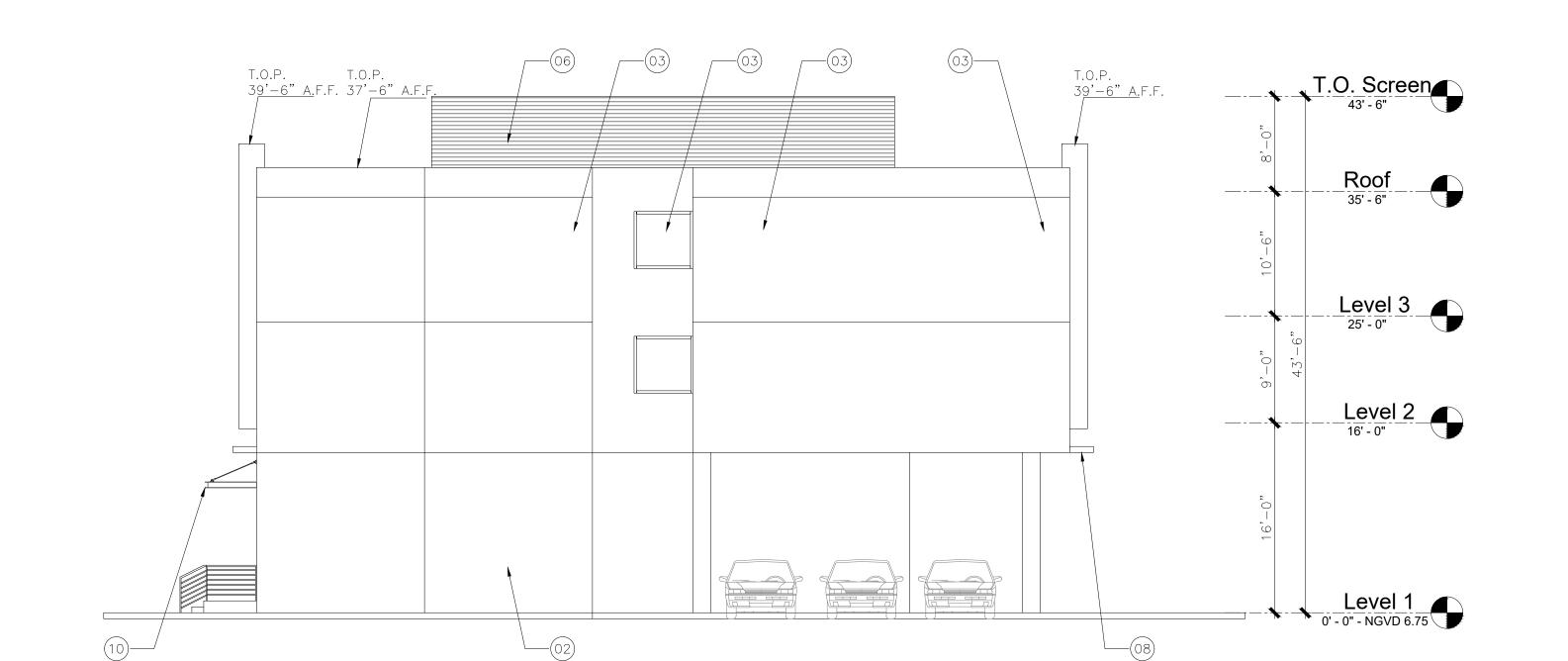
DRAWING INFO:

Project number

Drawn by Scale

A-202





01) NICHIHA SYSTEM - VINTAGEWOOD PANEL

(02) SMOOTH STUCCO PAINTED WHITE

(03) WHITE FRAME IMPACT FIXED WINDOW

(04) WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP)

(05) WHITE 42" ALUMINUM RAILING (TYP.)

(06) LIGHT BRONZE ALUMINUM LOUVER

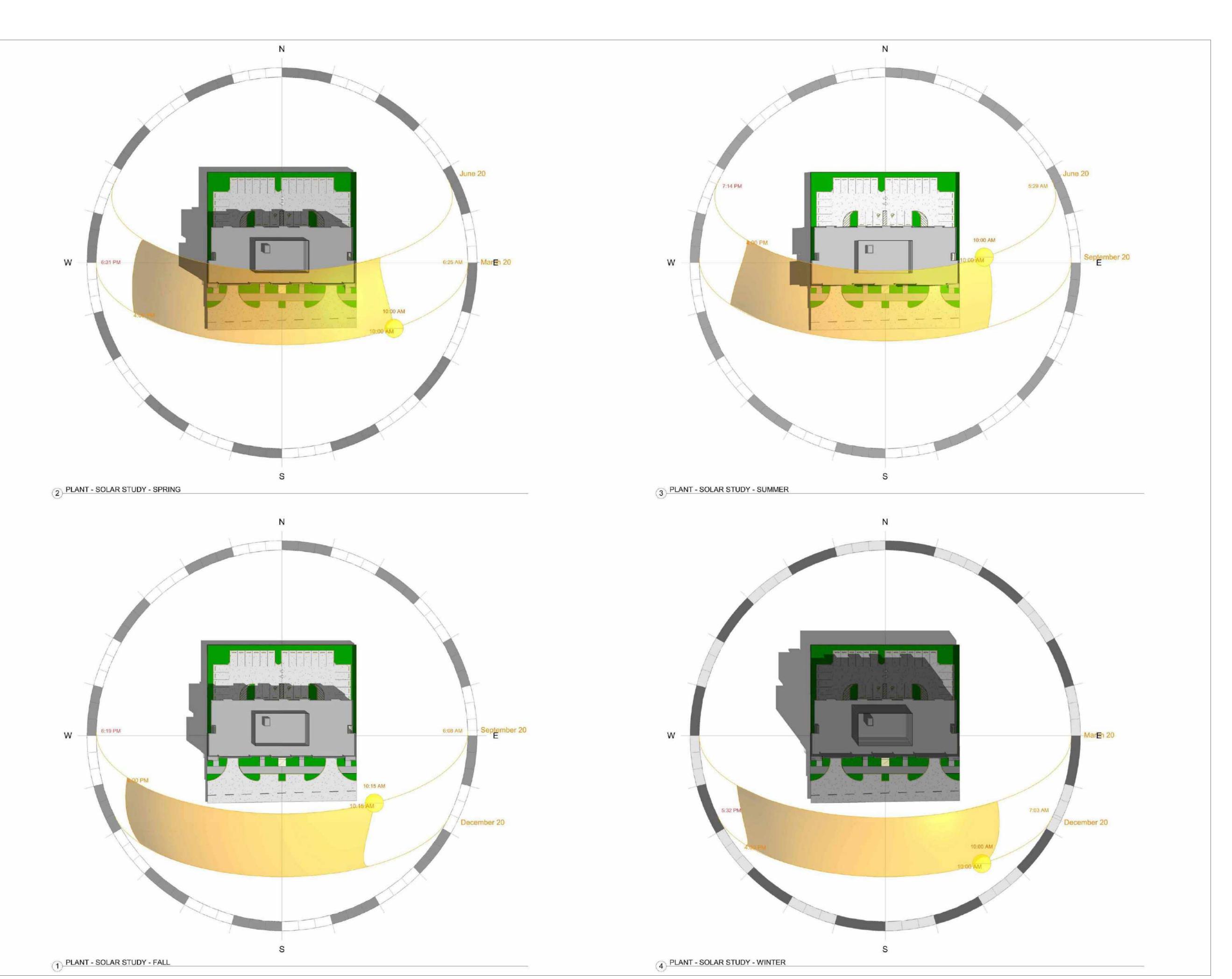
(07) 3 SQ FEET MAX. SIGNAGE OVER GARAGE ENTRANCE

(08) SMOOTH STUCCO OVERHANG PAINTED GREY

09) 1'-6" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE

(10) DARK GREY METAL AWNING OVER ENTRANCE

16 EAST ELEVATION
SCALE: 1/8"=1'-0"





CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DAT
	DRC MEETING	04-20
2	DRC COMMENTS DRC COMMENTS	06 - 29



LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

BUILDING SOLAR STUDY

DRAWING INF

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB; AND THIS OFFICE MUST BE NOTIFIED OF AN VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

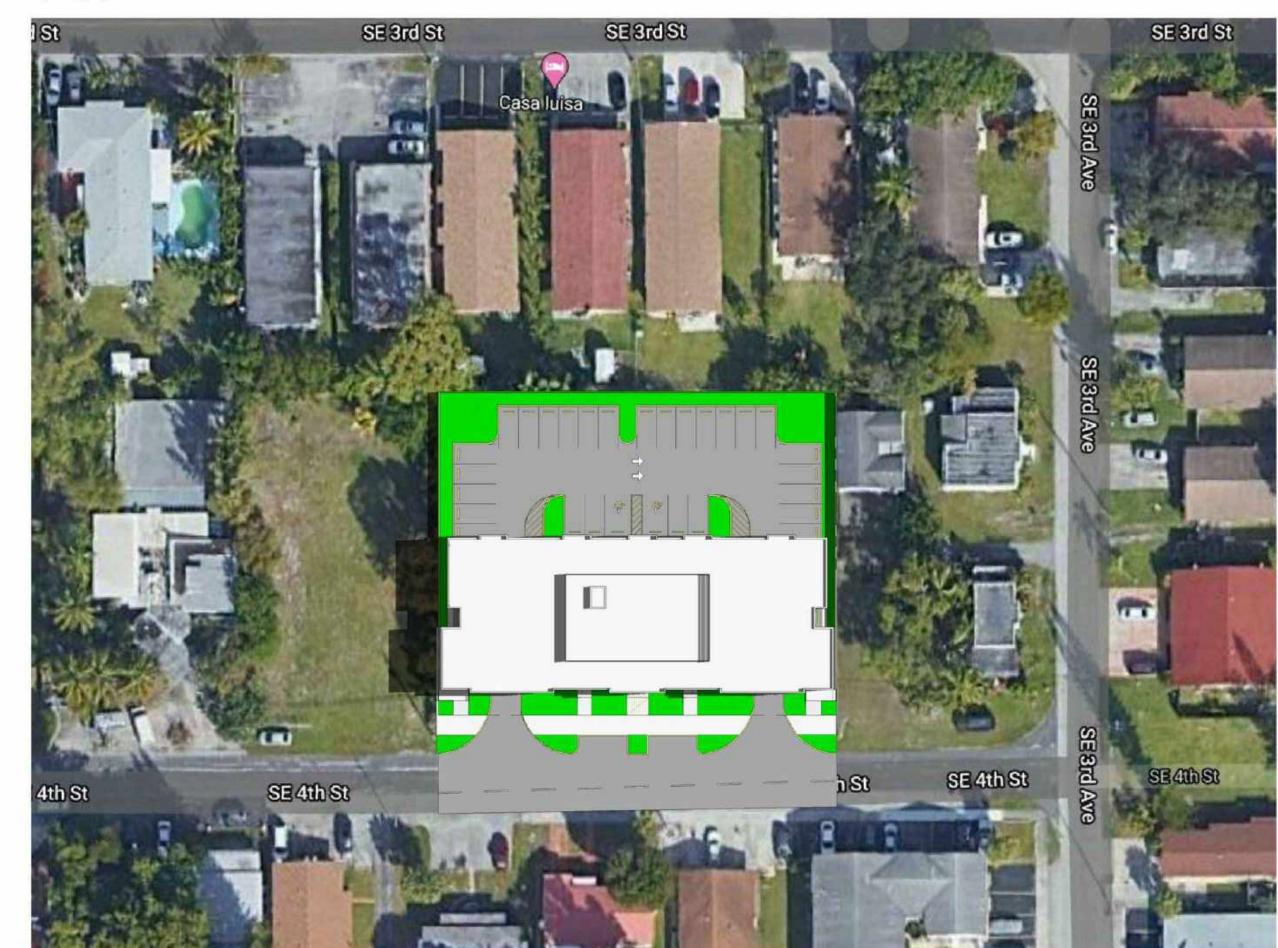
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

Drawn by

Scale



Winter Solstice Solar Study
1" = 40'-0"



3 Summer Solstice Solar Study



Spring Equinox Solar Study
1" = 40'-0"



1) Fall Equinox Solar Study



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

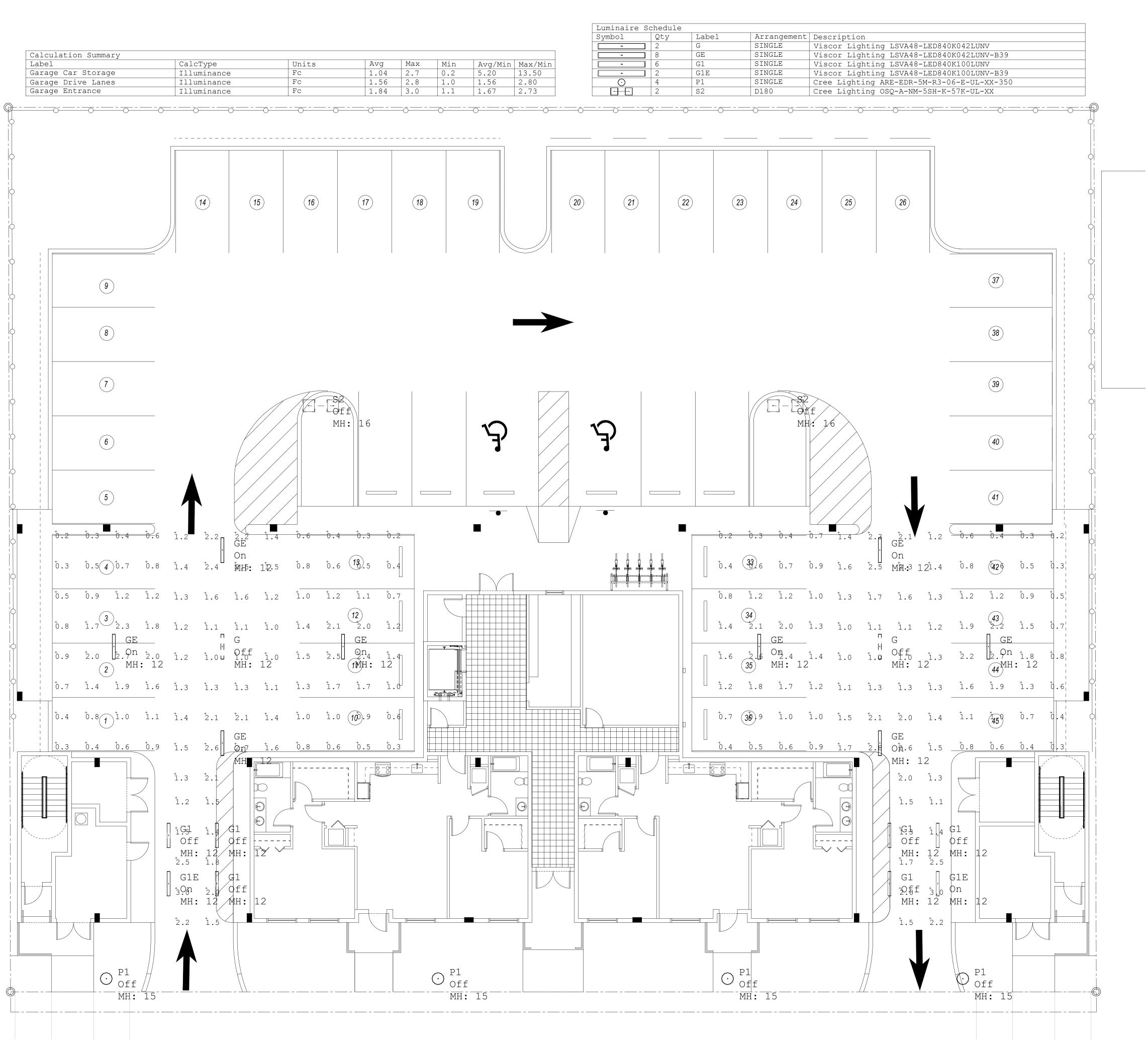
NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-
$\overline{Z_1}$	DRC COMMENTS	06-29-
72	DRC COMMENTS	10-06-

LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

Drawn by Scale

A8.03





CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:
JORGE CASTRO-CALOU - AR97469

AF9169

OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRC MEETING 04-20-20
DRC COMMENTS 06-29-20
DRC COMMENTS 10-06-20

APARTMENTS AT IALLANDALE BEACH

LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

HOTOMETRICS EMERGENCY

DRAWING INF

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB; AND THIS OFFICE MUST BE NOTIFIED OF A VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

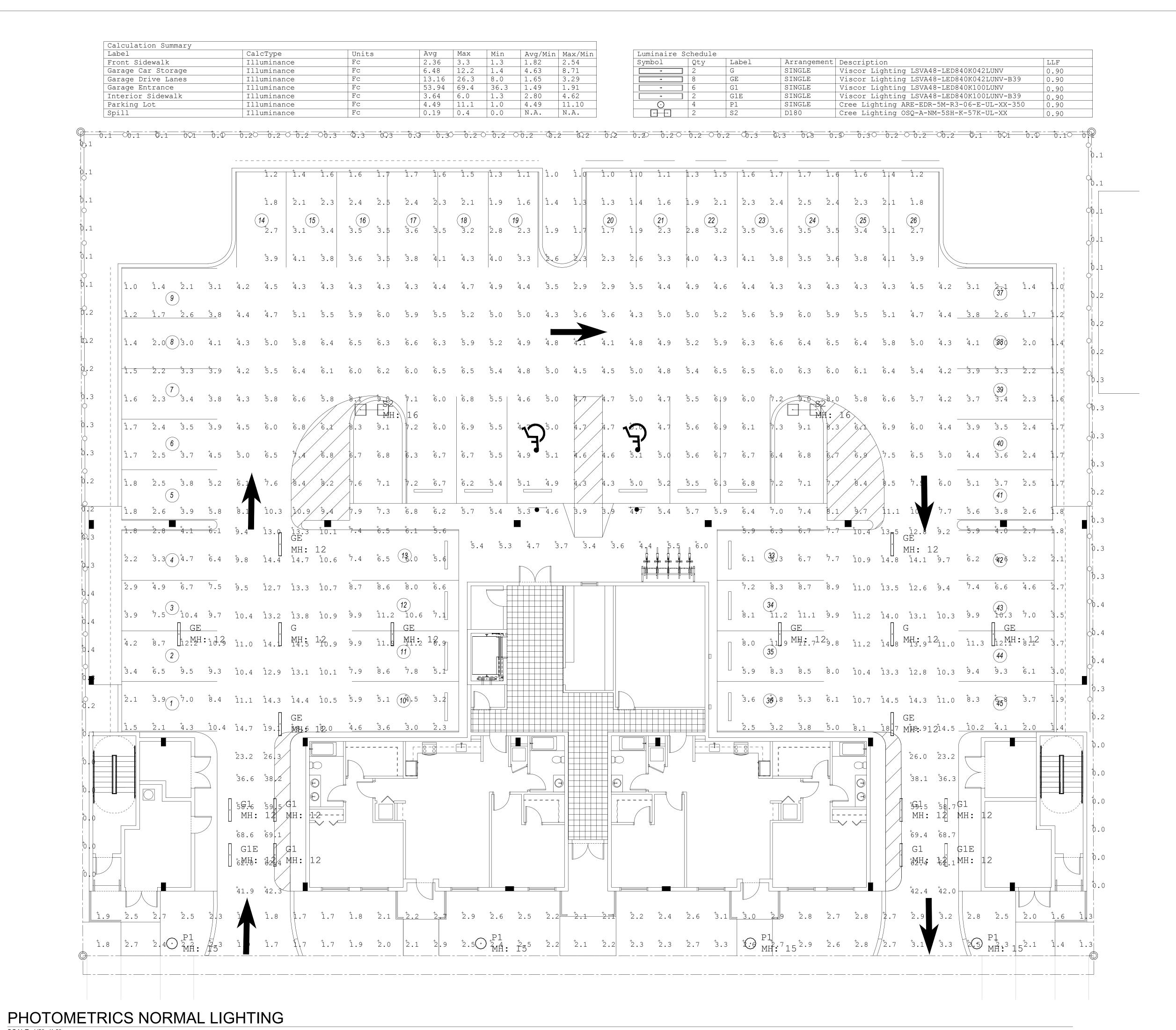
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFOR PROCEDURG WITH

Project number

Drawn by

Drawn by
Scale

A-901





CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469

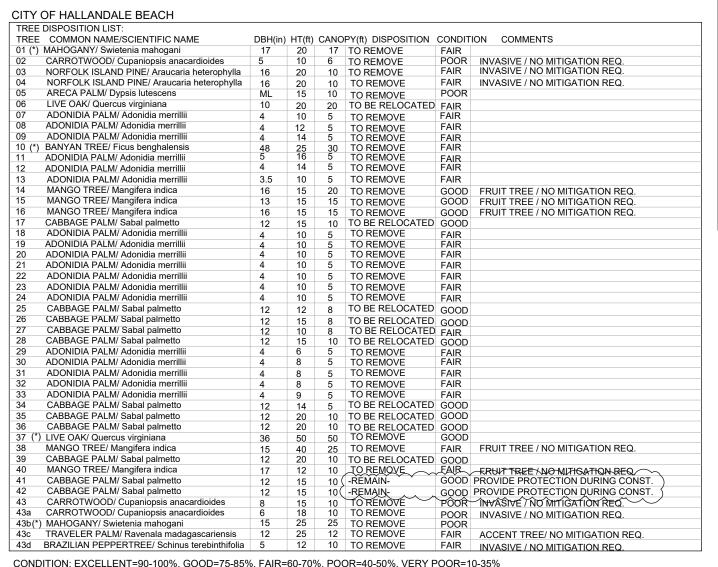
LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE DRC MEETING DRC COMMENTS DRC COMMENTS

LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

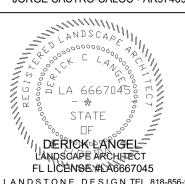




FOR CITY REVIEW



ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469



CENTER FOR

COLLABORATIVE

ARCHITECTURE

1424 SW 23 St, Miami, FL 33145

Ph: 786-487-3724

Email: general @ccadesign.net

AA26001348

LANDSTONE DESIGN TEL. 818-856-9556 LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305.778.7136 DWNER: LEISURE APARTMENTS INC

215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE DATE

#1 rev. per comments 6/19/2020 #2 rev. per site/ comments 9/18/20 #3 rev. per site 10/2/20

#4 rev. per city chart 12/10/20

LEISURE PARTMEN⁷ 215 SE 4TH ST, ALLANDALE BEA(FLORIDA 33009

PROJECT INFO:

DRAWING INFO:

Project number 03-27-2020 FP Drawn by

3/32" = 1'-0" Scale

TREE DISPOSITION

CONDITION: EXCELLENT=90-100%, GOOD=75-85%, FAIR=60-70%, POOR=40-50%, VERY POOR=10-35% (*) TO BE MITIGATED BY PAYING INTO TREE FUND/ AS PER CITY COMMENT. TREE MITIGATION: Do not relocate, remove or destroy a tree without first obtaining a permit from the City. Sabal Paim Live Cak Pigeon Plum Live Cak Alexander Pain | Good | Average 12 | Fair | 20 | FL #1 or Better | 15 STD | | FL #1 or Better | 15 STD | | FL #1 or Better | 15 OA Coconut Palm Cocos nuclfera
Footali Palm Wodyetia bifurcatia
Medijool Date Palm Phoenix dactylifera "Medijool"
Queen Palm Syagrus romanzuffiana
Royal Palm Royalonea regia
Montgomery Palm Wettchia arectina
Washineton Palm Inches mitigated
Payment to Tree Fund

275 " REQUIRED FOR REPLACEMENT 175" REPLACEMENT PROVIDED ON LANDSCAPE PLANS (SEE CHARTS ON SHEET L2)

-APPLICANT SHALL PAY THE APPROPRIATE FEE INTO THE CITY'S TREE PRESERVATION TRUST FUND. AS REQUIRED BY CITY. FOLLOW CITY REQUIREMENTS FOR TRUST FUND -TREE RELOCATION BOND REQUIRED FOR ACTIVITIES INVOLVING SPECIMEN TREES AS REQUIRED BY CITY.

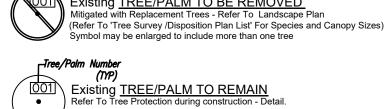
City of Hallandale Beach, Fl.

-Replacement trees shall be Florida No. 1 quality or better. The diameter of the replacement tree shall be equal to or greater than the diameter of the trees being removed. More than one tree may be utilized for replacement if the aggregate sum of the diameters of the replacement trees is equal to or greater than the diameter of the trees being removed. Each replacement tree shall have the largest diameter commercially available in Dade, Broward and Palm Beach counties for the tree species selected, provided that no replacement tree shall have a diameter of less than three inches. Diameter measurements shall be made at four and one-half feet above the ground. -DBH equal to or greater. -3" min. dbh on replacement trees.

Tree replacement for specimen trees. A tree appraisal will be performed by the city to determine the dollar value of any specimen tree approved by the city for removal pursuant to subsection (d) of this section. This appraisal shall be pursuant to the "Guide for Plant Appraisal, Eighth Edition," as amended by the Council of Tree and Landscape Appraisers.

TREE DISPOSITION LEGEND:

OO1 —Tree/Palm Number (TYP) Existing TREE/PALM TO BE RELOCATED
Refer To Landscape Plan for new location (All Sabal Palms on site in conflict with proposed development will be relocated) Whether noted on plans or not. Symbol may be enlarged to include more than one tree



(Refer To 'Tree Survey /Disposition Plan List' For Species

City of Hallandale Beach, Fl.

TREE PROTECTION DURING CONSTRUCTION:

a. Place and maintain protective barriers around the dripline of all trees to be retained on the site to prevent their destruction or damage. The protective barriers shall be conspicuous enough and high enough to be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy material (not flagging or ribbons). b. Not store or use materials or equipment within the dripline of any tree to be retained on the site unless the activity is being done to protect trees.

and Canopy Sizes) Symbol may be enlarged to include more than one tree

c. Not discharge or contaminate the soil within the dripline of any tree to be retained on the site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts. d. Clearing of vegetation within the dripline of trees designated for preservation shall only be by hand or light rubber-wheeled equipment that will not damage tree roots.

e. Utilize retaining walls and drywells where needed to protect trees to be preserved from severe grade changes.

f. Pruning of trees to be preserved shall be in accordance with the standards for pruning established by the National Arborist Association or standards for palm pruning as listed in "Arboriculture Second Edition" by Richard W. Harris, as amended. g. Make no attachments, other than those of a protective and nondamaging nature, to any tree to be

retained on the site. h. Not change the natural grade above the root system within the dripline of any tree to be retained on the site unless it can be demonstrated to the city that it will not damage any tree. i. Avoid any encroachments, excavations or severe grade changes within the dripline of preserved trees unless it can be demonstrated to the city that it will not impact any tree. j. Any trees designated to be preserved which are damaged during construction shall promptly be

- (no vehicular traffic or construction storage within protected area) Existing tree or palm to remain to be protected. Refer to planting plans - Fence shall be located min. 12" beyond Canopy Drip line projection. Trees that have more than 15" DBH , must have 8" of Tree Protection Zone (TPZ) for every 1" of tree DBH. More Protection may be deemed necessary for large specimen trees per Arborist / s rea'd - max 10' o.c. Landscape Inspector direction 2" x 4" p.t. or termite treated wood posts and frame extend 2' minimum below grade Maintain posts vertical if terrain is sloped existing grade meeting root collar to be preserved · "Tenax" or similar plastic orange construction fence attached to wood posts forming continuos barrier around tree or palm to be protected. Posts to be driven into ground avoiding primary horizontal roots Existing root zone to be protected

TEMPORARY FENCE TO REMAIN DURING CONSTRUCTION AND TO BE REMOVED AFTER CONSTRUCTION AND CLEAN UP COMPLETION

TREE PROTECTION ZONE (TPZ) Not To Scale FOR EXISTING TREES TO REMAIN ADJACENT TO CONSTRUCTION

- 2" x 4" p.t. or termite treated

Rebar in asphalt areas or as

wood posts and frame. Use #3

reguired Tenax or similar plastic orange construction fence attached to wood posts and frame forming

continuos barrier around tree or

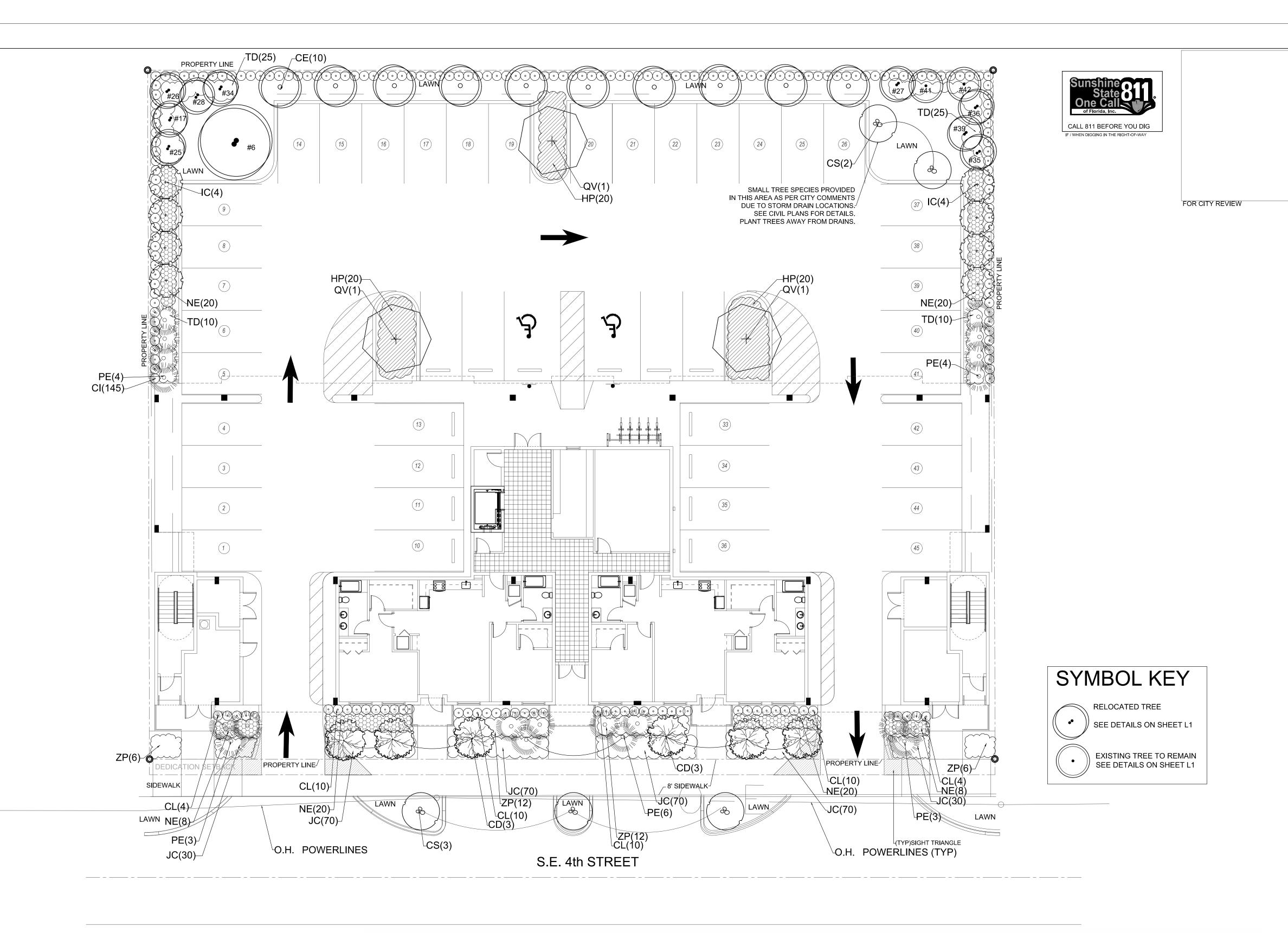
existing tree or palm to remain

(protected during construction)

palm to be protected.

-drip line





Plant Schedule

Site in sqft.	26.200 of		
Site in Sqit.	26,389 sf		
	Required	Provided	
SubDistrict: Transit corridor			
% of landscape	1,319.5	4,232	
1 tree per 1500 sqft.			
mitigation caliper/palms	275	175	
Trees		~~	(#5)
Street Trees	5	3	
Site Trees	18	*37	
Total Site Trees (Site+street)	23	42	
Tree Diversity	3	5	
Drought tolerant trees	50%	100%	
Native Trees	50%	99%	
Turf Max 70%	Max sqft. 923.7	sqft. 900	
Hedges/Plants Drought tolerant	30%	1	

Plant Schedule	•															
Trees	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Specifications	Credit Equiv.	Notes			7		
QV		3 Quercus virginiana	Live Oak	3"	FL #1 or Better	15' STD	HIGH	X	3" cal, stem up 4', fg	3		,				
C		8 Itex casine	Dahoon Holly	3"	FL #1 or Better	15' STD	HIGH	X	3" cal., fg	8	\\(#5					
CS		5 Conocarpus erectus 'Sericeus'	Silver Buttonwood	3"	FL #1 or Better	12' STD	HIGH	X	2" cal., STD, 4.5' ct., fg	3	Street Tre	es(Overhead w	ires)			
CE		10 Conocarpus erectus	Green Buttonwood	3"	FL #1 or Better	15' STD	HIGH	X	3" cal. , fg	10	3					
CD		6 Coccoloba diversifolia	Pigeon Plum	3"	FL #1 or Better	15' STD	HIGH	х	3" cal. , fg	6						_
Palms	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Specifications		Notes					
PE	-	20 Ptychosperma elegans	Alexander Palm	FG	FL #1 or Better	15' OA	HIGH		8' ct min, matched hts.	10						
																-
Shrubs	Qty	Botanical name	Common Name	Size	Quality	Height at planting	Drought	Native	Specifications		Notes	10	- H			
CI	-	145 Chrysobalanus icaco	Red Tip Cocoplum	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc							
CL.		48 Clusia rosea	Clusia	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc							
HP		60 Hamelia patens	Fire Bush	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc							
ΓD		70 Tripsacum dactyloides	Fakahatchee	3gat		24"	HIGH	X	24"ht x 24" spr., 2' oc							
ZP		36 Zamia pumila	Coontie	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc							
IC		340 Juniperus chinensis 'Parsonii'	Juniper Parson	1gal		12"	MEDIUM		12" ht, 1 gal. Full, 12" oc							
NE		96 Nephrolepis exaltata	Boston Fern	3gal		18"	HIGH	Х	18" ht x 18" spr., 18" oc							-
Ground Cover	Qty Sc	Ft Botanical name	Common Name			1										
SOD	The Part of the Pa	900 Stenotaphrum secundatum 'Florat	ta St. Augustine 'Flora	stam'												



Copyright 2019 © By: CCA Design + Arch, LLC

CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469



FL LICENSE #LA6667045

LANDSTONE DESIGNTEL. 818-856-9556

LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305.778.7136

OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

NO. DRAWING ISSUE

#1 rev. per comments 6/19/2020 #2 rev. per site/ comments 9/18/20 #3 rev. per site/ comments 10/2/20 #4 rev. per city chart 12/10/20 #5 rev. per street tree # 01/28/21

> LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

PROJECT INFO:

LANDSCAPE PLAN

DRAWING INFO:

NOTE:
WHITTH DIVINGOUS SIME MAIL PROCEDUAL OVER SOMED EMPIRIONS.
CON RECIONS SIME VEH 1, AND BE NEED WITH THE THE ALL DIVINGOUS
AND CONTRIBUTE OF THE OTHER WITH SHAPE AND SHAPE OF HER CHARLY
VARANDOUS FROM THE CIMENSICNS AND CONDITIONS SHOWN BY THESE
STONERS SIME SUBJECT OF SHAPE OF THE CONTRIBUTE O

 Project number
 03-27-2020

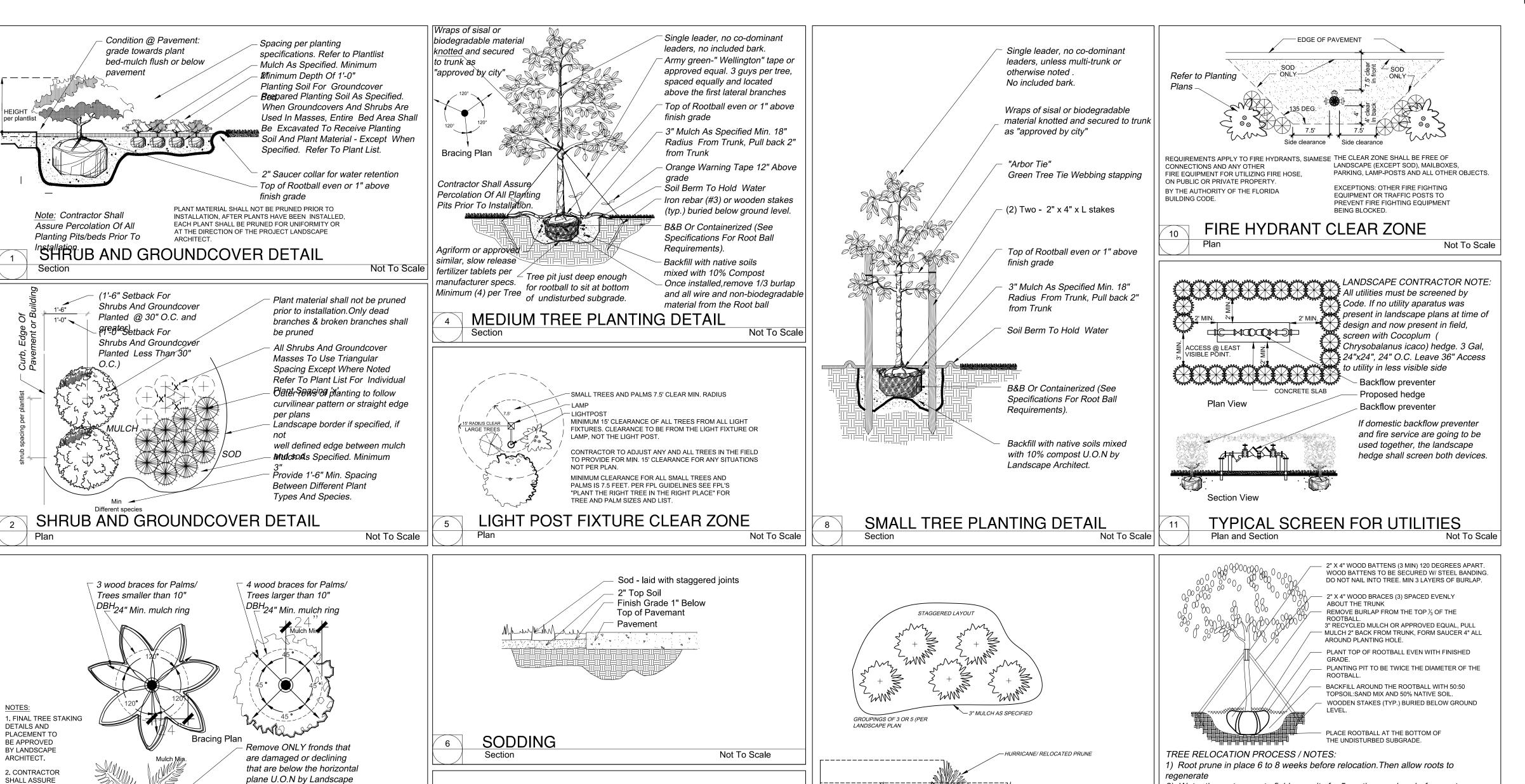
 Drawn by
 FP

 Scale
 3/32" = 1'-0"

LANDSCAPE PLAN







Existing tree in parking lot

landscape island to remain.

through broken curb or that

have migrated to asphalt

done by an experienced

Prune roots that have protruded

surface. Root punning shall be

landscape crew supervised by

ISA Certified Arborist and not

totaling more than 30% of root

system of tree I'll the compacted soil and provide

cypress and shall not be dyed red

3" Organic Mulch . Pull back 2"

from Trunk. Mulch shall not be

Root pruning to allow for root

replaced as required for a totally

Provide 18" deep root Bio-barrier

along inside perimeter (back of

curb) of landscape islands.Tuck

Bio-barrier under at least 3" under

Not To Scale

FINISHED -GRADE

PLANT NO DEEPER THAN-

ORIGINAL SETTING

RELOCATED SABAL PALM GROUPING

bio-barrier placement

parking lot appearance

renovated

No more than 25%

ROOT PRUNE DETAIL

Section - Existing Tree

removal on one side alone

Existing "D" concrete curb,

PERCOLATION OF

INSTALLATION.

ALL PLANTING PITS

Agriform or approved

similar, slow release

fertilizer tablets per

manufacturer specs

Minimum (4) per Tree

Section

(6) 2"x4"x8"L Wood

Steel bands

protect Trunk

10" DBH

hold water

LARGE TREE / LARGE PALM DETAIL

Battons secured with (2)

(4) Layers of Burlap to

Mulch as specified (3" deep),

2" away from Trunk forming

Finish grade - see grading plan

24" radius all around.

or meet existing grade

Continuos soil berm to

2" x 4" Stakes firmly

driven into undisturbed

ground, nailed to wood

Backfill with native soils

mixed with 10% compost

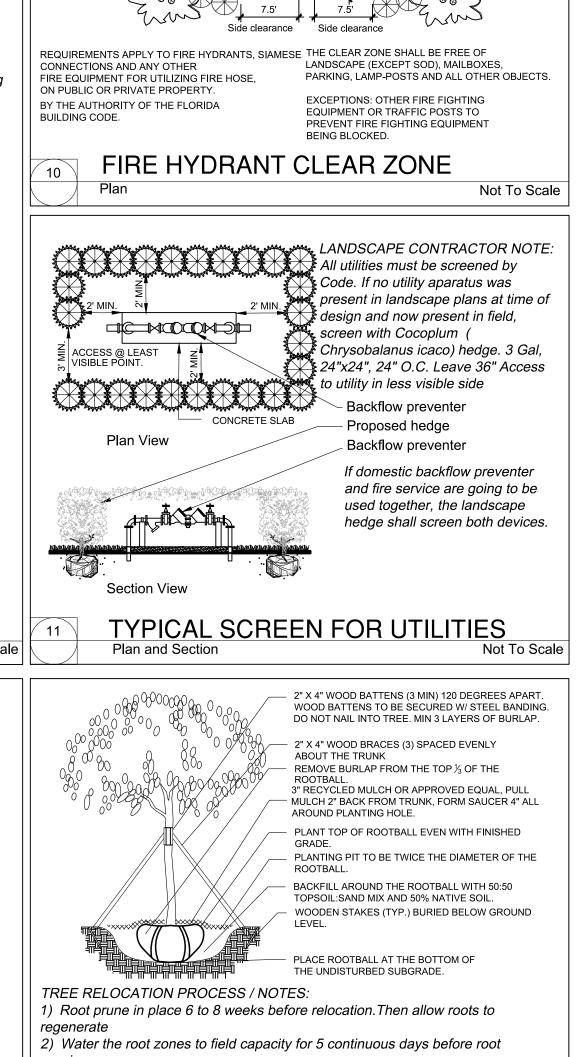
U.O.N by Landscape

(3) 2" X 4" Wood Braces. Nail To Battons

(DO NOT PIERCE TRUNK) and to 2" x 4"

Stakes. Use 4 Braces for trees/palms over

Not To Scale



3) Root prune with proper equipment to sever roots, ensure roots are not torn or

trench at the outer edge of the rootball (Size determined

SABAL PALMS TO BE BOOTED UNLES OTHERWISE NOTED. (SABALS TH ARE "SLICK" ONSITE SHALL BE GROUPED WITH OTHER "SLICK" PALMS TO BE RELOCATED

5 - 2"x4"x18" WOOD BATTENS.

LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR

2"x4"x24" WOOD STAKE REMAINING 3" ABOVE GRADE

BACK FILL AROUND ROOT BALL WITH

SIZE OF ROOT BALL WILL BE IN PROPORTION
TO SIZE AND TYPE OF PALM IN RELATION TO
SOUND NURSERY PRACTICE
PLACE ROOT BALL AT BOTTOM OF PLANTING
PIT ON 4"-6" LAYER OF COMPACTED
STANDARD PLANTING MIXTURE.

AIR POCKETS. PLANT ROOT BALL OF SABAL PALMS 2"-3"

pulled apart. With hand tools, dig a 2'-0" wide by 3'-0" deep

below))or as determined by the Arborist on site. Cut all roots

within 4 hours of digging, with a 1:1 mixture of site soil and

36 inches by 18 inches deep for trees from 5 to 18 inch caliper; and

9) Add Agriform Fertilization tablets or similar per manufacturer recommendation

11) Water to eliminate air pockets with water hose application of flood watering.

TREE RELOCATION DETAIL / NOTES

Not To Scale

12) Post transplant watering to be daily for the first two weeks and later on

and cables for attachment to the crane or backhoe. The

determine the size of machinery necessary to execute the

7)At the direction of a professional rigger, assemble slings,

.5" and larger in diameter with a clean, sharp pruning saw.

Treat all cuts with a fungicidal barrier, backfill the trench,

sawdust or other fine organic material. Do not compact.

24 inches by 12 inches deep for trees less than 5 inch caliper;

48 inches by 24 inches deep for trees over 18 inch caliper.

Transplant operations to be supervised by an ISA certified arborist.

8) Transplanting hole to be at least 2' larger than the rootball

according to pruned tree size, but no less than 4 tablets.

sufficient to avoid root desiccation and support new growth.

Section - Relocation Trees only - If applicable

10) Set the tree no deeper than its original condition.

4) Form a rootball of the following minimum sizes:

padding, guiding ropes

ifting and moving

rofessional rigger shall



CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469 ÄLA 6667045 STATE DERICK LANGEL LANDSCAPEARCHITECT

L A N D S T O N E D E S I G N TEL. 818-856-9556 LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305.778.7136 DWNER: LEISURE APARTMENTS INC

FL LICENSE #LA6667045

215 SE 4TH ST HALLANDALE, FL 33009 DRAWING ISSUE

S ACH, മ LEISU PARTN 215 SE 47 LANDALE

<u>ַ</u>

PROJECT INFO:

DRAWING INFO: Project number 03-27-2020 FΡ Drawn by

L-3

N.T.S.

Scale

PLANTING DETAILS



GENERAL LANDSCAPE NOTES:

A. SCOPE

1. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.

B. BIDDING

- 1. See typical planting details sheet for additional planting details and
- 2. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting his bid. Planting plan to take precedence over plant list. 3. Pre-inspections of site required prior to bidding.
- 4. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and plant list the quantities on the plan shall be held valid.
- 5. All labor and material for soil amendments and fertilizer that is required to insure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material, shall be included in the contractor's bid to perform the work represented in this plan set. 6. Bid shall be itemized for possible value engineering.
- 7. Sod shall include price per square foot.

C. GENERAL LANDSCAPE NOTES

- 1. All landscaping shall be installed according to sound nursery practices. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground. A layer of mulch to a minimum depth of three inches shall be installed in plant beds and around individual trees in turf
- 2. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen.
- 3. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.
- 4. Where there is a discrepancy either in quantities, plant names or specifications between the plan & or plant list, the plan takes
- 5. The Landscape Contractor shall exercise caution to protect all existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the
- 6. Tree, palm, accent and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to installation. 7. All trees must be pruned as per landscape architect's direction.

- 1. Contractor(s) must obtain separate landscape, irrigation & tree elocation/removal permits from the city prior to the issuance of the first building permit for the project.
- 2. Landscape contractor to call the city Landscape Inspector to schedule a pre-construction meeting prior to installation if required.

E. TREE REMOVAL

1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit.

F. EXISTING TREES & RELOCATION

- 1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs scarred or destroyed designated to remain will be replaced at the contractor's expense, with same species, size and quality.
- 2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees & plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight,
- maintained and irrigated until new location is determined. 3. Prune trees to remove damaged branches, improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.
- 4. Prune existing shrubs to remove damaged branches & improve natural shape.
- 5. Existing trees to remain shall be trimmed per Ansi—A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to insure quality work.
- 6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use
- 7. Prune trees as required / Indicated in walk—through to provide sunlight filtering.
- 8. The plans call for relocation of several plants. High level of care should be exercised to assure that plants are not damaged or traumatized in the process and that they are promptly replanted upon being dug up.

G. SITE PREPARATION & GRADING

- 1. Landscape contractor shall loosen & till compacted soils in entire 52 avenue side of front yard and in all other planting areas of the project to provide for proper soil aeration for plant establishment. 2. Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and
- adjacent to pavement. Plant area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be removed and replaced with native soil having a ph range of 6.5 -7.5, or modified as approved by Landscape Architect. 3. Site preparation shall include the eradication & removal of any
- weeds, clean—up of any dead material, debris, and rubbish. 4. General site and berm grading to ± -1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the Landscape
- 5. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All lime rock shall be removed/cleaned down to the native soils.
- 6. The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. Grade shall be per plans, if not indicated, in any event drainage shall be directed away

- from structures U.O.N.
- 7. Site preparation shall include the eradication and removal of any weeds, clean—up of any dead material and finish grading as per
- 8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade.
- 9. Final grade within planting areas to be 2" below adjacent paved areas or top of curb.
- 10. All planting beds shall be shaped and sloped to provide proper drainage.

- 1. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds
- 2. Landscape contractor to retro—fit automatic lawn irrigation system quaranteeing 100% coverage & maintain a 50% min. overlap to all andscaped areas. There shall be no over spray onto sidewalks.
- 3. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his expense. Water for plant establishment should be included in the cost of the plant. 4. All guidelines as outlined by the South Florida Water Management
- District (SWFMD) or water management district with jurisdiction shall be strictly adhered.
- 5. Existing irrigation system shall be retrofitted to comply with those specifications as outlined above.

I. HARDSCAPE & OTHER MATERIALS

1. Face of trees and palms to be located a minimum of 2' - 0''setback from all walkways, walls, and paved surfaces, unless otherwise indicated on the plans.

J. UTILITIES/CLEARANCES

- 1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. 2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape architect
- 3. All shade trees to be planted min. of 15' from light poles. Unless otherwise approved in writing by Landscape architect and Owner.
- 4. Landscape contractor shall contact the county, city and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.
- 5. All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions.
- 6. If / When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the City's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
- 7. Above & below ground utilities shall be verified & located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans & confirm conflicts between indicated or located utilities & landscape work. The contractor shall then notify the Project Engineer of said conflicts & the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will be adjusted as necessary when in conflict with existing utilities.
- 8. The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done
- 9. Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.
- 10. Root barriers shall be installed where required by local utility company or other regulating agencies. 11. If / clearance and access shall be provided around all above
- ground or at grade meters and equipment. 12. Landscape planting shall be in conformance with FPL guidelines for
- setbacks from overhead utility lines. 13. Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring the attention of Landscape Architect any conflicts.

K. LANDSCAPE BACKFILL & SOIL AMENDMENT

- 1. 6" top soil required around & beneath all root ball. 2. All building construction material and foreign material shall be removed from the planting areas and void replaced with 50/50 mix fill soil or as per specifications on plans.
- 3. Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
- 4. Planting soil to be weed free.

Groundcover planting beds: 6" depth planting soil spread in place — throughout.

Shrub and hedge planting areas: 12" depth planting soil spread in place — throughout.

Trees, palms, specimen plant material: 30" depth planting soil spread in place -or- to the depth of the root ball or container, whichever is greatest,

Building foundations shall be the same for a width of 36" from the

6. Do not allow air pockets to form when backfilling. All trees shall be

spiked in utilizing water and a tree bar.

- 1. Plant material shall conform to the standards for grade # 1 or better as given in the latest grades and standards for nursery plants, parts i and ii by the Florida Department of Agriculture and consumer services or to the standards as given in the latest American Standard for Nursery Stock by the American National Standard Institute.
- heights at the time of planting. 3. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size spread if both specifications given and

2. All perimeter hedge material shall meet the minimum specified

- cannot be met 4. All sizes shown for plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. All trees to be single trunked, unless
- otherwise noted on the plans. 5. All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be
- 6. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".
- 7. All plant material must meet or exceed the minimum size requirements as specified on the plant list.
- 8. All substitutions must be approved by the Architect and Owner. 9. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 & 2 latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the landscape architect. The plants furnished shall be normal for the variety and Florida number 1. Plants shall be pruned prior to
- delivery only upon the approval of the Landscape Architect. 10. All containers grown material shall be healthy, vigorous, well—rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold
- together when removed from the container. 11. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting
- 12. Root suckers on any tree are not acceptable and must be properly
- 13. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than 6 feet in height.

M. PLANTING NOTES

- 1. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back filled.
- 2. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design. 3. Set trees no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/-1)
- than the finished grade. 4. All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the root balls before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.
- 5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding
- 6. All trees and palms shall be staked per accepted standards by the Florida Nurserymen & Growers Association (FNGA) Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details. 7. The location of plants, as shown on the plans, is approximate. The
- final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance
- in writing by the Landscape Architect and owner. 8. All trees, new or relocated, to be staked and guyed as detailed. 9. Layout shrubs to create a continuous smooth front line and fill in
- 10. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1'-0" wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of
- excavation. Apply 3" of mulch. 12. Groundcover and shrubs to be spaced in a uniform and consistent
- 13. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs. 14. Contractor shall not mark or scar trunks in any fashion.

4. All areas disturbed during construction shall be sodded with St. Augustine 'Floratam' unless otherwise noted. Landscape Contractor

to supply & install 2" soil layer 50/50 mix blanket for all new sod

- 5. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All s.f. if noted shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be R. WATERING
- damaged during construction. 6. Sod shall be of the species indicated on the plans (St. Augustine "Floratam" if not indicated, strongly rooted, free from weed, fungus, insects and disease. Contractor shall sod all areas as indicated on the plans or as directed. Contractor shall be paid by the total
- sodded area x the unit price submitted (field verified). 7. Sod type specified on plant list shall be machine stripped no more
- than 24 hours prior to laying. 8. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.

O. INSPECTION & ACCEPTANCE

- 1. A mandatory inspection of the planting bed layout is required before planting.
- 2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection & approval by the Landscape Architect prior to final installation.
- 3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall insure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation | T. MAINTENANCE installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.

4. Upon completion of the work, the Landscape Contractor shall

- notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape 5. No substitution of plant material, type or sizes will be permitted
- without prior written authorization from the Landscape Architect 6. To obtain final payment, Contractor must provide release of all mechanic's liens and materiel men's liens.

- 1. All landscape materials shall be fertilized upon installation. See
- 2. Fertilizer in backfill mixture for all plants shall consist of Milorganite activated sludge mixed with the backfill at a rate of not less than
- 50 lbs. per cubic yard. 3. Fertilizer for trees and shrubs may be tablet form or granular. Granular fertilizer shall be uniform in composition, dry and free-flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the manufacturer's statement of analysis, and shall meet the following minimum requirements: 16% nitrogen, 7% phosphorus, 12% potassium, plus iron. Tablet fertilizer (agriform or equal) in 21 gram size shall be applied at the following rates

16-7-12 agriform tablets (21 grams) 1/4 lb. 3 gal. 1/3 lb. 7—15 gal. 1/2 lb. 1"-6" caliper 2 lbs. /1" caliper 2 per 1" caliper 3 lbs. /1" caliper 6" and larger

4. "Florida east coast palm special" shall be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk unless otherwise specified.

2 per 1" caliper

- 1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental
- 2. Shredded approved organic mulch to be used beyond trunk in all directions & throughout all hedges & plant material. 3. All trees in sodded areas shall have a clean cut 4' diameter mulch
- ring. Cypress, red, gold and green mulch is prohibited. 4. All proposed trees located within grassed areas shall have a minimum three foot mulch ring with a three inch separation from the trunk of the tree.

All plant material shall be watered in thoroughly at the It is the sole responsibility of the Landscape Contractor to insure that all new plantings receive adequate water during the installation and until completion of contract. Deep

required to augment natural rainfall and site irrigation s mandatory to insure proper plant development and shall be provided by Contractor as a part of this contract.

landscape planting areas until final acceptance of the owner. The contractor is responsible for mowing the entire project establishment periods, based on mowing project once a

month from October to April, & twice a month from April to October. 3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work

4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste materials or debris caused by his crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials,

- 5% of payment to ensure compliance. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of
- 3. Trees and shrubs shall be maintained to keep clearance of stop signs, safety clearance for visibility at intersection traffic.
- U. GUARANTEE & REPLACEMENT

by Owner in writing in advance.

- 1. Contractor shall be responsible for obtaining and cost of all
- 3. All work to be done in a professional and workmanlike manner. 4. Contractor understands that an important element of the design of this project is symmetry and shall use care and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with

watering of all new trees and palms and any supplemental watering that may be

The Landscape Contractor is responsible for maintaining all

debris, unused plant material, empty plant containers, and all equipment from the

- Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain
- contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective
- 1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and workmanship for a period of not less than ninety (180) days from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such 180 days with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by

- 2. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as workmen's
- Architect and/or Owner.

notes, the terms of this document shall control.

5. No change order shall be valid, due or paid unless it is approved

6. These notes shall be an integral part of the contract of Contractor

and shall be deemed incorporated therein by reference. In the

event of a conflict among the terms among the plans and these

PROJECT INFO:

O Ž

DRAWING	INFO
DIVIVIII	

Project number 03-27-2020 FΡ N.T.S.

PLANTING NOTES

ÄLA 6667045 STATE DERICK LANGEL LANDSCAPE ARCHITECT FL LICENSE #LA6667045 LANDSTONE DESIGN TEL 818-856-9556 ANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305.778.7136

Copyright 2019 © By: CCA Design + Arch, LLC

CENTER FOR

COLLABORATIVE

ARCHITECTURE

1424 SW 23 St, Miami, FL 33145

Ph: 786-487-3724

Email: general @ccadesign.net

JORGE CASTRO-CALOU - AR97469

DWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE, FL 33009

DRAWING ISSUE

2

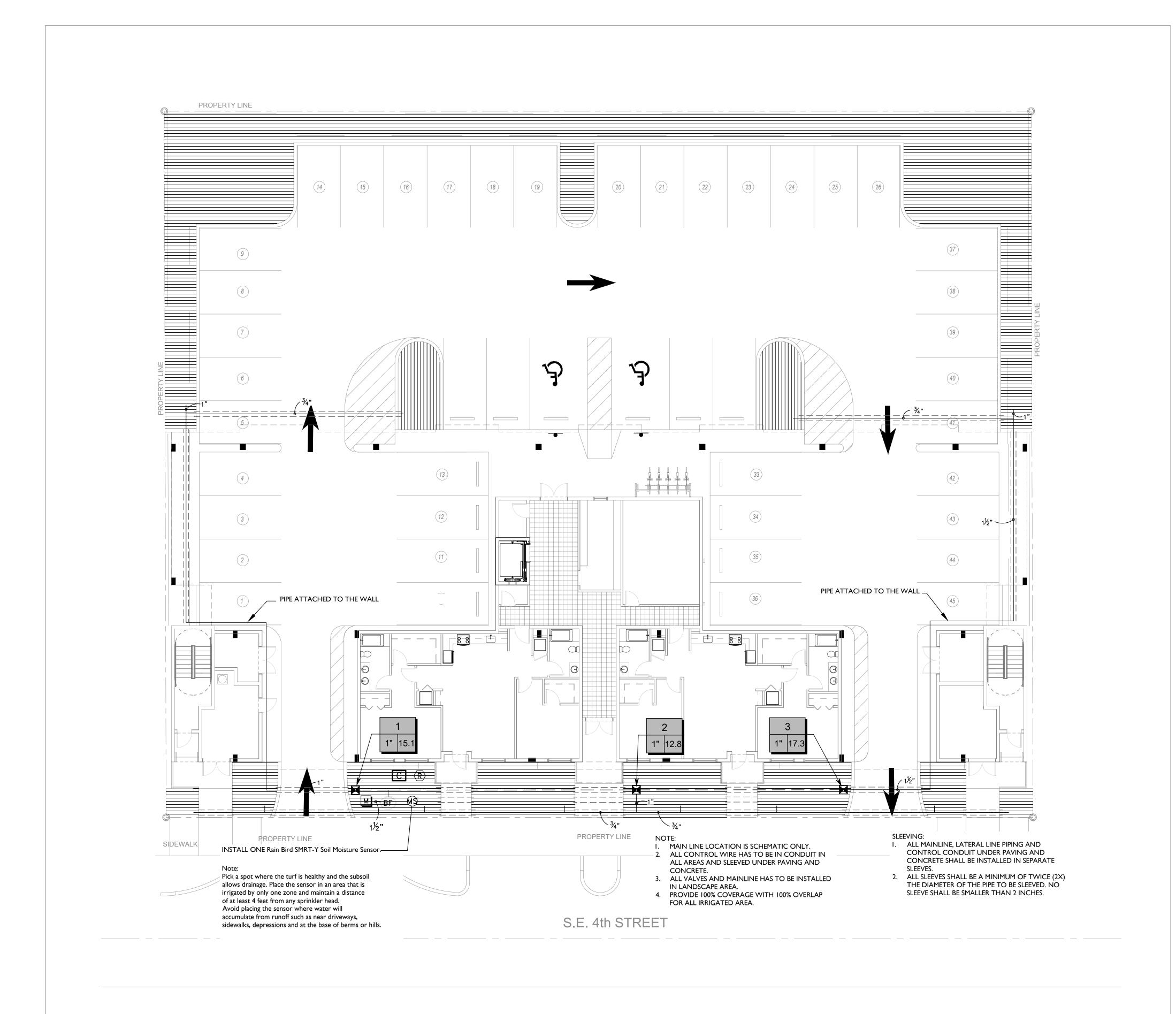
ST, ST, SO

SUR TME E 4TH S ALE BF IDA 330

LEISI ARTI 215 SE 4 LANDAL -LORIDA

 \sim

D



Copyright 2019

By: CCA Design + Arch, LLC

FOR CITY REVIEW

CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL:

JORGE CASTRO-CALOU - AR97469

Damian Gonzalez PE. PH: (305) 726-5669 P.E No.63910

LEISURE APARTMENTS INC 215 SE 4TH ST

DRAWING ISSUE DATE

PERMIT SET ISSUE 12-16-20

LEISURE HALLANDALE BEACH

APARTMENTS
215 SE 4TH ST,
HALLANDALE BEACH,
FLORIDA 33009

PROJECT INFO:

IRRIGATION PLAN HEAD LAYOUT

IRRIGATION CONSULTANT:



4437 W FLAGLER ST SUITE #8 CORAL GABLES, FL. 33134 V:(786)220-0083 F:(866)326-7843

services@consultingables.com



DRAWING INFO:

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS
AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTHIED OF ANY
VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE
DRAWINGS.
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE

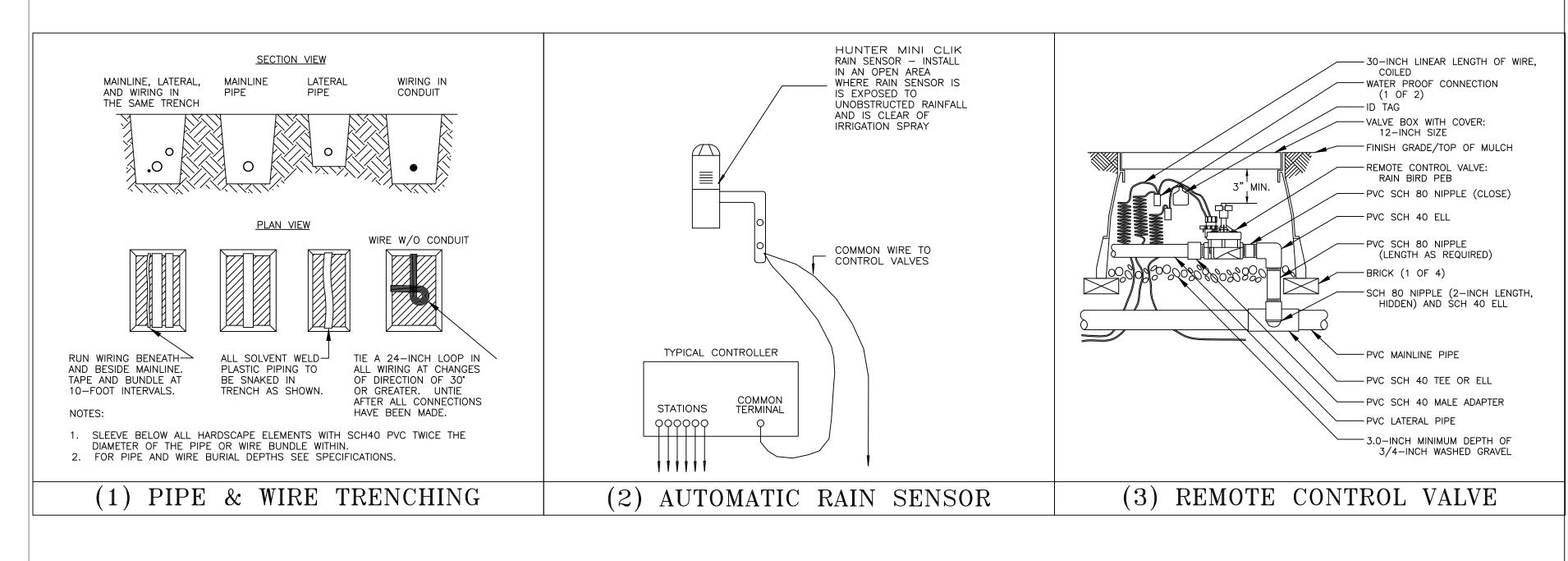
 Project number
 04-15-2020

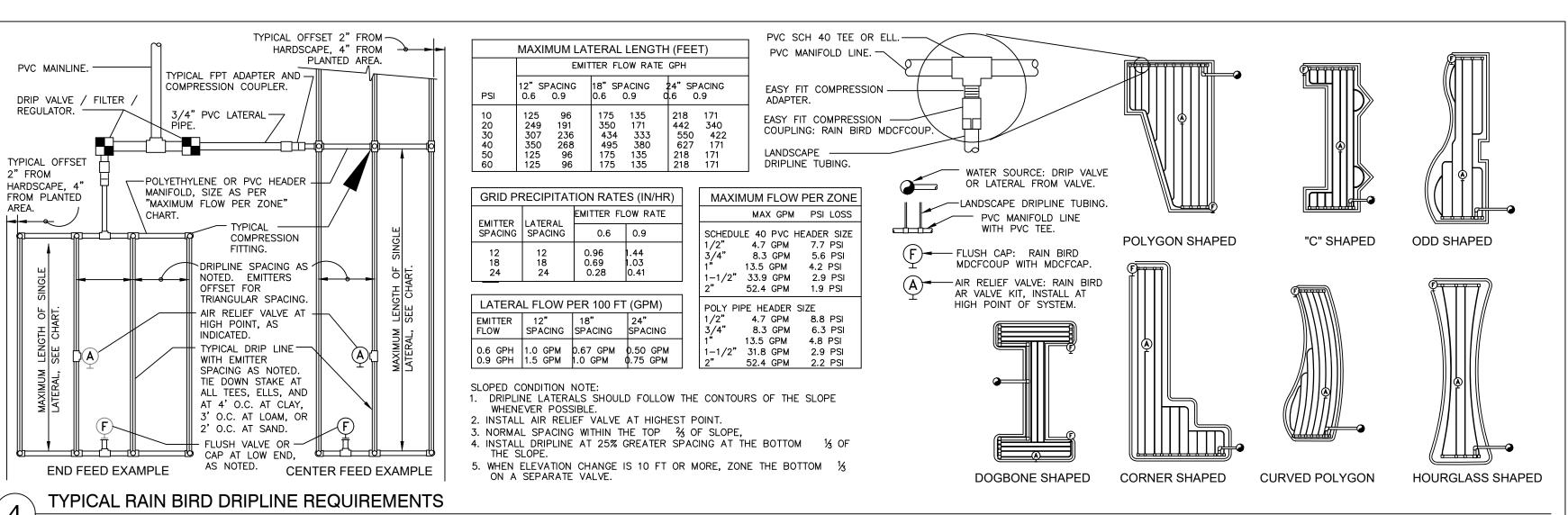
 Drawn by
 DG

 Scale
 3/32" = 1'-0"

IP-100
IRRIGATION PLAN





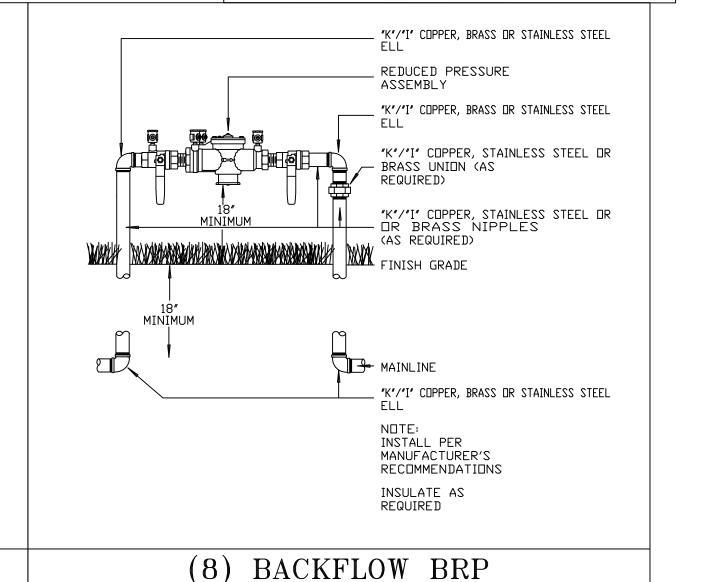


CONTRACTOR MUST COMPLY WITH FLORIDA BUILDING CODE AMENDED

NO PRODUCT SUBSTITUTIONS OR CHANGES WILL BE ALLOWED WITHOUT THE EXPESSED WRITTEN CONSENT OF THE OWNER AND THE IRRIGATION CONSULTANT.

GENERAL NOTES

- . All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
- . Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- 3. Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- 4. Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized
- . 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to
- 6. All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 7. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- 8. This design is diagramatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where
- $^{9}\cdot$ It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- 10. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- 11. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- 12. The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
- 13. The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
- 14. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers. All shall be marked indicating controller and station numbers for control valve boxes and/or titled in the equipment legend with 1" white heat braided letters.
- 15. All control wires shall be installed in PVC conduit, min #14 AWG.
- 16. Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
- ^{17.} Contractor to provide owner with post construction documentation, including as—built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting methods for decreasing water once landscape is established, water source and shutoff method and all operational guides for
- 18. A map of the system shall be kept in a readily available location with details for operation.
- 19. If the water supply for irrigation system is a well water, a constant pressure flow control device of pressure tank is required to minimize pump "cycling".
- 20. Check valves must be installed at irrigation heads as needed to prevent low head drainage and pudding. Nozzle precipitation rates for all heads within each valve circuit must be matched to within 20% of one another.



TEE

- CONCRETE THRUST BLOCK

UNDISTURBED SOIL (TYPICAL)

- REBAR BENT AROUND FITTING (TYPICAL)

- FITTING (TYPICAL)

45° ELL

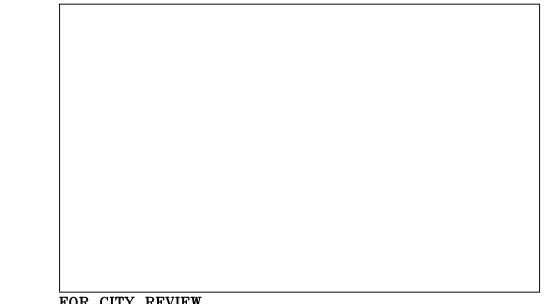
1. SUPPLY LINES 3-INCHES IN DIAMETER AND

(7) THRUST BLOCKS

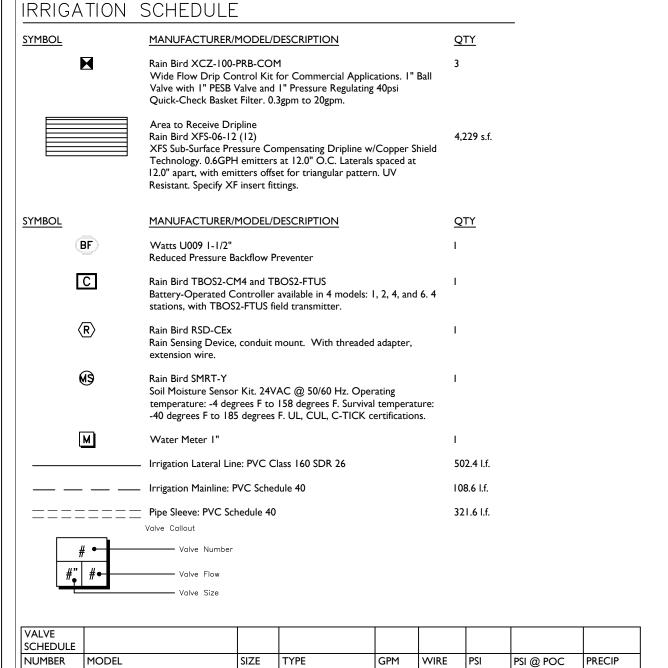
2. SEE SPECIFICATIONS FOR AMOUNT OF

LARGER SHALL RECEIVE CONCRETE THRUST

CONCRETE TO BE USED FOR THRUST BLOCK.



FOR CITY REVIEW



Area for Dripline

Rain Bird XCZ-100-PRB-COM

Rain Bird XCZ-100-PRB-COM

Rain Bird XCZ-100-PRB-COM

Rain Bird XCZ-100-PRB-COM Area for Dripline 1.03 in/h

Rain Bird XCZ-100-PRB-COM Area for Dripline 1.03 in/h

Rain Bird XCZ-100-PRB-COM Area for Dripline 1.03 in/h

Common Wire

WATERING

SCHEDULE



CENTER FOR COLLABORATIVE **ARCHITECTURE**

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469

> Damian Gonzalez PE. PH: (305) 726-5669 P.E No.63910

LEISURE APARTMENTS INC 215 SE 4TH ST

HALLANDALE, FL 33009 DRAWING ISSUE DATE

215 SE 4TH ST HALLANDALE BEACH **FLORIDA 33009**

PROJECT INFO:

IRRIGATION I SCHEDULE & D

IRRIGATION CONSULTANT:

12.85 55.3 31.25 44.48

108.6

Area for Dripline 17.27 98.3 38.06 53.28

1.03 in/h

1.03 in/h

297.6

252.7

339.7

889.9

892.8

758.0

1,019

2,670



CONSULTING GABLES INC. PROFESSIONALISM ON TIME C.A No.28232

4437 W FLAGLER ST SUITE #8 CORAL GABLES, FL. 33134 V:(786)220-0083 F:(866)326-7843

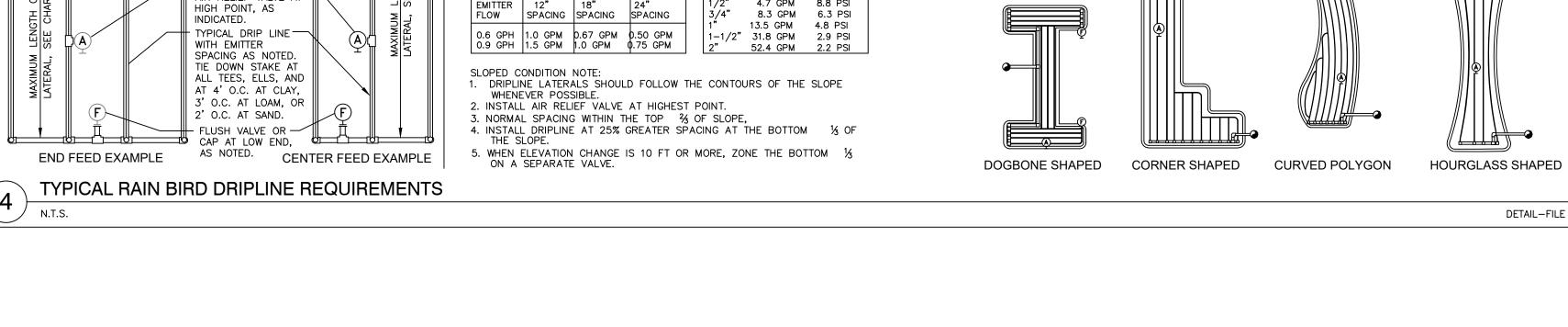
services@consultingables.com

of florida

DRAWING INFO:

Project number 04-15-2020 Drawn by DG Scale 3/32" = 1'-0"

IRRIGATION PLAN



→ /--4" MIN. CLEARANCE

T→PVC CAP (TYPICAL)

ALL PVC IRRIGATION SLEEVES TO BE SCH40 PIPE.

TO 24-INCHES MINIMUM ABOVE FINISH GRADE.

4. MECHANICALLY TAMP TO 95% PROCTOR.

ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.

WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE

(6) SLEEVING

-SLEEVES

24" MIN. TO

FINISH GRADE

36" MAX

(TYPICAL)

45° ELL

NOTES:

BLOCKS.

Depth of coverage per Florida Building

Code amended appendix F

FOR NONTRAFFIC AND NONCULTIVATED AREAS:

FOR VEHICLE TRAFFIC AREAS:

(5) DEPTH OF COVERAGE

Minimum

depth of Cover

6" - 12"

12" - 18"

18" - 24"

24" - 36"

Minimum

depth of Cover

18" - 24"

24" - 30"

30" - 36"

Pipe Diameter

½" through 1 ¼'

1 ½" through 2"

2 ½" through 3"

6" and larger

Pipe Diameter

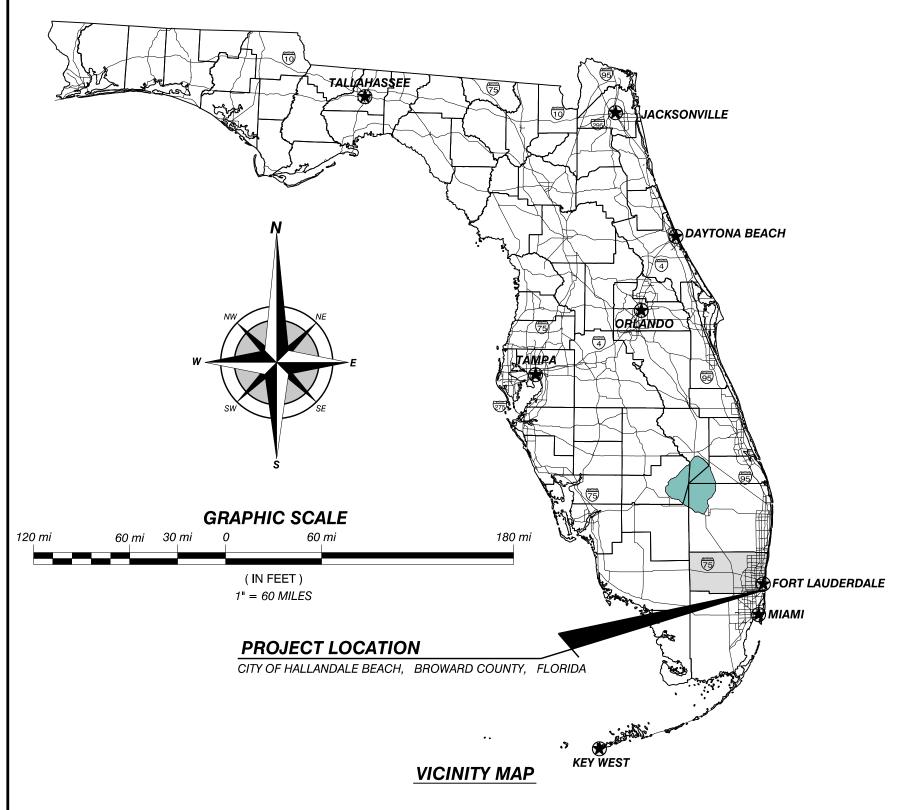
½" through 2½"

3" through 5"

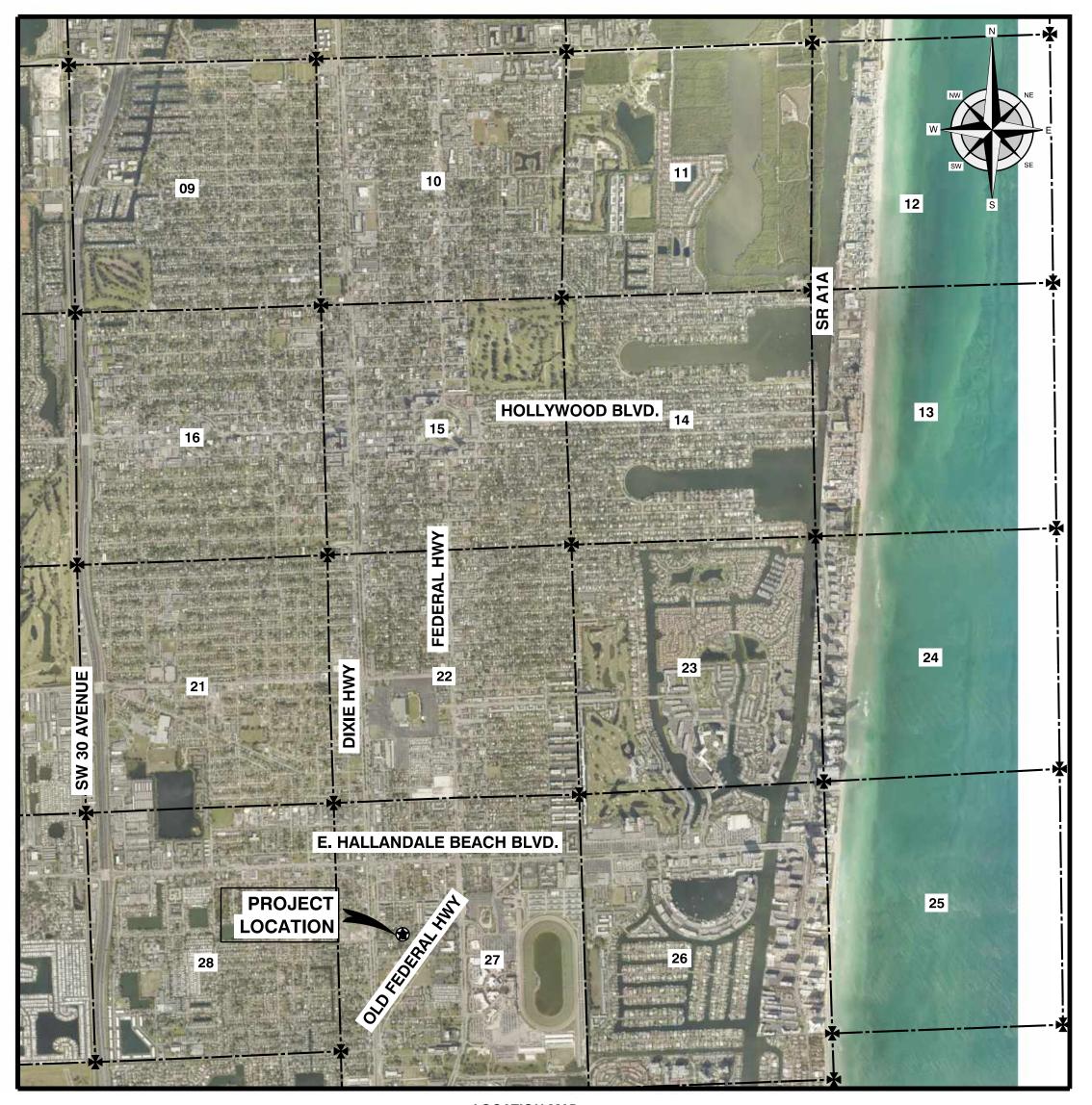
6" and larger

LEISURE APARTMENTS

215 S.E. 4th STREET, HALLANDALE BEACH, FL 33009 CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA LEISURE APARTMENTS, INC.



PROJECT TEAM							
OWNER:	VICTOR E. TAURIZANO						
	LEISURE APARTMENTS, INC.						
	215 SE 4th STREET						
	HALLANDALE BEACH, FL 33009						
	TEL: 305-814-8668						
ARCHITECT:	JORGE CASTRO, RA						
	CCA DESIGN + ARCH, LLC.						
	1424 SW 23rd STREET						
	MIAMI, FL 33145						
	TEL: 786-487-3724						
LANDSCAPE ARCHITECT:	FABIO PEREZ						
	FP DESIGN, LLC.						
	15438 SW 25th TERRACE						
	MIAMI, FL 33185						
	TEL: 305-778-7136						
M.E.P. ENGINEER:	JUAN J. BEDOYA, P.E.						
	B&K ENGINEERING GROUP, LLC.						
	3601 NW 2nd AVENUE						
	BOCA RATON, FL 33431						
	TEL: 561-716-7120						
CIVIL ENGINEER:	WERNER T. VAUGHAN, P.E.						
	WINNINGHAM & FRADLEY, INC.						
	111 NE 44th STREET						
	OAKLAND PARK, FL 33334						
	TEL: 954-771-7440						



LOCATION MAP

SECTIONS 27, TOWNSHIP 51 SOUTH, RANGE 42 EAST

SCALE: 1"= 2000'

(FOR 24" x 36" DRAWING)

SITE PLAN

INDEX TO SHEETS

DESCRIPTION	SHEET NUMBER
SITE PLAN	SP 1 OF 1
CONCEPTUAL DEMOLITION PLAN	DP1 OF 1
CONCEPTUAL PAVING & DRAINAGE SYSTEM - PLAN	PD 1 OF 3
CONCEPTUAL PAVING & DRAINAGE SYSTEM - SECTIONS & DETAILS	PD2 OF 3
CONCEPTUAL PAVING & DRAINAGE SYSTEM - DETAILS	PD 3 OF 3
CONCEPTUAL PAVEMENT MARKINGS & SIGNAGE - PLAN & DETAILS	PM1 OF 1
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - PLAN	WS1 OF 3
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS	WS2 OF 3
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS	WS3 OF 3
TEMPORARY POLLUTION PREVENTION - PLAN	TPP1 OF 3
TEMPORARY POLLUTION PREVENTION - GENERAL NOTES & DETAILS	TPP2 OF 3
TEMPORARY POLLUTION PREVENTION - DETAILS	TPP3 OF 3

LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

GENERAL NOTES:

- 1. ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D.)
- 2. NFFP COMMUNITY NAME: CITY OF HALLANDALE COMMUNITY No.: 125110
- 3. FEMA MAP No.: 12011C0732J FIRM INDEX DATE: 12-31-2019 FLOOD ZONE: AE 6 & X
- 4. REFRENCE BENCHMARK: BROWARD COUNTY BENCHMARK # 3342, ELEVATION = 8.52 (N.G.V.D. 1929).



Printed copies of this document are not considered signed and sealed and must be verified on any electronic copies.

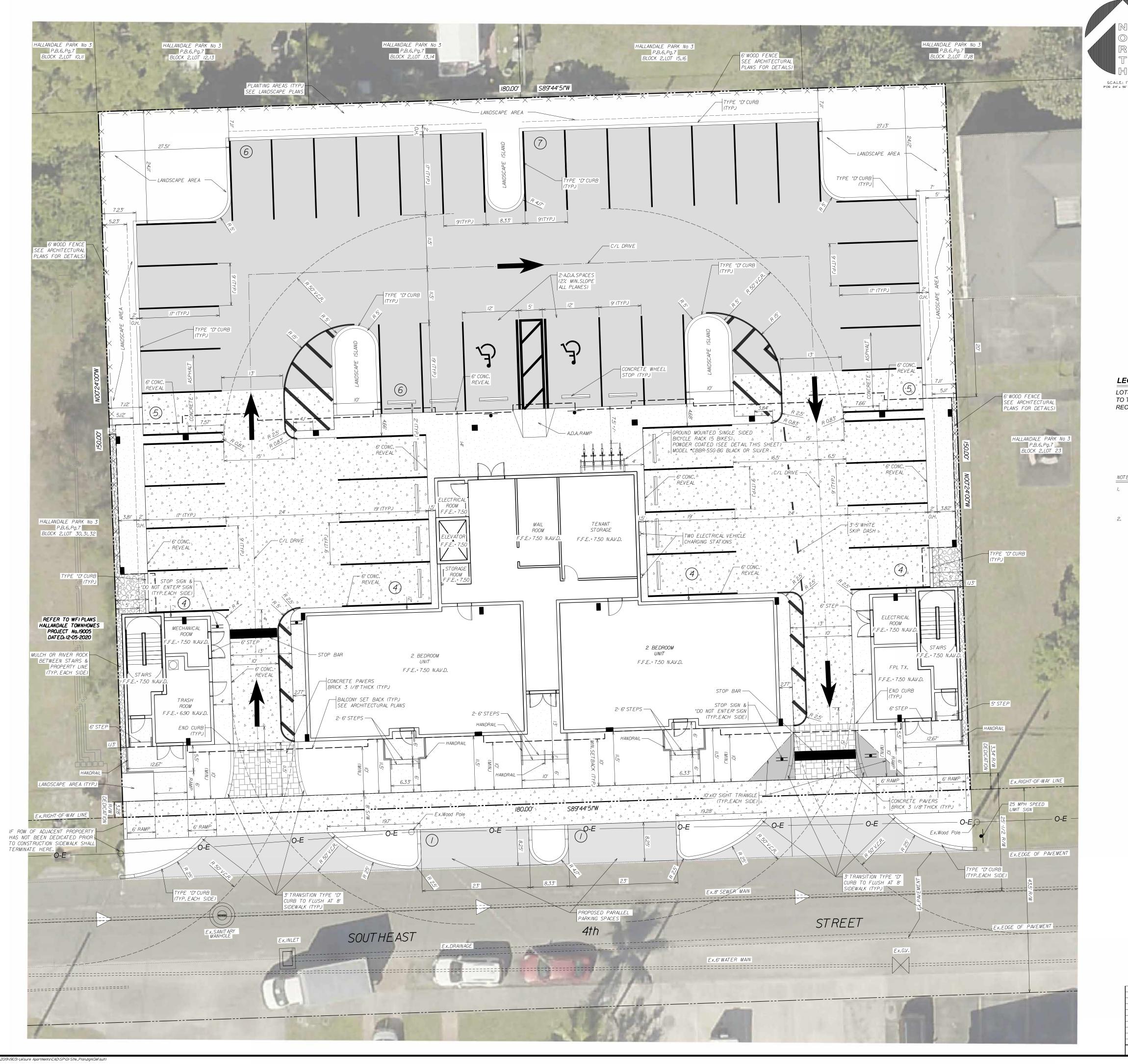






I REVISED PER DRC COMMENTS - Ist SUBMITTAL 06/26/2020

NO. REVISIONS DATE











LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- I. FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING. SPECIFICS ARE IDENTIFIED WITHIN THE D.R.C. RESPONSES (Ist REVIEW) COMMENT NUMBER ONE (1), ENGINEERING DEPARTMENT COMMENTS.
- 2. NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS

AMERICAN DISABILITIES ACT PLAT BOOK R/WRIGHT-OF-WAY F.F.E. FINISHED FLOOR ELEVATION N.A.V.D. NORTH AMERICAN VERTICAL DATUM SIDEWALK OVER HANG B.C.R. BROWARD COUNTY RECORDS RADIUS D.I.P. DUCTILE IRON PIPE TYP.TYPICAL R.C.P. REINFORCED CONCRETE PIPE S.R.C.P. SLOTTED REINFORCED CONCRETE PIPE 0-E OVERHEAD ELECTRICAL V.C.R. VEHICULAR CONTROL RADIUS CHAINLINK FENCE LEGEND PROPOSED ASPHALT PAVEMENT PROPOSED CONCRETE PAVEMENT

ABBREVIATIONS

PROPOSED PAVERS CONCRETE HARDSCAPE SURFACES

MULCH OR RIVER ROCK PROPOSED TYPE "D" CURB PROPOSED ROOF OVERHANG - — — — –

PROPOSED VEHICLE OVERHANG

EXISTING PAVEMENT EXISTING DRAINAGE PIPE EXISITING CURB EXISTING CURB & GUTTER

RIGHT OF WAY LINE SECTION LINE

EASEMENT LINE NUMBER OF PARKING SPACES

EXISTING UTILITY STRUCTURES

EXISTING FIRE HYDRANT

EXISTING GATE VALVE

COLUMN

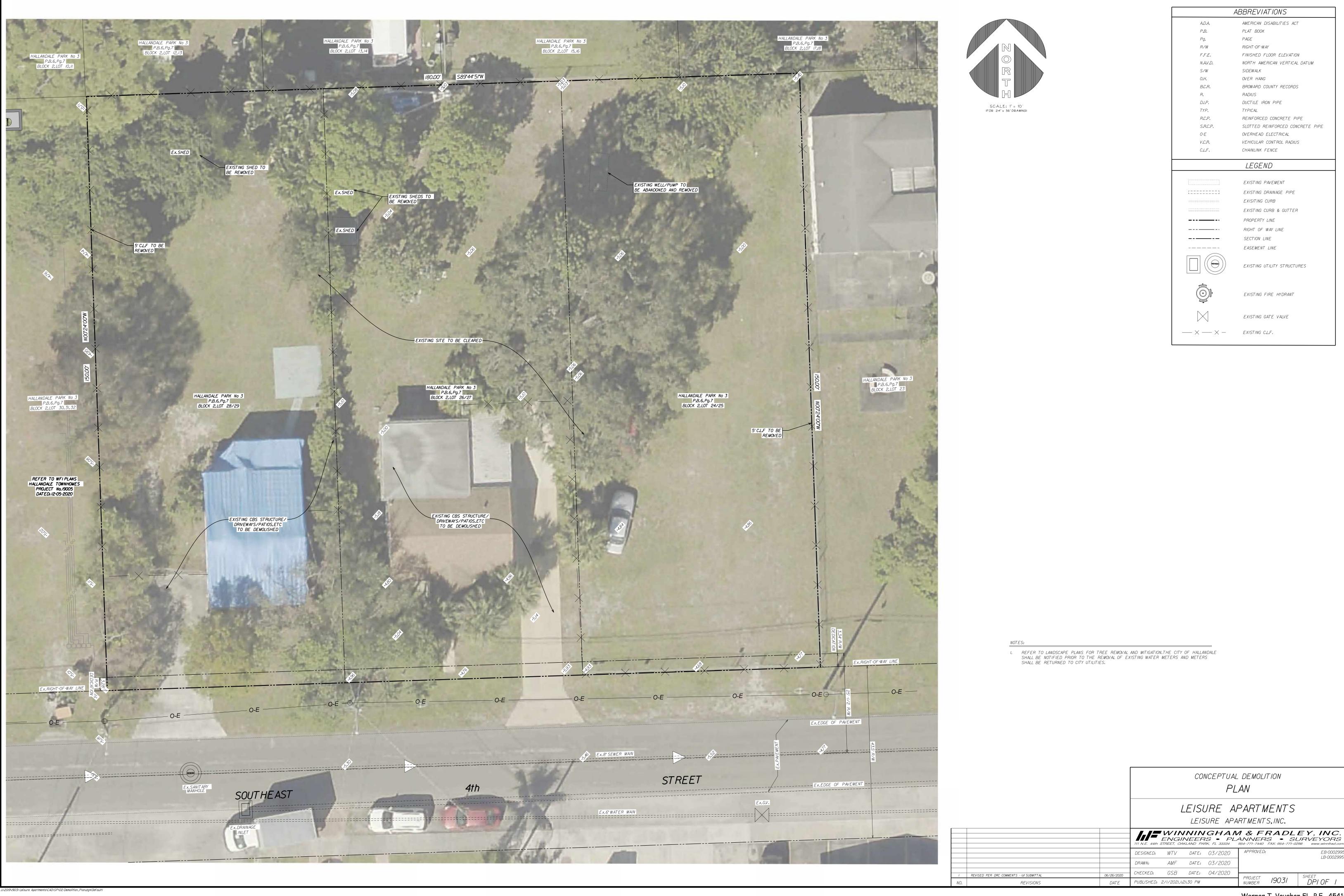
OVERALL SITE DATA -	LEISURE AF	PARTMEN	ITS		
PERMOUS/IMPERMOUS SI	TE DATA - GR	OSS SITE /	AREA		
IMPE	RVIOUS				
AREA	SQ. FT.	ACRES	%		
TOTAL GROSS SITE AREA	26,990	0.620			
RIGHT-OF-WAY DEDICATION	601	0.014	2.23%		
BUILDING GROUND COVERAGE	4,846	0.111	17.95%		
PAVEMENT	13,875	51.41%			
SIDEWALK/CURBING/PAVERS	3,178 0.073		11.78%		
PER	VIOUS				
GREEN SPACE	4,232	0.097	15.68		
STONES	258	0.006	0.96%		
PERVIOUS/IMPERVIO	OUS - NET SIT	F ARFA	Ds.		
TOTAL IMPERVIOUS	21,899		82.99%		
TOTAL PERVIOUS	4,490	0.103			
TOTAL NET SITE AREA	26,389	0.606	100.00%		
TRANSIT CORE SUBDISTRICT R			32-196/a))		
TOTAL CORE CODDITION	REQUI		PROVIDED		
_OT WIDTH	50 FT MI		180 FT		
_OT AREA	5,000 MIN / 10	00,000 MAX	26,389		
_OT COVERAGE	95% N		82.99%		
MINIMUM LANDSCAPE AREA	5% N	1IN	17.01%		
PRIMARY STREET / FRONT SETBACK	10 FT MIN /	15 FT MAX	10 FT Balconies/		
NTERIOR SIDE SETBACK	0 FT		11.5 FT Building 1 FT		
REAR SETBACK	10 FT		66+ /- FT		
BUILDING FRONTAGE ON PRIMARY STREETS	75% 1		100.00%		
MINIMUM HEIGHT PRIMARY STREETS	2 STORIES		3 STORIES		
MAXIMUM DENSITY	50 DU		39.62 DU/AC		
CIVIC OPEN SPACE	7.5% OR 1	.979 SF	NONE		
			WAVIER REQUESTED		
ON-SITE PA	RKING DATA				
USE	UNITS	RATIO	REQUIRED		
MULTI FAMILY - ONE BEDROOM	18	1.25 / UNIT	23 11		
MULTI FAMILY - TWO OR MORE BEDROOM		6 1.75 / UNIT			
GUEST PARKING (FIRST 20 UNITS)	20 0.5 / UNIT		10		
GUEST PARKING (UNITS 21-50)	4	0.3 / UNIT	1		
TOTAL PARKING REQUIRED	45				
TOTAL PARKING PROVIDED			45		
HANDICAPPED PARKING REQUIRED			2		
HANDICAPPED PARKING PROVIDED			2		
BICYCLE PARKING REQUIRED	2				
BICYCLE PARKING PROVIDED			5		
OFFSITE PARKING PROVIDED			2		
ZONING DISTRICT	OFNER CO	TD4110:=	0005		
ZONING DISTRICT PROPOSED ZONING	CENTRAL RAC	C - TRANSIT			

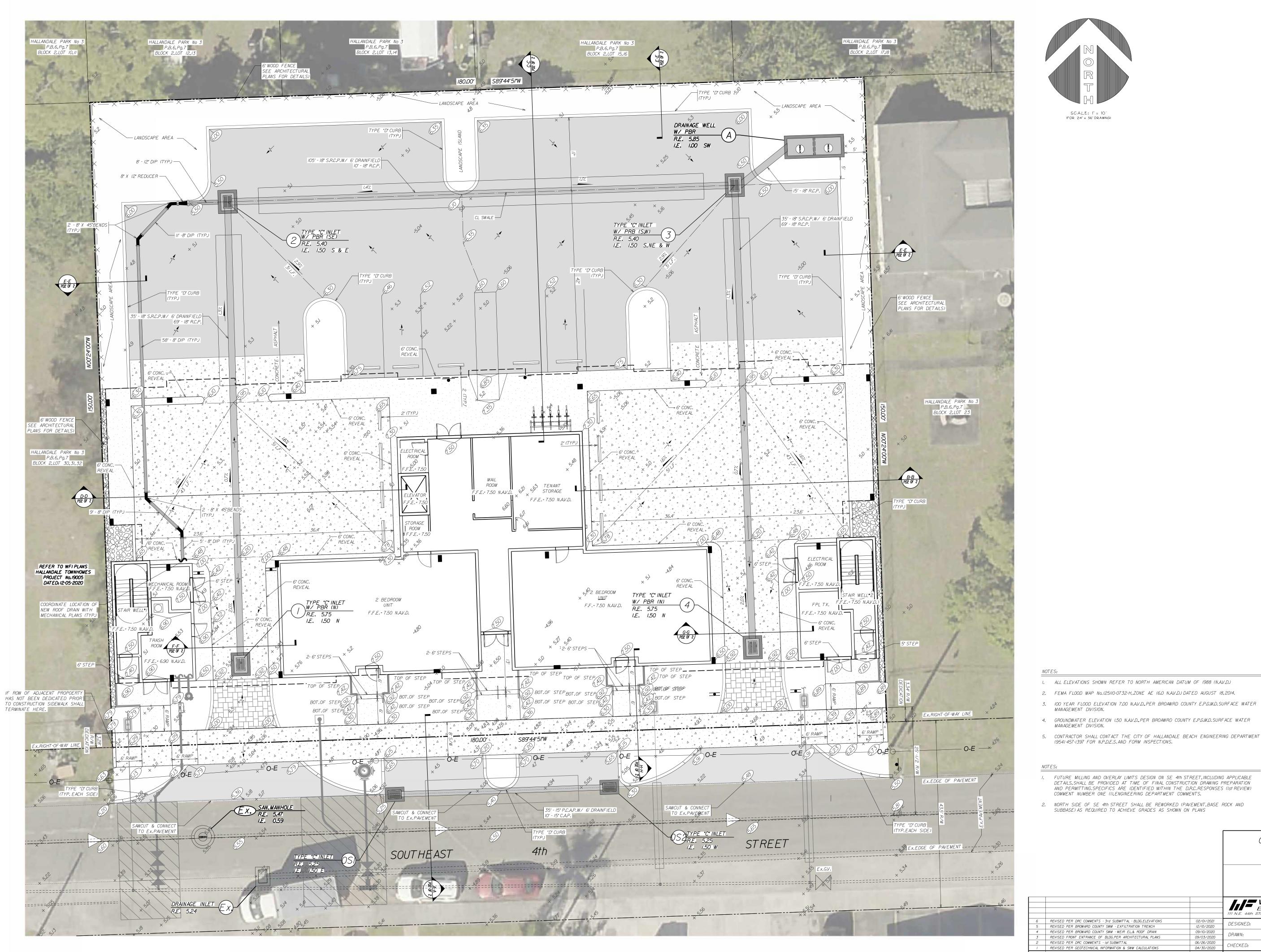
LEISURE APARTMENTS

PLAN

LEISURE APARTMENTS,INC.

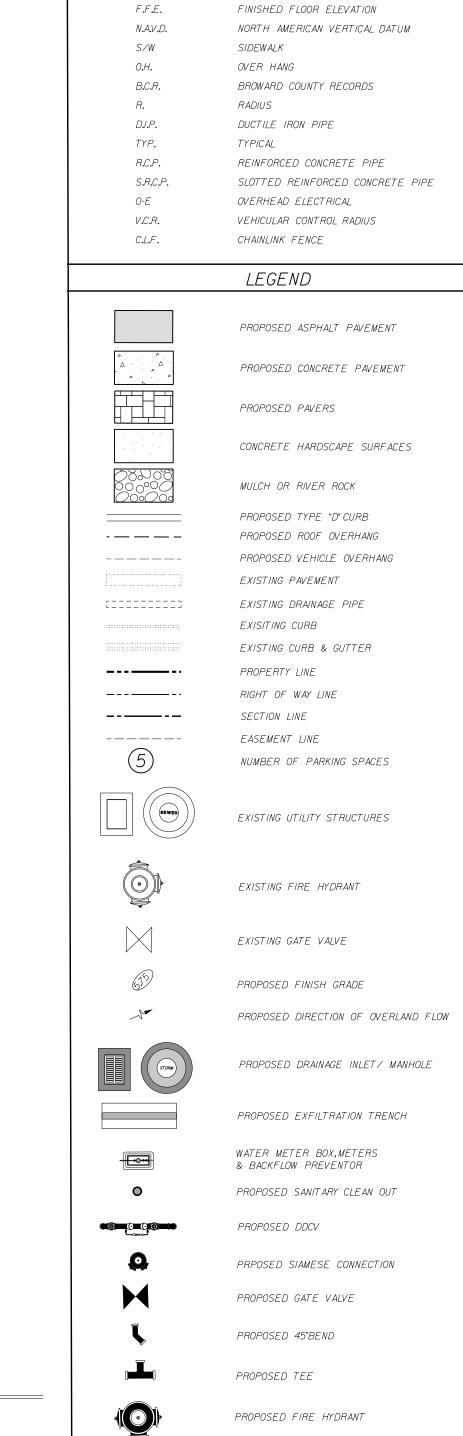
INC. 44th STREET, OAKLAND PARK, FL 33334 954-771-7440 FAX: 954-771-0298 www.winnfrad.com EB-0002995 LB-0002995 DESIGNED: WTV DATE: 03/2020 4 REVISED PER DRC COMMENTS - 3rd SUBMITTAL - BLDG.ELEVATIONS
3 REVISED FRONT ENTRANCE OF BLDG.PER ARCHITECTURAL PLANS
2 REVISED PER DRC COMMENTS - 2nd SUBMITTAL
1 REVISED PER DRC COMMENTS - 1st SUBMITTAL PROJECT 19031 NUMBER PUBLISHED: 2/1/2021,4:16:42 PM DATE







SCALE: 1° = 10' (FOR 24' x 36' DRAWING)



ABBREVIATIONS

RIGHT-OF-WAY

AMERICAN DISABILITIES ACT

A.D.A.

P**.**B. Pg. R/W

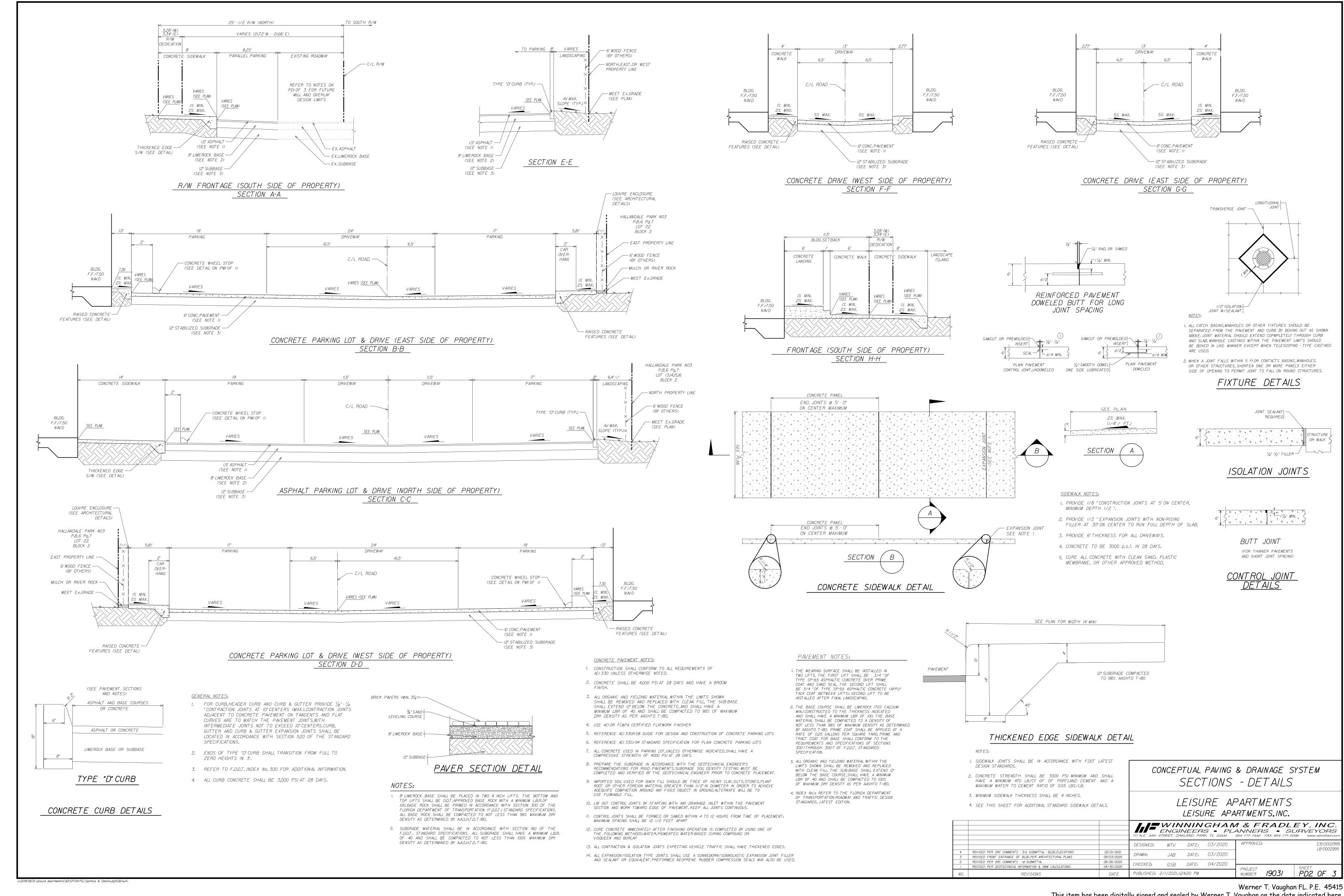
- I. ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D.)
- 2. FEMA FLOOD MAP No.125110-0732-H,ZONE AE (6.0 N.A.V.D.) DATED AUGUST 18,2014.
- MANAGEMENT DIVISION.
- 4. GROUNDWATER ELEVATION 1.50 N.A.V.D., PER BROAWRD COUNTY E.P.G.M.D. SURFACE WATER MANAGEMENT DIVISION.
- 5. CONTRACTOR SHALL CONTACT THE CITY OF HALLANDALE BEACH ENGINEERING DEPARTMENT AT (954) 457-1397 FOR N.P.D.E.S. AND FORM INSPECTIONS.

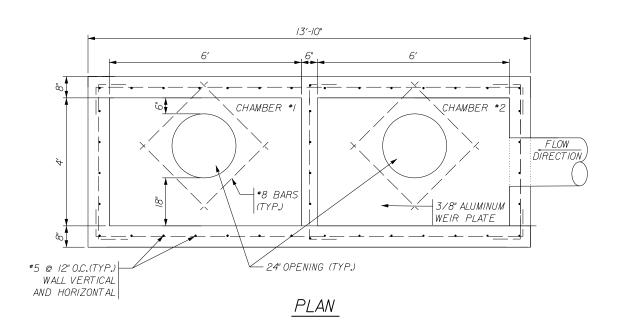
I. FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING. SPECIFICS ARE IDENTIFIED WITHIN THE D.R.C. RESPONSES (IST REVIEW)
COMMENT NUMBER ONE (I), ENGINEERING DEPARTMENT COMMENTS.

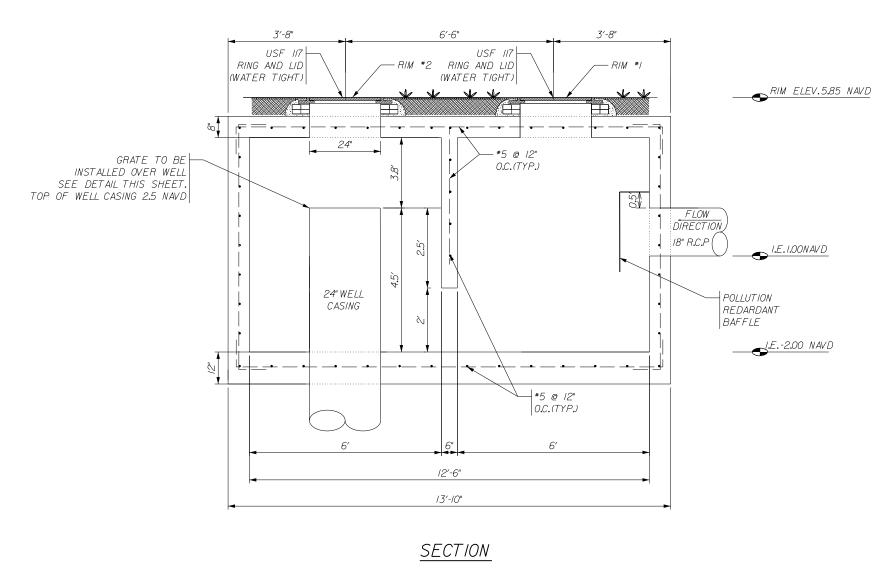
2. NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS

CONCEPTUAL PAVING & DRAINAGE SYSTEM PLAN LEISURE APARTMENTS LEISURE APARTMENTS, INC.

				ENGI	NEER	GHAN RS • PLA RK, FL 33334	ANNER.	S • SL	EY, INC. JRVEYORS 98 www.winnfrad.com
6	REVISED PER DRC COMMENTS - 3rd SUBMITTAL - BLDG.ELEVATIONS	02/01/2021	DESIGNED:	WTV	DATE:	0.3/2020	APPROVED:		EB-0002995
5	REVISED PER BROWARD COUNTY SWM - EXFILTRATION TRENCH	12/10/2020	DESIGNED.	VV / V	DAI L.	037 2020			LB-0002995
4	REVISED PER BROWARD COUNTY SWM -WEIR EL.& ROOF DRAIN	09/10/2020	DRAWN:	JAR	DATF:	0.3/2020			28 0002333
3	REVISED FRONT ENTRANCE OF BLDG.PER ARCHITECTURAL PLANS	09/03/2020	DAAWN:	JAD	DAI E:	0372020			
2	REVISED PER DRC COMMENTS - Ist SUBMITTAL	06/26/2020	CHECKED	GSR	DATE	04/2020			
1	REVISED PER GEOTECHNICAL INFORMATION & SWM CALCULATIONS	04/30/2020	CHECKED:	GSB	DATE:	0472020	PROJECT		SHEET
NO.	REVISIONS	DATE	PUBLISHED:	2/1/2021,4:	18:15 PM		NUMBER	19031	PDI OF 3



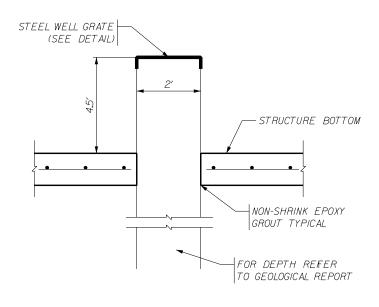




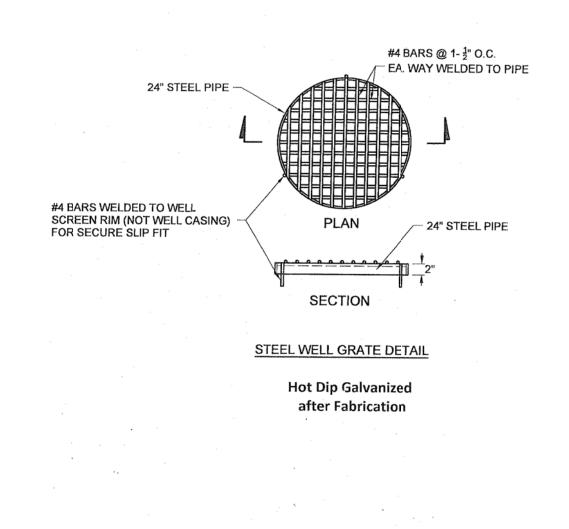
TWO CHAMBER DRAINAGE WELL STRUCTURE DETAILS

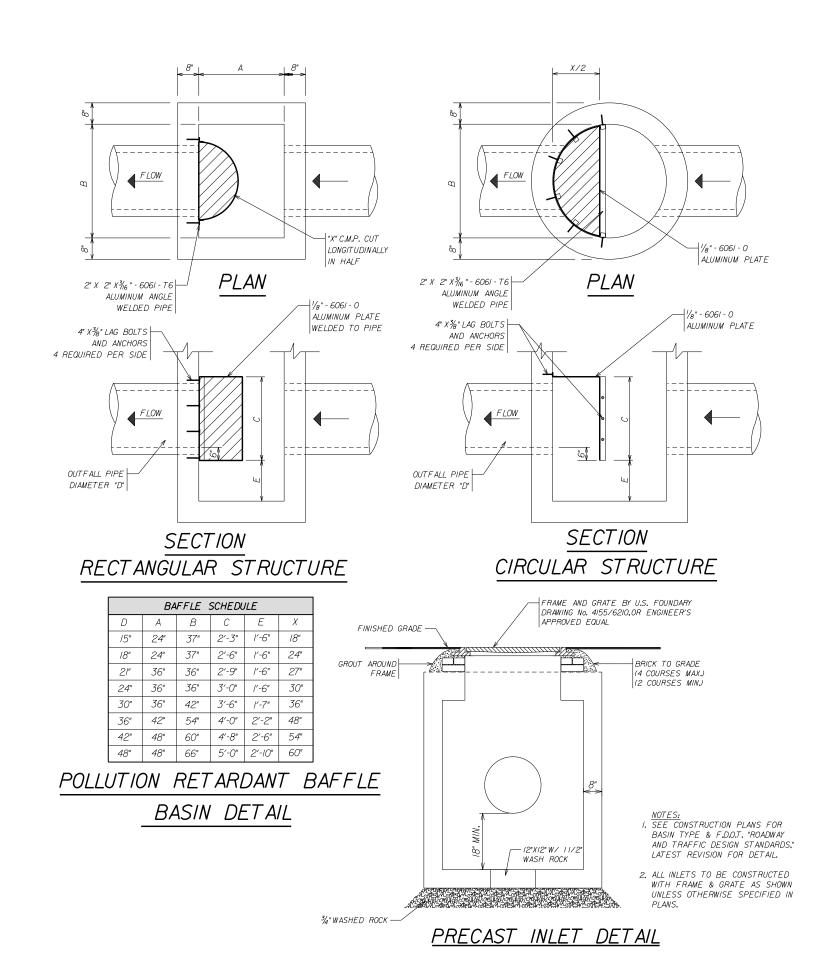
DRAINAGE WELL NOTES

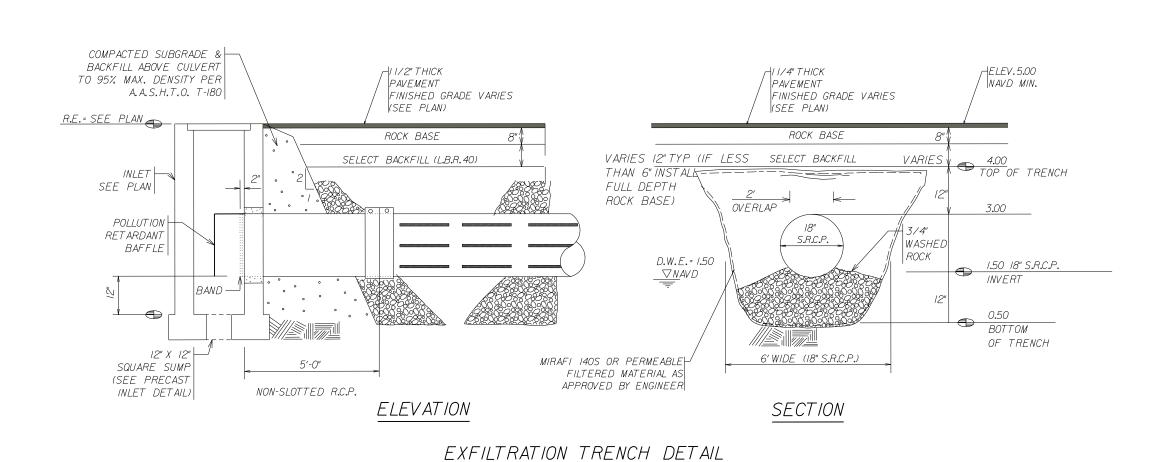
- I. DRAINAGE WELL SHALL HAVE A MIN CAPACITY OF 300 GPM PER FOOT OF AVAILABLE HEAD,
- 2. WELL DRILLER SHALL OBTAIN AN FDEP PERMIT AND PROVIDE BCEPD AND THE ENGINEER OF RECORD WITH CERTIFICATION OF CONSTRUCTION COMPLETION REPORT AS REQUIRED BY
- 3. WELL GRATE TO BE HOT DIP GALVANIZED AFTER FABRICATION. 4. THE CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH WHERE THE GROUND WATER CONTAINS A MIN OF 10,000 PPM OF TOTAL DISSOLVED SOLIDS AND 1,500 PPM OF
- 5. CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH, PROVIDED BY WELL DRILLER, WITH AN ADD/ DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID THE FINAL WELL DEPTH SHALL BE WITHIN 25% OF THE BASE BID PRICE.

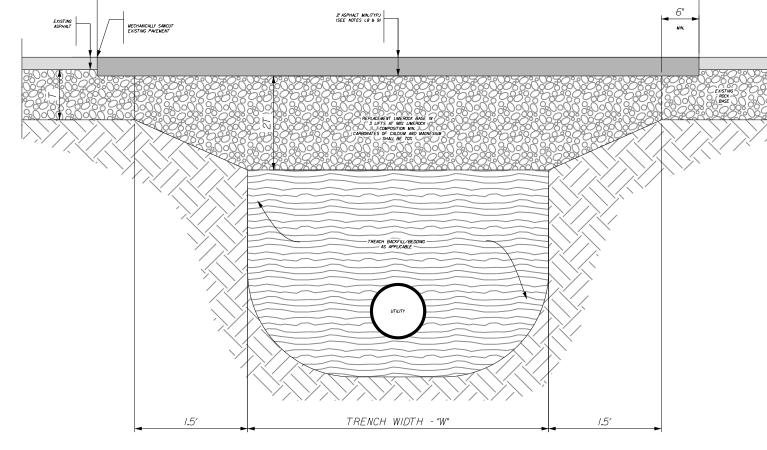


DRAINAGE WELL GRATE DETAIL

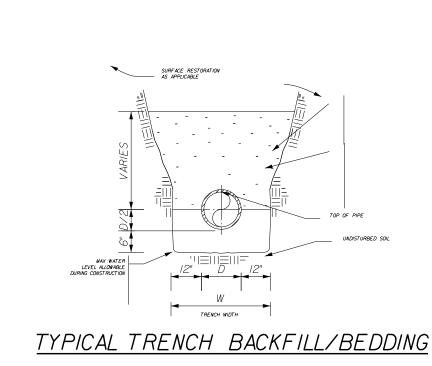








TOTAL SURFACE RESTORATION = TRENCH WIDTH "W" + 4' MIN.



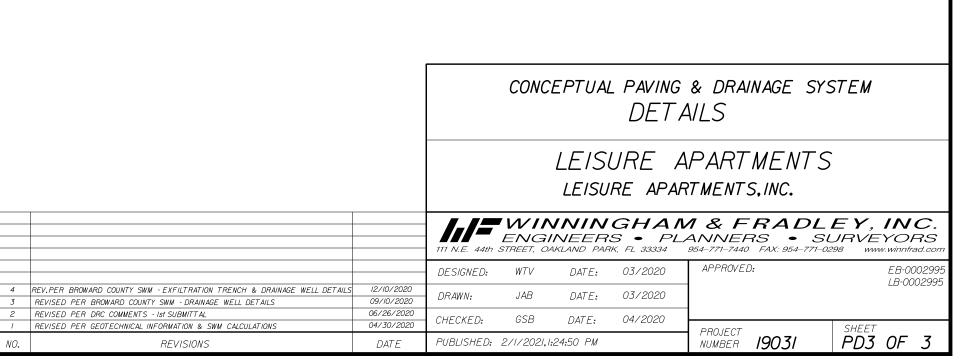
PAVEMENT RESTORATION NOTES:

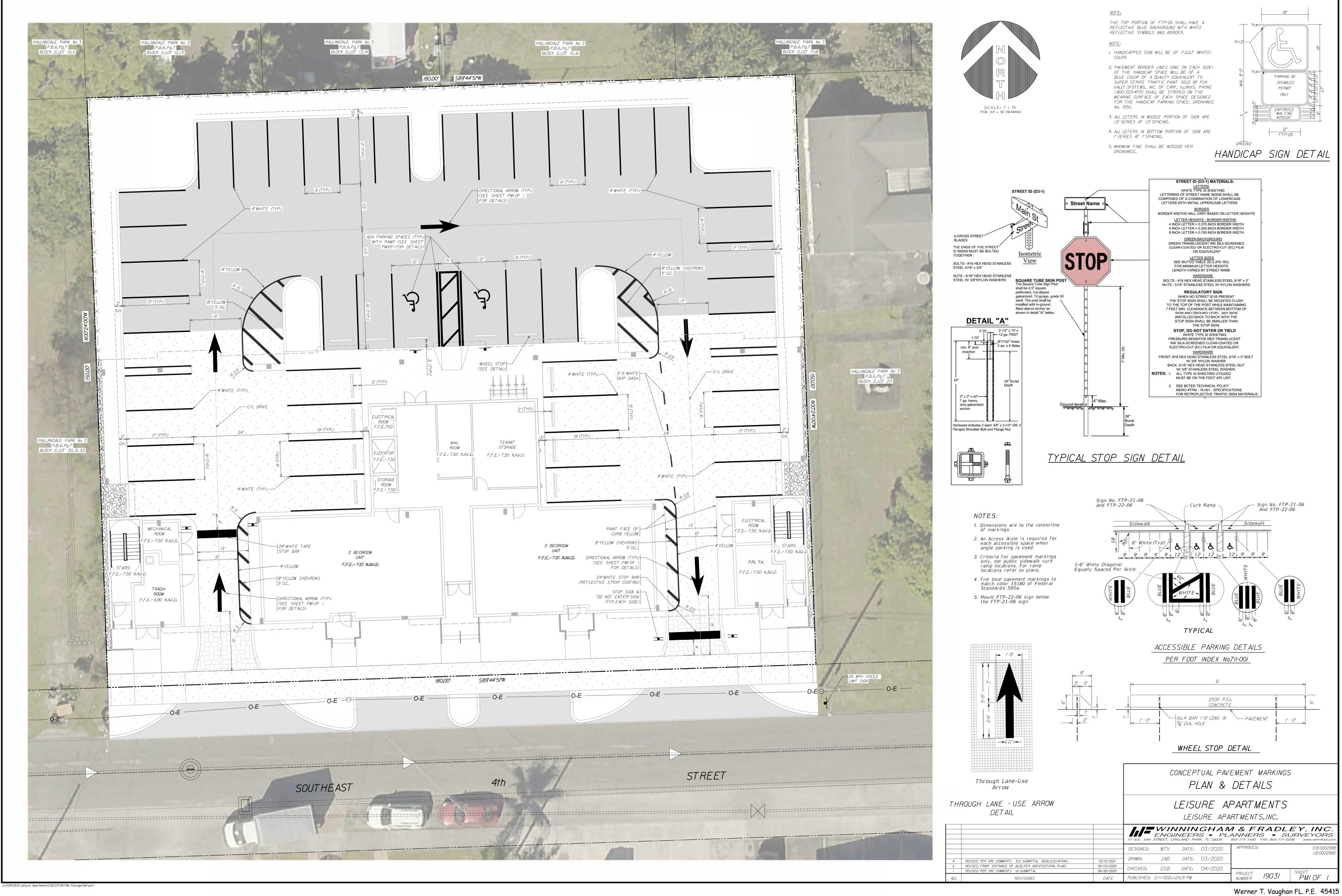
- I. THE WEARING SURFACE SHALL BE INSTALLED IN TWO LIFTS.THE FIRST LIFT SHALL BE I'OF TYPE SP-9.5 ASPHALTIC CONCRETE OVER PRIME COAT AND SAND SEALTHE SECOND LIFT SHALL BE 1" OF TYPE SP-9.5 ASPHALTIC CONCRETE (APPLY TACK COAT
- 2. PREPARE BASE SECTION, SAW CUT EXISTING PAVEMENT AS APPLICABLE. PRIME COAT, TACK COAT AND PLACE ASPHALT PATCH IMMEDIATELY FOLLOWING PIPE INSTALLATION.
- 3. BASE MATERIAL SHALL BE LIMEROCK, HAVE A MINIMUM LBR OF 100, AND HAVE A MINIMUM CARBONATE CONTENT OF 70%. THE BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OG NOT LESS THAN 98% OF MAXIMUM DENSITY AS PER AASHTO T-180.
- 4. BASE SHALL BE PLACED IN 6" MAXIMUM THICKNESS LAYERS WITH EACH LAYER COMPACTED AS REQUIRED AND TESTED PRIOR
- 5. SUBGRADE MATERIAL SHALL BE GRANULAR AND ANGULAR, SHALL HAVE A MINIMUM LBR OF 40, AND SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS PER AASHTO T-180.
- 6. BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LAYERS.BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- 7. ALL EDGES OF EXISTING ASPHALT PAVEMENT THAT ABUT RESURFACING SHALL BE SAW CUT IN STRAIGHT LINES PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO RESURFACING.
- 8. RESURFACING MATERIAL SHALL BE CONSISTENT WITH SURROUNDING SURFACE, AND SHALL BE APPLIED IN 2 LIFTS, A MINIMUM OF I" IN THICKNESS, WHEN USING SP-9.5 PAVEMENT.
- 9. IF EXISTING ASPHALT THICKNESS EXCEEDS 2", MAXIMUM THICKNESS OF NEW ASPHALT SHALL BE 2.5" OF SP-9.5 PAVEMENT INSTALLED IN 2 LIFTS.
- 10. TRAFFIC STRIPES SHALL NOT BE PLACED DIRECTLY ON TOP OF THE JOINT.

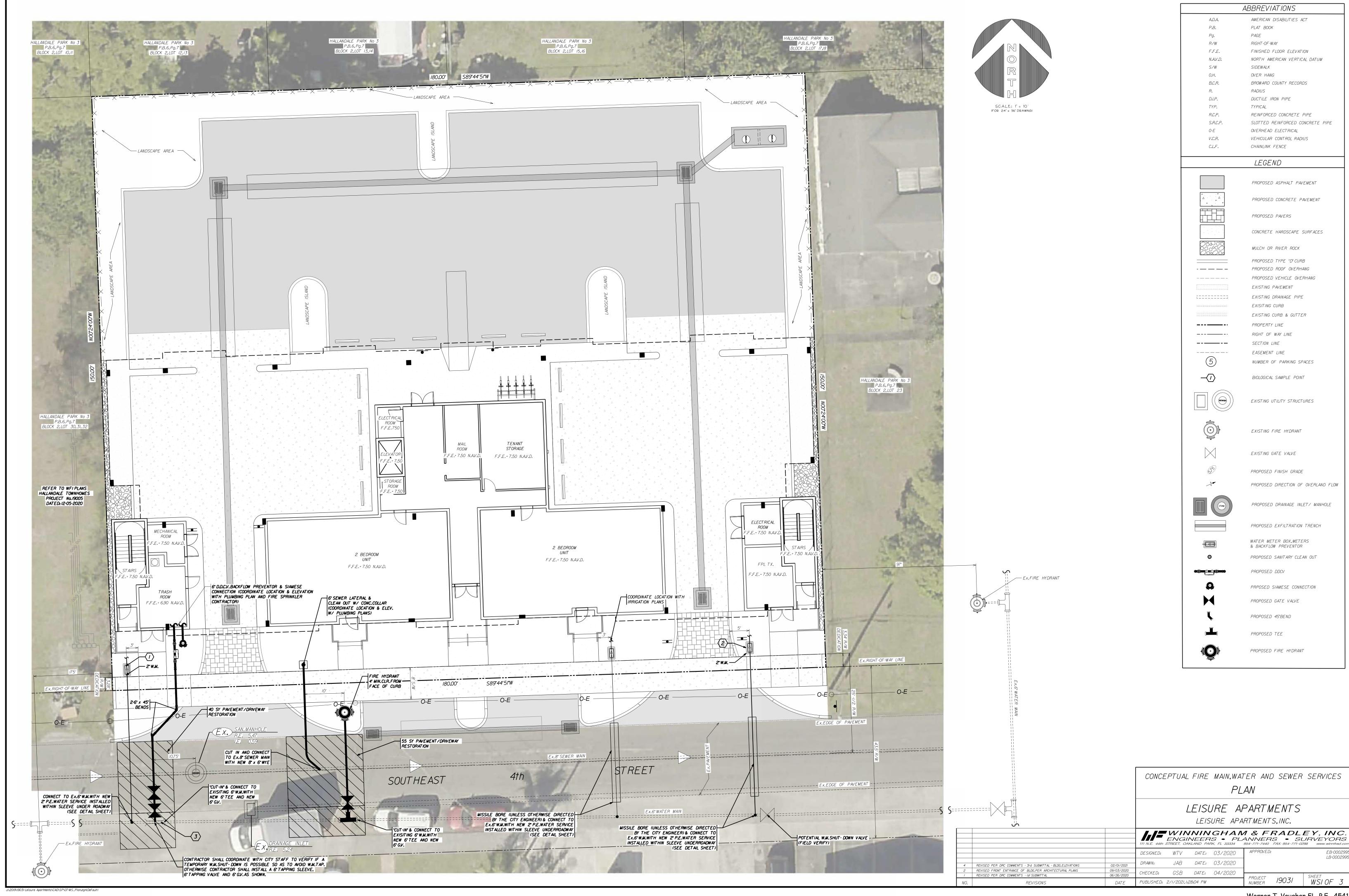
TO THE PLACEMENT OF THE SUCCEEDING LAYERS.

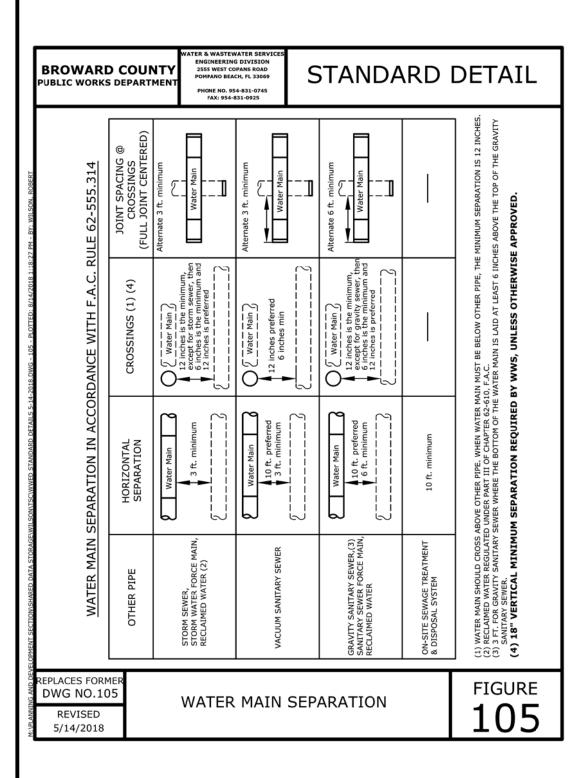
BETWEEN LIFTS), SECOND LIFT TO BE INSTALLED AFTER FINAL LANDSCAPING.

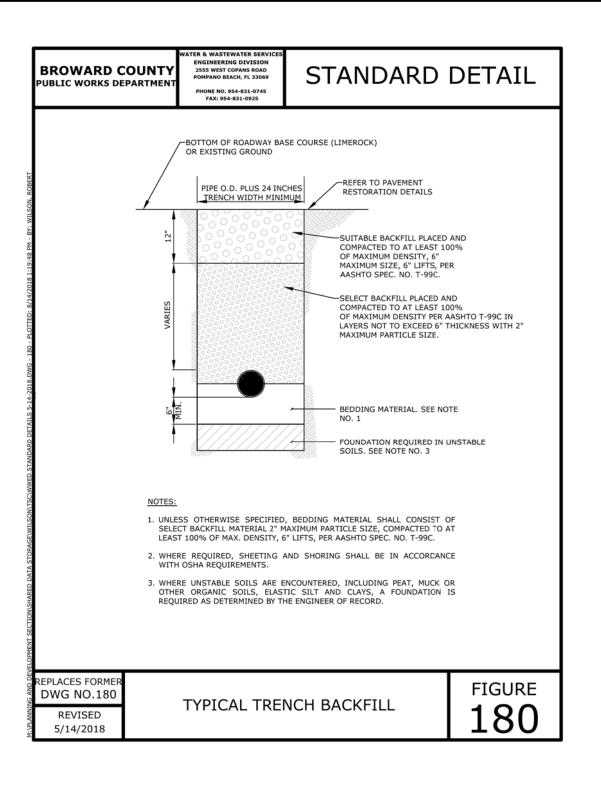
PAVEMENT RESTORATION DETAIL

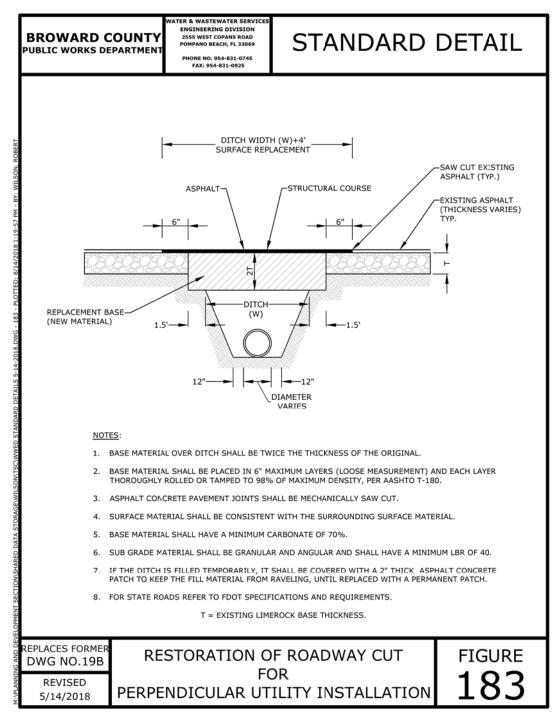


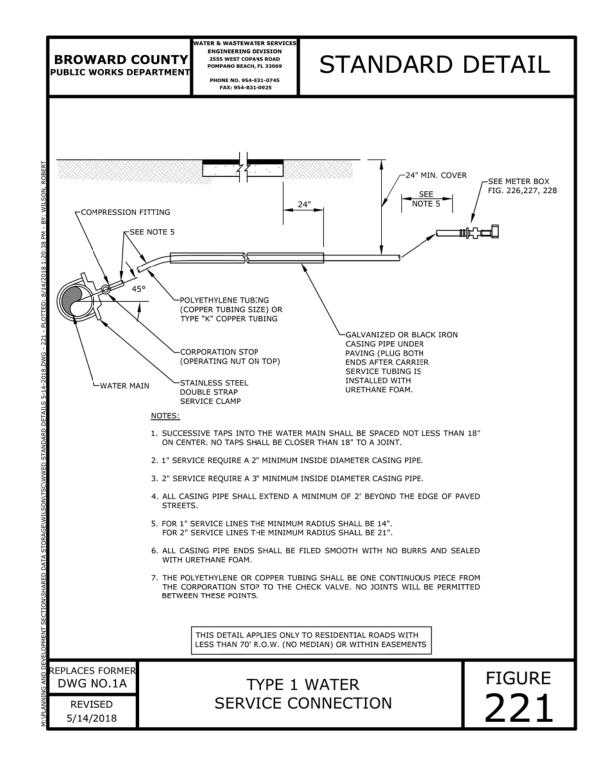


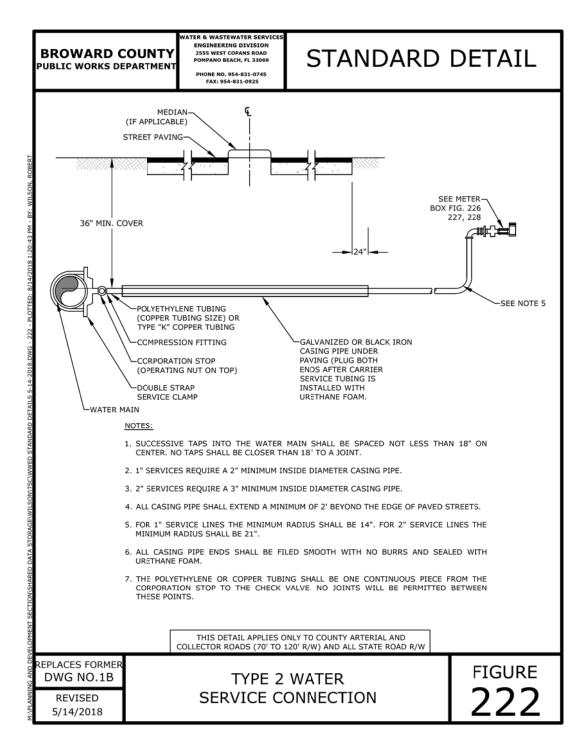


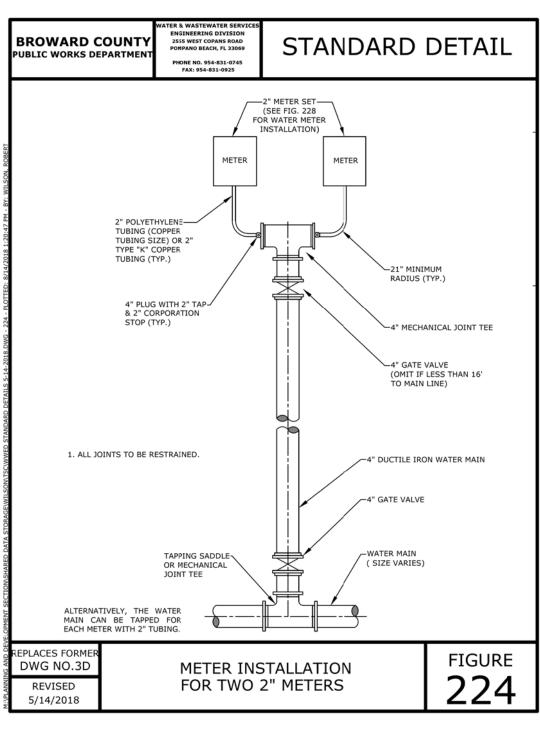


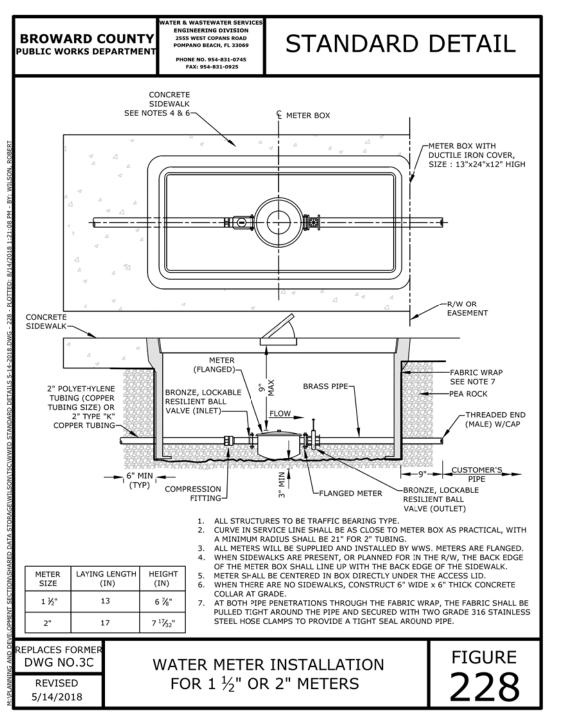


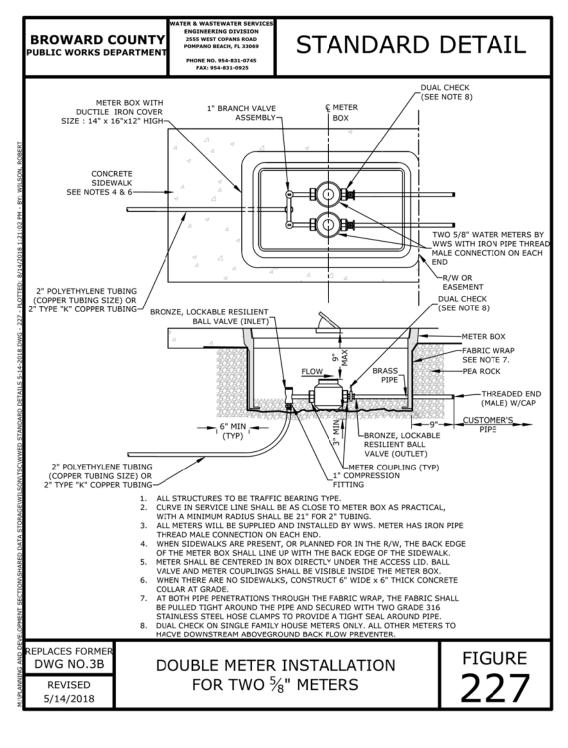


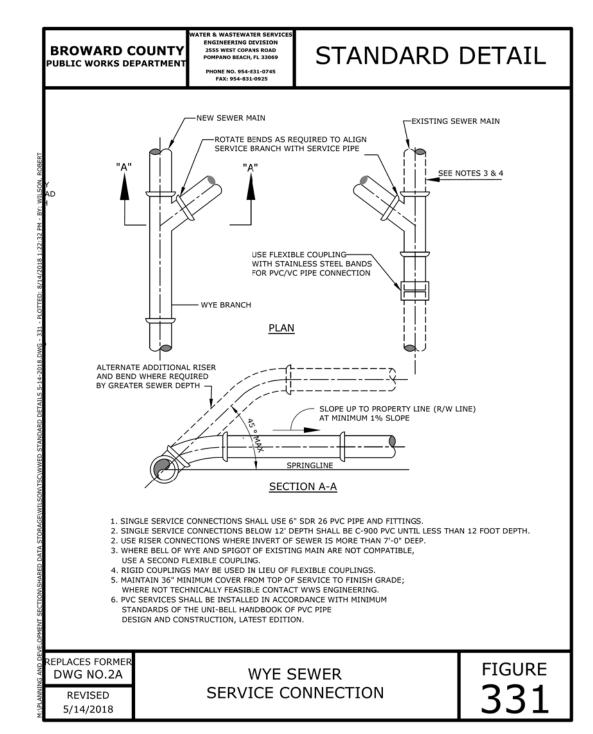


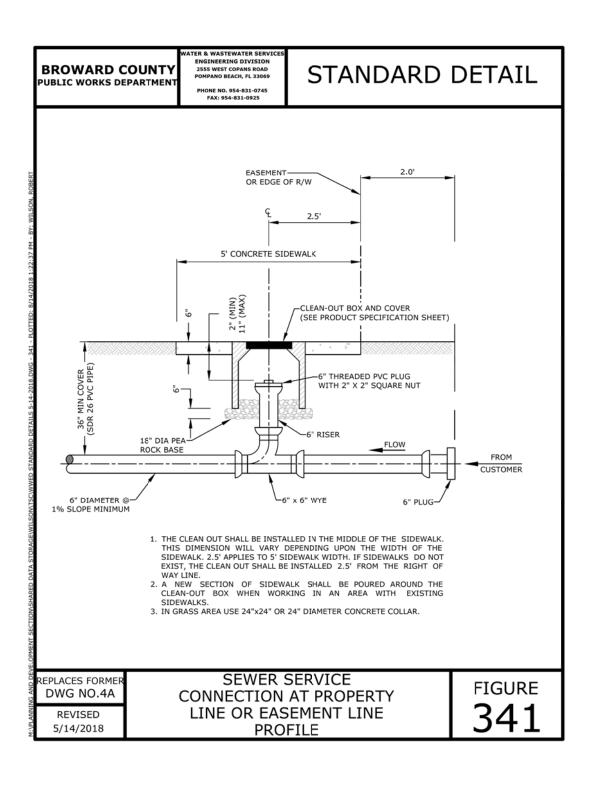


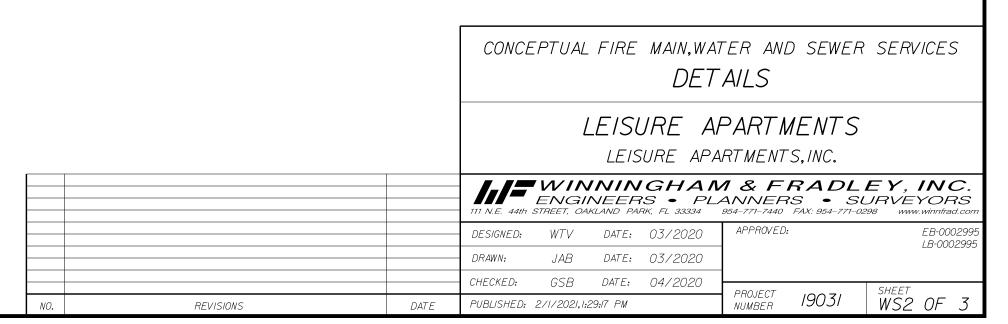


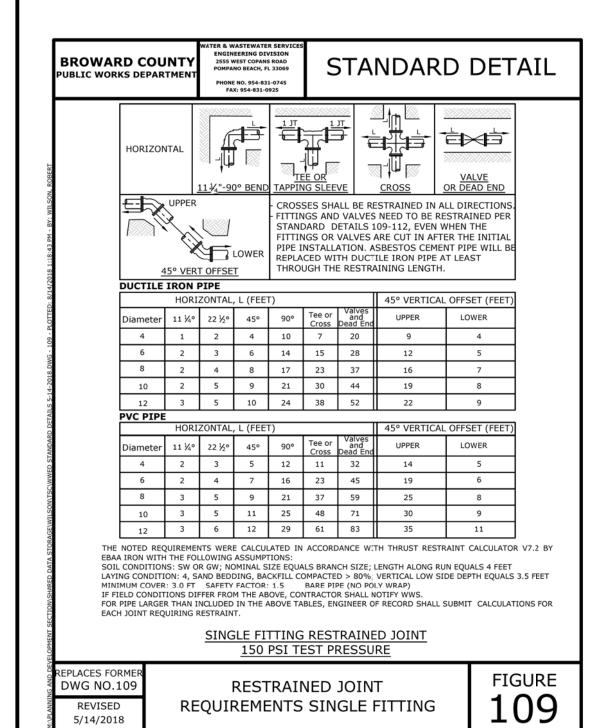


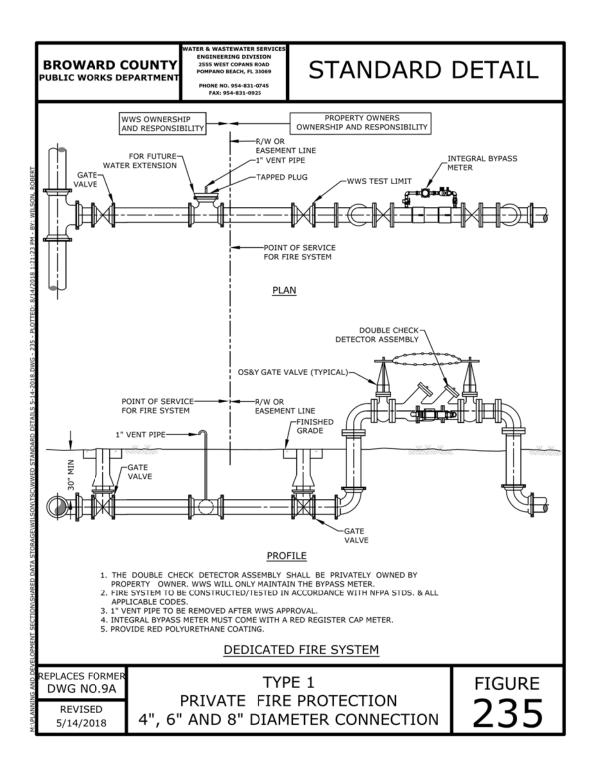


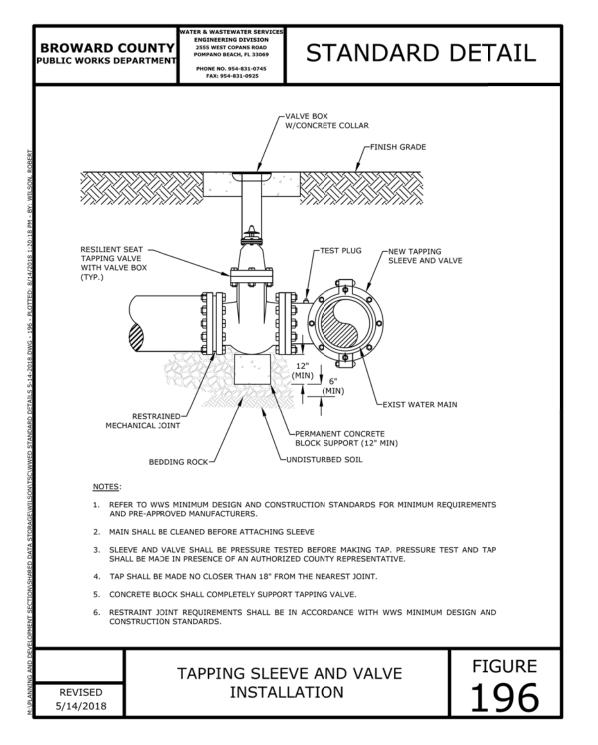


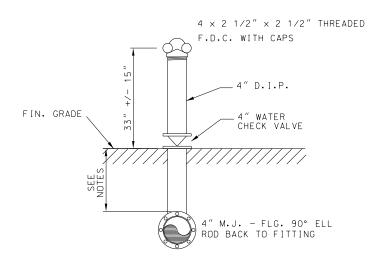












THERE SHALL BE NO SHUT OFF VALVE IN THE FIRE DEPARMENT CONNECTION. NFPA 24 2-6.3

NOTES:

1. DEPTH OF COVER TO TOP OF PVC UNDERGROUND PIPING SHALL BE NOT LESS THAN 36" MINIMUM.
2. DEPTH OF COVER TO TOP OF DIP UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.

STANDARD FIRE DEPARTMENT
CONNECTION DETAIL

CONCEPTUAL FIRE MAIN, WATER AND SEWER SERVICES

DETAILS

LEISURE APARTMENTS, INC.





ABBREVIATIONS AMERICAN DISABILITIES ACT P**.**B. PLAT BOOK PAGE R/WRIGHT-OF-WAY F.F.E. FINISHED FLOOR ELEVATION N.A.V.D. NORTH AMERICAN VERTICAL DATUM S/W 0.H. OVER HANG B.C.R. BROWARD COUNTY RECORDS RADIUS D.J.P. DUCTILE IRON PIPE TYP. R.C.P. REINFORCED CONCRETE PIPE S.R.C.P. SLOTTED REINFORCED CONCRETE PIPE 0-E OVERHEAD ELECTRICAL V.C.R. VEHICULAR CONTROL RADIUS C.L.F. CHAINLINK FENCE LEGEND PROPOSED ASPHALT PAVEMENT PROPOSED CONCRETE PAVEMENT PROPOSED PAVERS CONCRETE HARDSCAPE SURFACES MULCH OR RIVER ROCK PROPOSED TYPE "D" CURB PROPOSED ROOF OVERHANG ----PROPOSED VEHICLE OVERHANG EXISTING PAVEMENT EXISTING DRAINAGE PIPE EXISITING CURB EXISTING CURB & GUTTER PROPERTY LINE RIGHT OF WAY LINE _____ SECTION LINE EASEMENT LINE ----EASEMENT LINE NUMBER OF PARKING SPACES EXISTING UTILITY STRUCTURES EXISTING FIRE HYDRANT EXISTING GATE VALVE PROPOSED DIRECTION OF OVERLAND FLOW PROPOSED DRAINAGE INLET/ MANHOLE PROPOSED EXFILTRATION TRENCH WATER METER BOX,METERS & BACKFLOW PREVENTOR PROPOSED SANITARY CLEAN OUT PROPOSED DDCV

TEMPORARY POLLUTION PREVENTION
PLAN

PRPOSED SIAMESE CONNECTION

PROPOSED GATE VALVE

PROPOSED 45°BEND

LEISURE APARTMENTS, INC.

DESIGNED: WTV DATE: 03/2020

REVISIONS

DATE

PUBLISHED: 2/1/2021,1:31:28 PM

PARK S FRADLEY, INC.

SURVEYORS

WWW.winnifad.com

APPROVED:

APPROVED:

B-0002995

WWW.winnifad.com

APPROVED:

CHECKED: GSB DATE: 04/2020

PROJECT NUMBER 19031

SHEET

TPP1 0F 3

COUNTY REQUIREMENTS

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF.AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS, REFER TO 'CONTRACTORS RESPONSIBILITY' FOR A VERBAL DESCRIPTION OF CONTROLS THAT MAY BE IMPLEMENTED.

DESCRIPTION OF CO

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY S.F.W.M.D. STORM WATER RUNOFF WILL BE COLLECTED BY SWALE SYSTEM AND DISCHARGED INTO MASTER STORM WATER SYSTEM VIA OVERLAND FLOW.

TIMING OF CONTROLS/MEASURES

REFER TO 'CONTRACTORS RESPONSIBILITY' FOR THE TIMING OF

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS. THE PERMITS ARE SHOWN ON THE COVER PAGE OF THESE CONSTRUCTION PLANS.

POLLUTION PREVENTION PLAN CERTIFICATION

ICERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL
ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN
ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED
PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION
SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO
MANAGE THE SYSTEM,OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR
GATHERING THE INFORMATION,THE INFORMATION SUBMITTED IS,TO THE BEST
OF MY KNOWLEDGE AND BELIEF,TRUE,ACCURATE,AND COMPLETE.IAM
AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE
INFORMATION,INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR
KNOWING VIOLATIONS.

SIGNED: (SEE SIGNATURE BLOCK AT BOTTOM OF PAGE)

CONTRACTOR'S REQUIREMENTS

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM, IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION, THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULENT TO RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

I. INSTALL STABILIZED CONSTRUCTION ENTRANCE.

2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.

3. CLEAR AND GRUB FOR DIVERSION SWALE/DIKES AND SEDIMENT BASIN.

4. CONSTRUCT SEDIMENTATION BASIN.5. CONTINUE CLEARING AND GRUBBING.

6. STOCK PILE TOP SOIL IF REQUIRED.

7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.

8. STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.

9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS

II. APPLY BASE TO PROJECT.

12. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.

13. REMOVE ACCUMULATED SEDIMENT FROM BASINS.

14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALE/DIKES AND RESEED/SOD AS

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS, AFTER THE ENTIRE SITE IS STABILIZED THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE

ALL FEDERAL, STALE, AND LOCAL REQUIREMENTS. THE FOLLOWING IMPLEMENTED BY THE CONTRAC TURBIDITY REQUIREMENTS IMPO. REGULATORY AGENCIES.

Know what's **below. Call** before you dig

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

I. HAY BALE BARRIERS: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED
AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING

A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.

B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.

D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE.

E. BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT.IF NECESSARY, MEASURES SHALL BE TAKEN

THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKE
TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.

2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW

DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:

A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.

B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW
DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH
RESIDUE MATERIAL IS AVAILABLE ON SITE.

4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.

5. STOCKPILING MATERIAL:NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN
SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO
ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY

6. EXPOSED AREA LIMITATION:THE SURFACE AREA OF OPEN,RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED IO ACRES.THIS REQUIREMENT MAY BE WAVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREA WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:ITHAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER TEMPORARY GRASSING IN THE CONTRACT SPECIFICATIONS.

II. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE
TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 15 PERCENT
GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED
APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL:THE CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY
CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDED MIX MUST
PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL
VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR

STRUCTURAL PRACTICES

I. TEMPORARY DIVERSION DIKES: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.

2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA, THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:

A. BLOCK & GRAVEL SEDIMENT FILTER-THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

B. GRAVEL SEDIMENT TRAP-THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURE & UNPROTECTED AREAS.

C. DROP INLET SEDIMENT TRAP-THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SC5%) AND WHERE SHEET OR OVERLAND FLOW (q 05 CFS) ARE TYPICAL.THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES AND HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE
LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE
TIME, THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE
CONSTRUCTED FOR USE AS SEDIMENT BASIN. THESE SEDIMENT BASIN MUST
PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINAGE
UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE
AREA PER DRAINAGE DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND
FLOWS ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE
FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE
DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASIN
CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH
THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN
PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL
STABILIZATION.

OTHER CONTROLS

<u>WASTE DISPOSAL</u>

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURE.SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

<u>SANITARY WASTE</u>

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE.THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE WILL BE COVERED WITH A TARPAULIN. (SEE DETAILS THIS SHEET)

INVENT. FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

☐ CONCRETE
☐ ASPHALT

☐ TAR
☐ DETERGENTS

□ FERTILIZER

☐ WOOD
☐ PETROLEUM BASED PRODUCTS

☐ MASONRY BLOCKS
☐ CLEANING SOLVENTS

□ PAINTS

☐ ROOFING MATERIALS
☐ METAL STUDS

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

BY THE MANUFACTURER.

THE FOLLOWING HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ONSITE WILL BE IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED

WHENEVER POSSIBLE,ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS

ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USE TO REDUCE THE RISKS ASSOCIATED WITH

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED IF THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES
THE FOLLOWING PRODUCT SPECIFIC WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS

RECOMMENDED BY THE MANUFACTURED.ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER.STORAGE WILL BE IN A COVERED AREA.THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE.EQUIPMENT AND MATERIALS WILL BE INCLUDED BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.THE SPILL AREA WILL BE KEPT WILL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE.A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEAN UP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 025 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER, IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT FENCE POSTS ARE FIRMLY IN THE GROUND.

THE SEDIMENT BASIN WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES IO PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST. DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY

TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.

A REPORT SHALL BE COMPLETED BY HIS/HER INSPECTOR OR ENGINEER OF RECORD.

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL

AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER

THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED.THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-

THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT.THEY WILL BE TRAINED IN ALL INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD

NON-STORM WATER DISCHARGES

CONTRACTOR'S CERTIFICATION

WORKING ORDER.

REPAIRED.

OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
WATER FROM WATER LINE FLUSHING

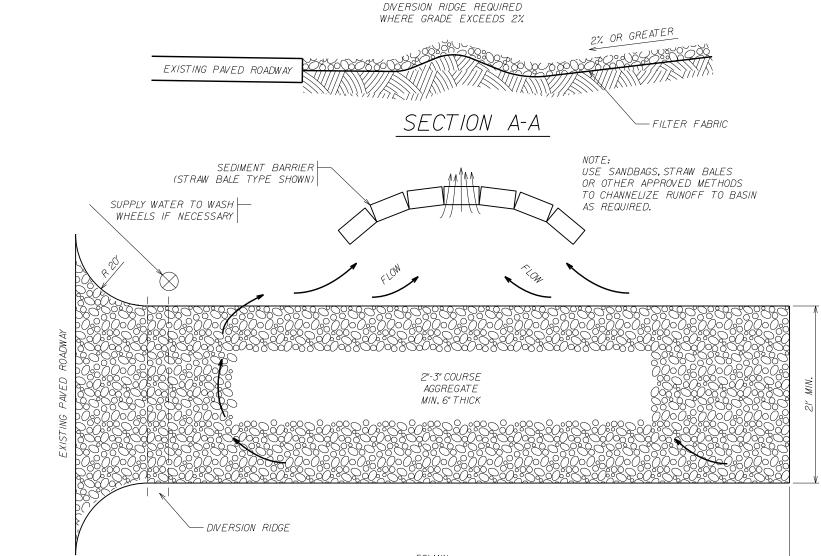
IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL

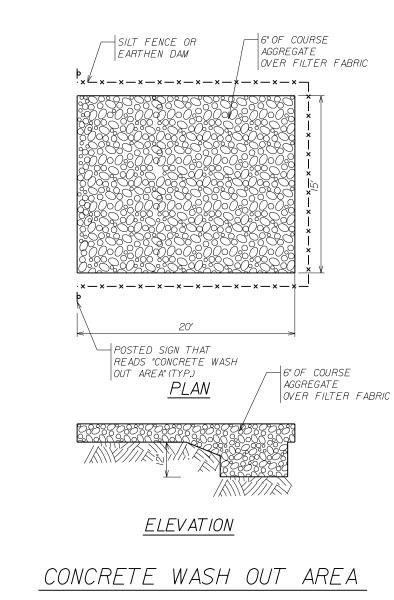
HAZARDOUS MATERIALS HAVE OCCURRED).

UNCONTAMINATED GROUND WATER (FROM DEWATERING EXCAVATION).

PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR

ICERTIFY UNDER PENALTY OF LAW THAT IUNDERSTAND THE TERMS AND CONDITIONS OF GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.





TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

VOTES:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABLIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GENERAL NOTES

I. A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer & city at preconstruction meeting for point of egress from unstabilized areas of the project to public roads where offsite tracking of mud could occur. Traffic from unstabilized areas of the construction project shall be directed thru a STPD. Barriers flagging, or other positive means shall be used as required to limit and direct vehicular egress

2. The Contractor may propose an alternative technique to minimize offsite tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.

3. All materials spilled, dropped, or tracked onto public roads
(including the STPD aggregate and construction mud) shall be
removed daily, or more frequently if so directed by the Engineer.

4. Aggregates shall be as described in Section 90I excluding 90I-

2.3. Aggregates shall be FDOT size #1. If this size is not

available, the next available smaller size agareagte may be

substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unsuitable.

5. The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit.
When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:

15' x 50' = 100 ft3 30' x 50' = 200 ft3

As an option to the sediment pit, the width of the swale bottom

can be increased to obtain the volume. When the sediment pit or

swale volume has been reduced to one half, it shall be cleaned,

When a swale is used, hay bales or silt fence shall be placed

along the entire length.

SOIL TRACKING PREVENTION DEVICE

6. The swale ditch draining the STPD shall have a 0.2% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.

7. Mitered end sections are not required when the sidedrain pipe

satisfies the clear zone requirements.

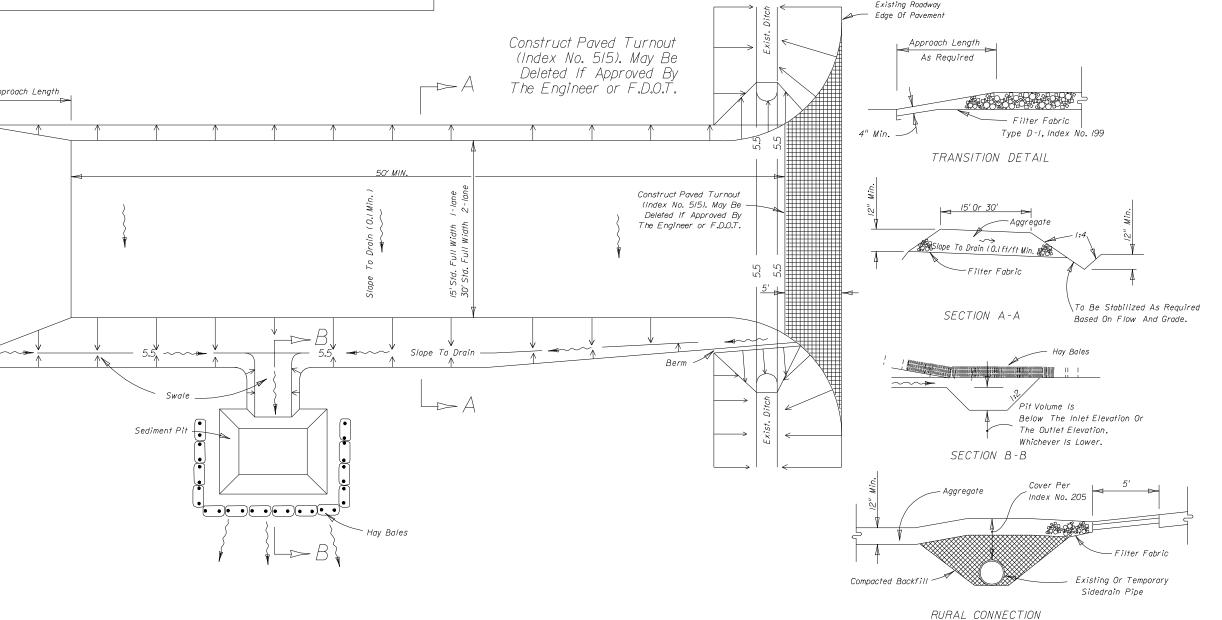
8. The STPD shall be maintained in a condition that will allow it to perform its function. To prevent offsite tracking, the STPD shall be rinsed (daily when in use) to move accumulated mud downward thru the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the

9. A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, EA. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal, and restoration of the area utilized for the STPD; including but not limited to excavation, grading, temporary pipe (including MES when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rinsing and cleaning of the STPD and cleaning of public roads, grassing and sod. Hay bales shall be paid for under the contract unit price for Hay or Straw Baled, EA. Silt fence shall be paid for under the contract unit price for Staked

Silt Fence, LF.

10. The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and exiting vehicles warrant, a 30' width STPD may be used if approved by the Engineer. When a double width (30') STPD is used, the pay quantity shall be 2 for each location.

DETAII

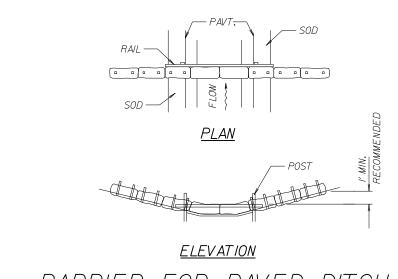


TEMPORARY POLLUTION PREVENTION
GENERAL NOTES & DETAILS
LEISURE APARTMENTS, INC.

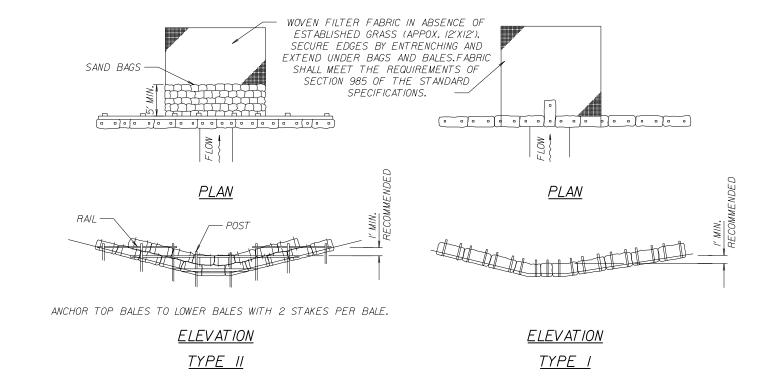
LEISURE APARTMENTS

PLOT FILE CREATED: 2/1/2021,1:32:32 PM

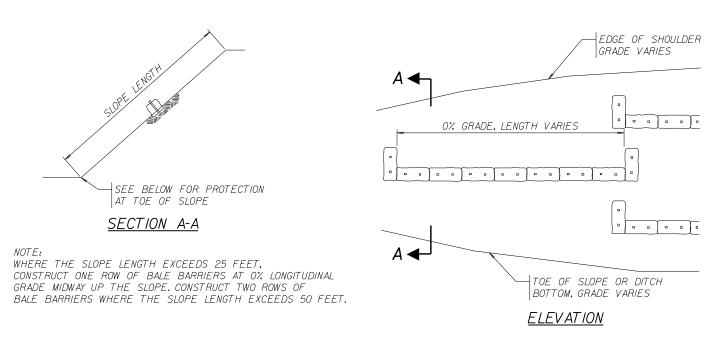
Werner T. Vaughan FL. P.E. 45415



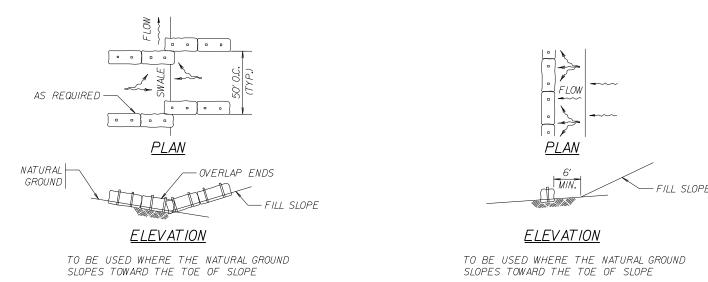
BARRIER FOR PAVED DITCH



BARRIERS FOR UNPAVED DITCHES

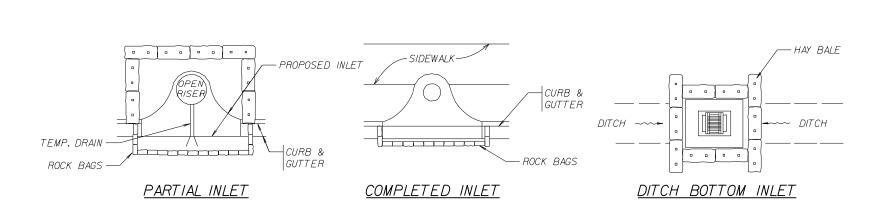


<u>ALONG FILL SLOPE</u>

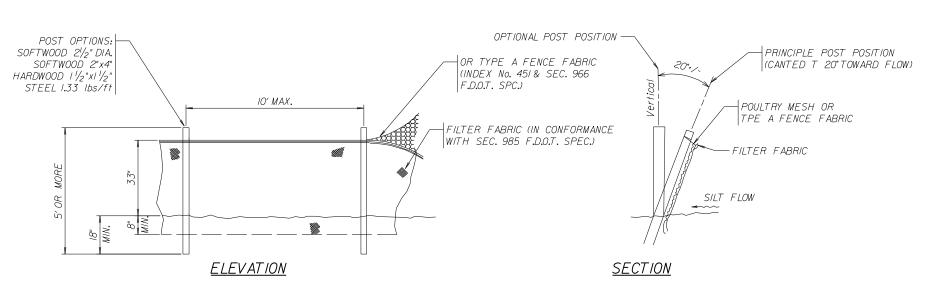


AT TOE OF SLOPE

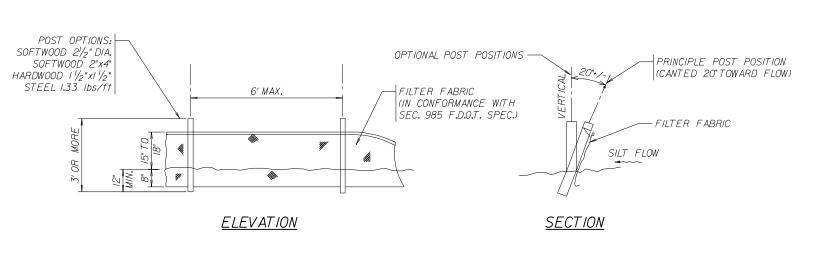
BARRIERS FOR FILL SLOPES



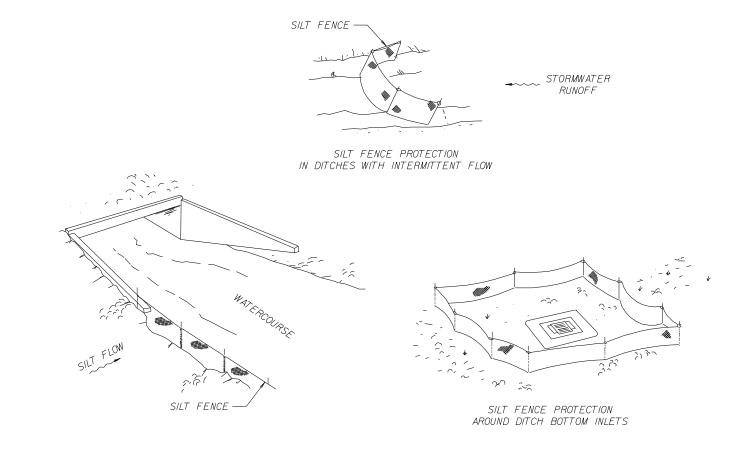
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



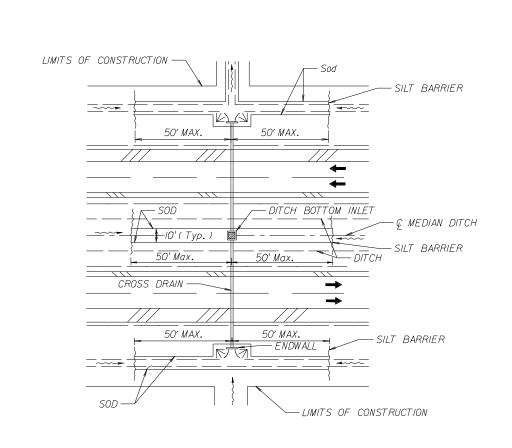
TYPE IV SILT FENCE



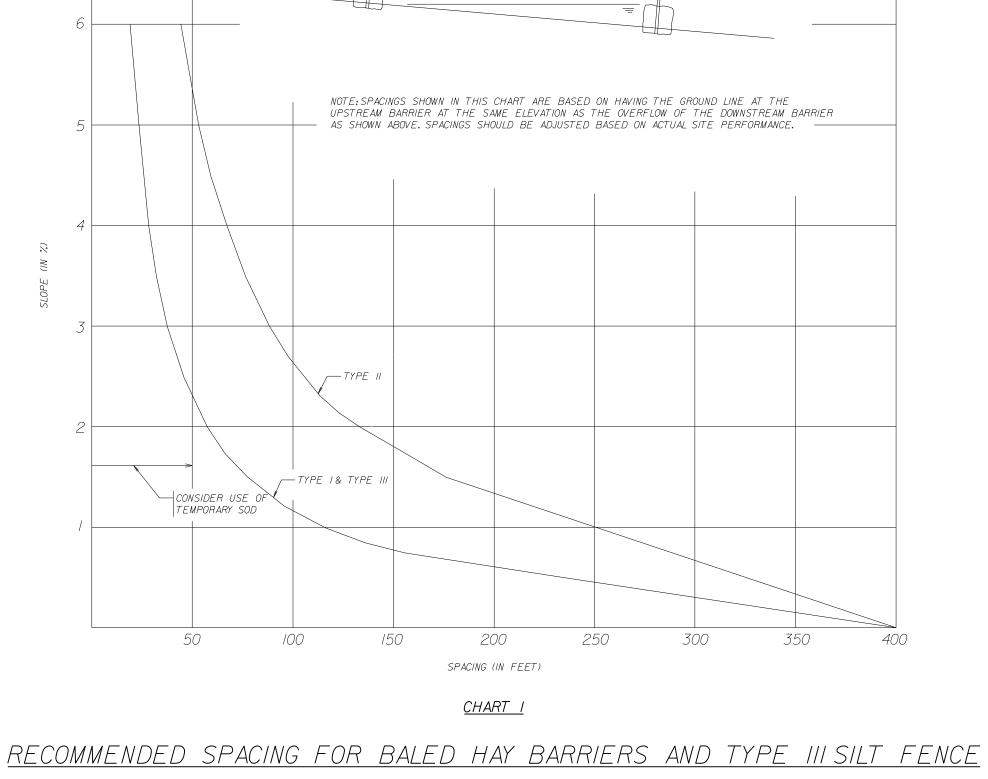
TYPE III SILT FENCE



SILT FENCE APPLICATIONS



DITCH INSTALLATIONS AT DRAINAGE STRUCTURES



- NOTES FOR SILT FENCES
- I. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES. THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART I.
- 2. TYPE N SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED.

 SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OF STEEPER AND LENGTH OF SLOPE EXCEEDS
 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF
- 3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT
- 4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL
- GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE. 5. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, (LF).
- NOTES FOR BAILED HAY OR STRAW BARRIERS
- 2. HAY BALES SHALL BE TRENCHED 3"TO 4" AND ANCHORED WITH 2 I"x2" (OR I" DIA.)x 4'WOOD STAKES, STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER, STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.

HAY BALES SHALL BE UTILIZED AT ALL DRAINAGE INLETS UNTIL INSTALLATION OF ROAD ROCK.

TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH CHART I.

- 3. RAILS AND POSTS SHALL BE 2"x4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
- 4. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
- 5. WHERE USED IN CONJUCTION WITH SILT FENCE, HAY BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.
- 6. BALES TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW, EA. THE UNIT PRICE SHALL INCLUDE THE COST OF FILTER FABRIC FOR TYPE I AND II BARRIERS. SAND BAGS SHALL BE PAID FOR UNDER THE UNIT PRICE FOR SANDBAGGING, CY. ROCK BAGS TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ROCK BAGS, EA.



			LEISURE APARTMENTS LEISURE APARTMENT, INC.			
			WINNINGHAM & FRADLEY, INC. ENGINEERS • PLANNERS • SURVEYORS 111 N.E. 44th STREET, OAKLAND PARK, FL 33334 954-771-7440 FAX: 954-771-0298 www.winnfrad.com			
			DESIGNED: WFI DATE: 03/2020 APPROVED: EB-0002995			
			DRAWN: JAB DATE: 03/2020			
			CHECKED: GSB DATE: 04/2020 PROJECT SHEET			
NO.	REVISIONS	DATE	PLOT FILE CREATED: 2/1/2021,1:32:56 PM NUMBER 19031 TPP3 OF 3			

TEMPORARY POLLUTION PREVENTION

DETAILS

IMPACT ANALYSIS for LEISURE APARTMENTS City of Hallandale Beach Broward County, Florida Sections 27/T51S/R42E PROJECT NUMBER 19031 October, 2019

FOR:

LEISURE APARTMENTS, INC.

1825 Main Street, Suite 8 Weston, FL 33326

PREPARED BY:

WINNINGHAM & FRADLEY, INC.

111 N.E. 44th STREET OAKLAND PARK, FLORIDA 33334 954-771-7440 954-771-0298 (fax)

printed: 4/ 10/ 20- 1:59 pm

TABLE OF CONTENTS

1	INTRO	DUCTION	. 1
2	Α	RAL INFORMATION - SECTION 32-784	. 2
		OWNERSHIP	
		MORTGAGES, LIENS AND JUDGEMENTS	
		EXPERIENCE	
		FINANCIAL CAPABILITY	
	F	BURDEN OF PROOF OF APPLICANT	. 2
3	PROF	ESSIONAL ASSISTANCE - SECTION 32-785	. 3
4	SITE P	LAN REVIEW SUBMISSION REQUIREMENTS - SECTION 32-786	. <u>4</u>
	Α	SCOPE	. 4
	В	GENERAL INFORMATION	. 4
	С	CERTIFIED PROPERTY SURVEY	. 4
	D	EXISTING SITE CHARACTERISTICS MAP	. 4
	Е	PROPOSED SITE DEVELOPMENT PLAN	. 4
	F	OTHER REQUIREMENTS	. 6
		FIGURES:	
		BROWARD COUNTY TRANSIT MAP	. <u>7</u>
		US1 BREEZE - TIMETABLE	. 8
		ROUTE 1 - TIMETABLE M-F	12
		ROUTE 1 - TIMETABLE SAT-SUN	16
5	IMPAC	T EVALUATION SUBMISSION REQUIREMENTS - SECTION 32-788	22
		SCOPE	
	В	GROUND WATER QUALITY	
	С	WASTE WATER	
	D	POTABLE WATER	
	E	SOLID WASTE	
	F	OTHER UTILITIES	
	G	TRAFFIC	
	Н	PUBLIC SAFETY	
	• •		

ı	SCHOOL FACILITIES	24
J	PARKS & OPEN SPACES	24
K	COMMUNITY FACILITIES	<u>25</u>
L	HISTORICAL ASPECTS	25
M	HISTORICAL ASPECTS	<u>25</u>
N	LOW- AND MODERATE-PRICED HOUSING	25

IMPACT ANALYSIS FOR

LEISURE APARTMENTS

City of Hallandale Beach, Broward County, Florida

1 INTRODUCTION

The owners of the properties located at 213 through 221 S.E. 4th Street, Hallandale Beach, FL 33009 are Leisure Apartments INC. These properties are also described as Lots 24 through 29, Block 2, Hallandale Park No.3, according to the plat thereof as recorded in plat book 6, page 7, of the public records of Broward County. These lots are currently three (3) residential parcels. One parcel is vacant. The two other parcels have one single family house with a driveway located on each parcel. The remainder of the existing properties are low-lying with sod and a number of trees. The developers of this project propose to remove the existing structures and clear the site to construct a new, 3 story, multifamily residential development. This new development will be comprised of twenty four (24) units on a 0.62 acre parcel.

The properties' current land use and zoning designations are Central Regional Activity Center (R.A.C.), Transitional Mixed Use sub-district. The combined lots have an approximate area of 27,000 square feet or 0.62 acres. The proposed development is in conformance with the existing zoning and land use.

The following Impact Analysis describes how this application addresses the design and planning requirements set forth by the City of Hallandale Beach. Furthermore this analysis shows that the proposed development meets the requirements of the land use, zoning and land development code of the City of Hallandale Beach, Florida. All section numbers referenced herein refer to the Section of Article V of the City of Hallandale Beach, Florida.

2 GENERAL INFORMATION - SECTION 32-784

A REQUIRED INFORMATION

B OWNERSHIP

The owner of the properties is LEISURE APARTMENTS, INC. Attached to this application are copies of the deeds for the subject properties.

C MORTGAGES, LIENS AND JUDGEMENT

Attached to this application are the Mortgage and Title Insurance Commitment in reference to the subject property and property owner.

D EXPERIENCE

The Developer has experience working on residential developments in the City of Hallandale Beach. They have already achieved success on site plan approval for the adjacent property to the west.

E FINANCIAL CAPABILITY

The Developer has the financial capability to develop this project as demonstrated by previous residential and commercial developments in Broward County; Hallandale and the City of Miramar respectively.

F BURDEN OF PROOF OF APPLICANT

The Applicant shall work with the City's development review staff to provide any professional planning, engineering or other supporting documentation which will demonstrate compliance with the City code and development regulations.

3 PROFESSIONAL ASSISTANCE - SECTION 32-785

Civil Engineer: Winningham & Fradley, Inc.

111 N.E. 44th Street

Oakland Park, FL 33334 Phone: (954) 771-7440 Fax: (954) 771-0298

Architect: Center for Collaborative Architecture

1424 SW 23rd Street

Miami, FL 33145

Phone: (786) 787-3724

Landscape Architect: FP Design, LLC.

15438 SW 25th Terrace

Miami, FL 33185

Phone: (305) 778-7136

Surveyor: J. Bonfill & Associates

7100 SW 99th Avenue, Suite 104

Miami, FL 33173

Phone: (305) 598-8383

Traffic Engineer: Traf Tech Engineering, Inc.

8400 N University Drive, Suite 307

Tamarac, FL 33321

Phone: (954) 582-0988

4 SITE PLAN REVIEW SUBMISSION REQUIREMENTS - SECTION 32-786

A SCOPE

Please refer to the attached Site Plan, details and supporting documentation for the evaluation of the internal design quality and the physical capacity of the site to accommodate the proposed development.

B GENERAL INFORMATION

The number of required site plan copies and the appropriate filing and review fees have been submitted with the site plan application. The site plan includes all the submittal requirements per Section 32-786 (b)(1 through 4) of the City code.

C CERTIFIED PROPERTY SURVEY

Attached to this application is a Certified Property Survey prepared and certified by J. Bonfill & Associates.

D EXISTING SITE CHARACTERISTICS MAP

Attached to this application is a Site Characteristics Map prepared and certified by J. Bonfill & Associates. For additional information regarding existing utilities and zoning information, please refer to the Site Plan and Conceptual Engineering Plans.

E PROPOSED SITE DEVELOPMENT PLAN

1 Finished Grade:

Please refer to the Conceptual Paving & Drainage Plan for the grading plan.

2 Erosion & Sedimentation, permanent & temporary:

The Temporary Pollution Prevention Plan, Details & Notes which indicate the provisions for adequate control of erosion and sedimentation has been provided within the Site Plan package.

3 Drainage & Storm Water:

Please refer to the Conceptual Paving & Drainage Plan which indicates the provisions for adequate drainage and disposition of natural water and storm water in accordance with the adopted design standards of the City and the County. The plan illustrates the location, size, type and grade of swales, catch basins, pipes and onsite storm water retention systems including proposed drainage wells.

4 Utility Services:

Please refer to the Conceptual Water Distribution & Sewage Collection Plan for the applicable details of the water and wastewater lines and sizes and fire hydrant

locations. The solid waste receptacle locations and capacities are shown on the Site Plan and Site Plan Detail sheets.

5 Proposed Structures:

Please refer to the Site Plan and architectural details regarding the location, use, height, gross floor area, density, number, size and type of residential dwelling units. The total amount and percentage of site area to be utilized for structural coverage has been indicated within the General Site Data Table located on the Site Plan.

6 Vehicular Use Areas:

On-site parking facility and driveways (ingress-egress) have been illustrated on the Site Plan.

7 Proposed Fences, Walls, Screen Planting and Hedges:

Please refer to the Site Pan for locations of the proposed fences & walls. The Screen Planting and hedges are shown on the Landscape Plans.

8 Pedestrian Walkways:

Please refer to the Site Plan for locations of the pedestrian walkways, their type, width and material composition.

9 Open Space & Recreational Areas:

The total amount of area provided for pervious and impervious areas has been tabulated on the Site Plan, Site Data sheet. All additional and required landscaping and details are shown on the Landscape Plans.

10 Signage:

Site signage has been shown on the Site Plan. The site development plans include the location, dimension, height and type of all proposed signage. The proposed signage will be in compliance with Division 17 of the City of Hallandale Beach Code known as the "Sign Code of the City of Hallandale each, Florida." All signage within the site will be properly placed and maintained, promoting traffic and pedestrian safety and aesthetics.

11 Handicapped Design Features:

Please refer to the Site and Architectural Plans for the details of the handicapped design features including ramps & parking spaces. This project will comply with ADA and Fair Housing Accessibility Guidelines.

F OTHER REQUIREMENTS

1 Description of Future Residents

Based upon the average occupancy for a multi-family residential project having 2.5 persons per unit with 24 units, we anticipate that the total population of the proposed development will be 60 people.

2 Architectural Description

The proposed development is a three-story multi-family residential project with 24 units. This project has been designed to maximize the frontage along S.E. 4th Street. By maximizing street frontage, the developer hopes to promote pedestrian traffic along the right-of-way and beautify the street scape. The street scape will be improved by providing green space and landscape material adjacent to and along the right-of-way. Parking facilities are located around the building (North, East, West sides) which allows the building to be located along the street, which assists in screening the parking lot from public view.

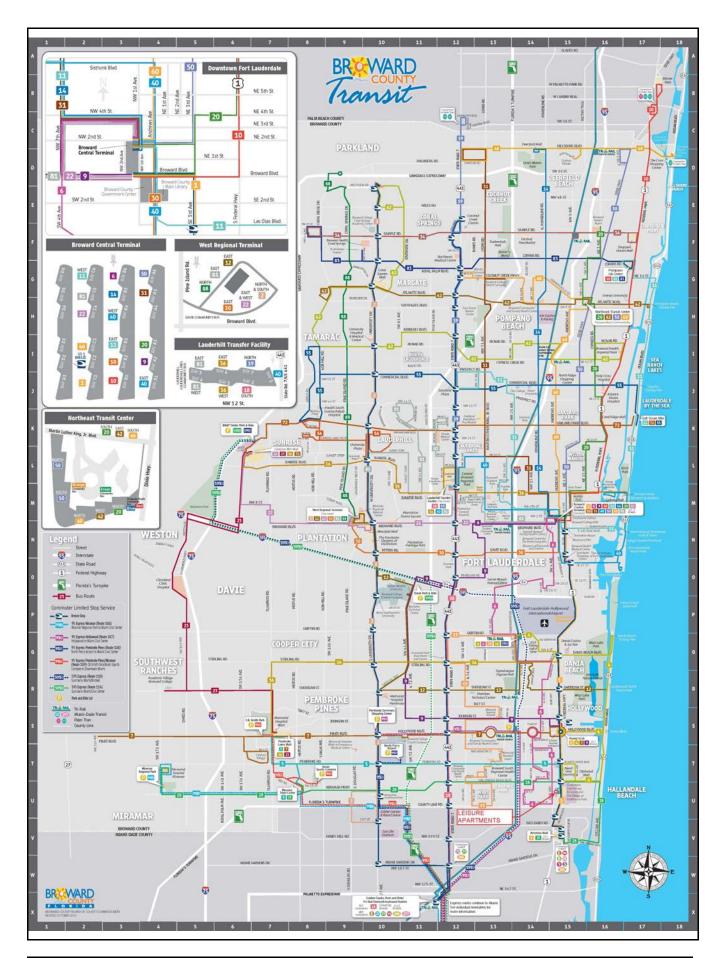
3 Energy Consumption

Energy consumption will be minimized with the use of high efficiency appliances and building materials. In utilizing current building materials, methodology and combined with the small footprint of the proposed structure, a minimum amount of energy will be required to provide adequate amenities to the future 60 residents. Also, the landscaping will assist in shading portions of the building. The developer is proposing high efficiency A/C units and well insulated roof and wall material.

4 Public Mass Transportation Routes and Schedules

Broward County Transit bus route 1 and the US1 Breeze provides service along Federal Highway, located just east of the proposed project. Also, the planned construction of the Tri-rail Coastal Link and proposed location of the station located south of Hallandale Beach Boulevard lies directly west of the proposed project. With these mass transit modes of transportation available to the future residents of this development, the developers are hopeful that the residents will utilize these modes of transportation to reduce carbon emissions that would otherwise result from using their vehicles.

The following pages contain the bus routes and schedules for Broward County Transit and US1 Breeze:



Customer Service

Transit Operations Agents help with:

- Trip planning Routes, times and transfer information

- Identifying Bus Pass sales locations
 Special event information

Lost and Found: 954-357-6414, Monday - Friday, 8:30 am - 4:30 pm

Holiday Bus Service

There is no service on the following observed holidays:

New Year's Day Labor Day Memorial Day Independence Day Thanksgiving Day Christmas Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/ Medicare.* Children (under 40 inches ride FREE)

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth*, Seniors*, Disabled*, Medicare*, College Student*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

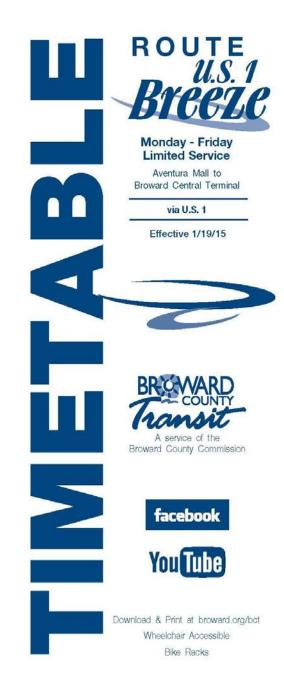
**Premium Express 10 Ride Pass: 10 rides any time, any day. Expires after tenth ride is taken.

**Premium Express 31 Day Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

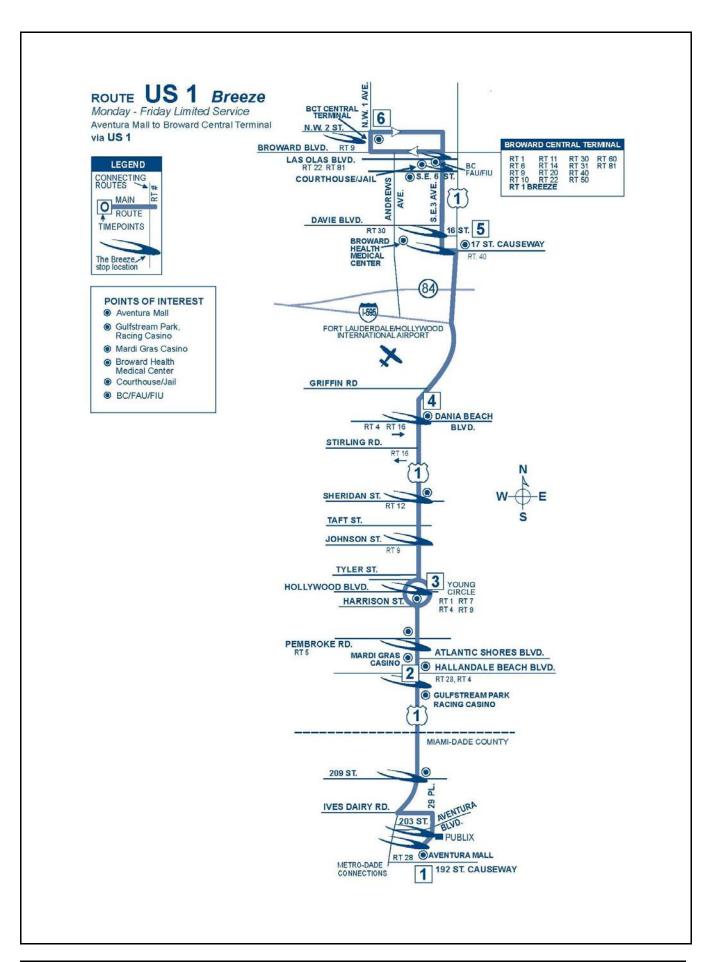
Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

** Premium Bus Pass can be purchased online at broward. org/bct and at select Broward County library locations.



NORTHBOUND SOUTHBOUND To Broward Central Terminal/Aventura Mall From Broward Central Terminal/Aventura Mall BLVD BLVD BROWARD CENTRAL TERMINAL CENTRAL HALLANDALE BCH BLVD & US 1 HALLANDALE BCH **AVENTURA MALI** AVENTURA MAL 17 ST & US 1 S YOUNG CIRCLE YOUNG CIRCLE BEACH BEACH BROWARD C TERMINAL BLVD & US 1 SE17 ST & & US 1 DANIA & US SE 1 2 3 6 3 2 1 4 5 6 5 4 6:01a 6:12a 6:21a 6:32a 6:41a 6:51a 6:21a 6:41a 6:52a 7:01a 6:32a 7:12a 6:41a 6:52a 7:01a 7:13a 7:23a 7:34a 6:10a 6:20a 6:29a 6:41a 6:51a 7:02a 7:01a 7:13a 7:23a 7:35a 7:46a 7:58a 6:30a 6:40a 6:49a 7:01a 7:12a 7:24a 7:21a 7:33a 7:43a 7:56a 8:07a 8:19a 7:41a 7:53a 8:03a 8:16a 8:27a 8:39a 6:50a 7:00a 7:10a 7:23a 7:35a 7:48a 8:01a 8:36a 8:59a 7:10a 7:21a 7:31a 7:44a 7:57a 8:10a 8:13a 8:23a 8:47a 7:30a 7:41a 7:51a 8:04a 8:17a 8:21a 8:33a 8:43a 8:56a 9:07a 9:19a 8:30a 8:41a 8:53a 9:03a 9:16a 9:27a 9:38a 7:50a 8:01a 8:11a 8:24a 8:37a 8:50a 8:10a 8:21a 8:31a 8:44a 8:57a 9:10a 9:01a 9:13a 9:23a 9:36a 9:46a 9:57a 9:21a 9:33a 9:43a 9:55a 10:05a 10:16a 8:30a 8:41a 8:51a 9:04a 9:17a 9:30a 8:50a 9:01a 9:11a 9:24a 9:36a 9:48a 9:41a 9:53a 10:03a 10:15a 10:25a 10:36a 9:10a 9:21a 9:31a 9:44a 9:55a 10:07a 10:13a 10:01a 10:23a 10:35a 10:45a 10:56a 9:51a 10:04a 10:15a 10:27a 10:21a 10:33a 10:43a 10:55a 11:05a 11:16a 9:30a 9:41a 9:50a 10:01a 10:11a 10:24a 10:35a 10:47a 10:41a 10:53a 11:03a 11:15a 11:25a 11:36a 10:10a 10:21a 10:31a 10:44a 10:55a 11:07a 11:01a 11:56a 11:13a 11:23a 11:35a 11:45a 11:21a 11:33a 11:43a 11:55a 12:05p 12:16p 10:30a 10:41a 10:51a 11:04a 11:15a 11:27a 10:50a 11:01a 11:11a 11:24a 11:35a 11:53a 12:03p 12:15p 12:25p 12:36p 11:47a 11:41a 12:35p 12:56p 11:10a 11:21a 11:31a 11:44a 11:55a 12:07p 12:01p 12:13p 12:23p 12:45p 12:21p 12:43p 12:55p 1:05p 1:16p 11:30a 11:41a 11:51a 12:04p 12:15p 12:27p 12:33p 11:50a 12:41p 12:01p 12:11p 12:24p 12:35p 12:47p 12:53p 1:03p 1:15p 1:25p 1:36p 12:31p 12:55p 1:07p 12:10p 12:21p 12:44p 1:01p 1:13p 1:23p 1:35p 1:45p 1:56p 1:55p 2:05p 12:30p 12:41p 12:51p 1:04p 1:15p 1:27p 1:21p 1:33p 1:43p 2:16p 1:41p 12:50p 1:01p 1:11p 1:24p 1:35p 1:47p 2:25p 1:53p 2:03p 2:36p 2:15p 1:21p 2:01p 1:31p 2:13p 2:23p 2:35p 2:45p 2:56p 1:10p 1:44p 1:55p 2:07p 2:55p 3:05p 1:30p 1:41p 1:51p 2:04p 2:15p 2:27p 2:21p 2:33p 2:43p 3:16p 3:25p 1:50p 2:01p 2:110 2:24p 2:35p 2:470 2:41p 2:53p 3:03p 3:15p 3:37p 2:10p 3:01p 3:13p 3:23p 3:35p 3:45p 3:57p 2:21p 2:31p 2:44p 2:55p 3:07p 3:21p 2:30p 2:41p 2:51p 3:04p 3:15p 3:27p 3:34p 3:44p 3:56p 4:06p 4:18p 3:01p 3:24p 4:05p 4:17p 2:50p 3:47p 3:11p 3:35p 3:41p 3:55p 4:27p 4:40n 4:01p 4:15p 4:25p 4:37p 4:48p 5:01p 3:10p 3:21p 3:31p 3:45p 3:56p 4:08p 4:07p 4:21p 4:36p 4:47p 4:59p 5:10p 5:23p 3:30p 3:42p 3:53p 4:18p 4:30p 4:27p 3:50p 4:02p 4:39p 4:51p 4:41p 4:57p 5:08p 5:20p 5:30p 5:43p 4:13p 5:01p 5:28p 5:40p 5:50p 6:03p 4:10p 4:22p 4:34p 4:48p 5:00p 5:12p 5:17p 5:21p 5:37p 5:48p 6:00p 6:10p 6:22n 4:30p 4:42p 4:55p 5:09p 5:21p 5:33p 4:50p 5:41p 5:57p 6:07p 6:19p 6:29p 6:40p G 5:02p 5:150 5:29p 5:41p 5:53n 5:10p 5:22p 5:35p 5:49p 6:01p 6:13p 6:01p 6:15p 6:25p 6:37p 6:47p 6:58p G 5:30p 5:42p 5:55p 6:09p 6:20p 6:32p G 6:44p 6:21p 6:34p 6:56p 7:06p 7:17p G 6:27p 6:38p 6:50p G 5:50p 6:02p 6:13p Times with the letter "G" before them indicate 6:10p 6:22p 6:33p 6:46p 6:57p 7:09p G bus returns to garage. 6:30p 6:41p 6:51p 7:04p 7:27p G 7:15p



For more details on our fares please visit our web site at broward.org/BCT/FaresAndPasses/Pages/FaresPasses.aspx or call customer service: 954,357,8400.

Reading A Timetable - It's Easy

- 1. The map shows the exact bus route.
- Major route intersections are called time points.
 Time points are shown with the symbol
- The timetable lists major time points for bus route.
 Listed under time points are scheduled departure times.
- Reading from left to right, indicates the time for each bus trip.
- Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Information: 954,357,8400

Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BROWARD COUNTY
BOARD OF COUNTY COMMISSIONERS
An equal opportunity employer and provider of services.

20,000 copies of this public document were promulgated at a gross cost of \$780., or \$.039 per copy to inform the public about the Transit Division's schedule and route information. Reprinted 1/15

PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.

TRANSFER POLICY 7/10/11

TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Bail

TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT Systems and premium express bus service

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.



WHEN IT COMES TO OUR SAFETY,
WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS.
BE ALERT.
CALL 954-357-LOOK (5665). TELL US.

Customer Service

Monday - Friday	f	7 an	n-7:45 pm
Saturday, Sunda	av and Holidavs	8:30 ar	n-4:45 pm

Transit Operations Agents help with:

- Trip planning
 Routes, times and transfer information
- Identifying Bus Pass
- sales locations
 Special event information

Lost and Found: 954-357-6414, Monday - Friday, 9:00 am - 4:00 pm

Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day Labor Day Memorial Day Independence Day Thanksgiving Day Christmas Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/ Medicare.* Children (under 40 inches ride FREE)

Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale

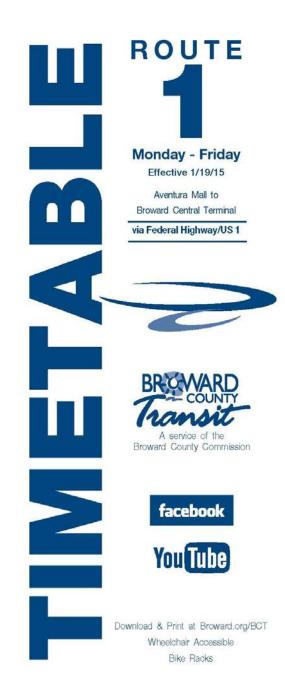
NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

- 10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.
- 7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.
- 31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.
- 31 Day Reduced Pass: Youth*, Seniors*, Disabled*, Medicare*, College Student*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.
- **Premium Express 10 Ride Pass: 10 rides any time, any day. Expires after tenth ride is taken.
- **Premium Express 31 Day Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

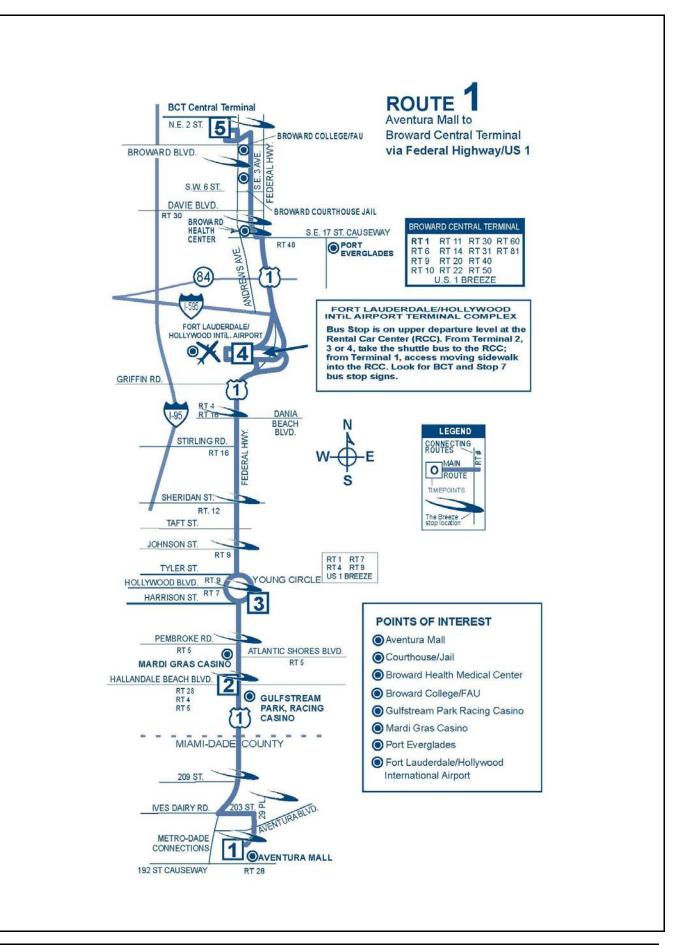
Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

** Premium Bus Pass can be purchased online at Broward. org/BCT and at select Broward County library locations.



ORTHB Broward	OUND d Central Te	erminal			SOUTHE To Aventu				
AVENTURA MALL	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD INTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL	BROWARD CENTRAL. TERMINAL	FTL/HWD INTERNATIONAL AIRPORT	YOUNG CIRCLE	HALLANDALE BCH BLV & US 1	AVENTURA MALL
1	2	3	4	5	5	4	3	2	1
F 15	F.00	5:11a	5:29a	5:51a					
5:18a 5:38a 5:53a 6:13a	5:30a 5:51a 6:06a 6:27a	5:41a 6:02a 6:18a 6:39a	6:01a 6:24a 6:40a 7:01a	6:25a 6:48a 7:04a 7:26a			5:18a	5:29a	5:42a
6:33a	6:47a	6:59a	7:22a	7:48a	5:05a	5:23a	5:48a	6:00a	6:14a
6:53a 7:13a	7:08a 7:28a	7:21a 7:42a	7:45a 8:06a	8:11a 8:32a	5:25a 5:40a	5:44a 6:00a	6:11a 6:28a	6:24a 6:41a	6:38a 6:55a
7:33a	7:49a	8:03a	8:27a	8:52a	6:00a	6:22a	6:50a	7:03a	7:18a
7:53a 8:13a	8:09a 8:29a	8:23a 8:42a	8:46a 9:05a	9:11a 9:29a	6:20a 6:40a	6:42a 7:02a	7:10a 7:31a	7:24a 7:46a	7:40a 8:02a
8:33a	8:48a	9:01a	9:23a	9:47a	7:00a	7:24a	7:54a	8:09a	8:25a
8:53a 9:13a	9:07a 9:27a	9:19a 9:39a	9:41a 10:01a	10:05a 10:25a	7:20a 7:40a	7:45a 8:05a	8:15a 8:35a	8:30a 8:49a	8:45a 9:04a
9:33a	9:47a	9:59a	10:21a	10:45a	8:00a	8:25a	8:54a	9:07a	9:21a
9:53a	10:07a 10:27a	10:19a	10:41a	11:05a	8:20a 8:40a	8:44a 9:04a	9:13a 9:32a	9:26a 9:45a	9:40a 9:59a
10:13a 10:33a	10:27a	10:39a 10:59a	11:01a 11:21a	11:25a 11:45a	9:00a	9:23a	9:51a	10:04a	10:18a
10:53a	11:07a	11:19a	11:41a	12:05p	9:20a	9:43a	10:11a	10:24a	10:38a
11:13a 11:33a	11:27a 11:47a	11:39a 11:59a	12:01p	12:25p 12:45p	9:40a 10:00a	10:03a 10:23a	10:31a 10:51a	10:44a 11:04a	10:58a 11:18a
11:53a	12:07p	12:19p	12:41p	1:05p	10:20a	10:43a	11:11a	11:24a	11:38a
12:13p 12:33p	12:27p 12:47p	12:39p 12:59p	1:01p	1:25p 1:45p	10:40a 11:00a	11:03a 11:23a	11:31a 11:51a	11:44a 12:04p	11:58a 12:18p
12:53p	1:07p	1:19p	1:41p	2:05p	11:20a	11:43a	12:11p	12:24p	12:38p
1:13p 1:33p	1:27p 1:47p	1:39p 1:59p	2:01p 2:21p	2:25p 2:45p	11:40a 12:00p	12:03p 12:23p	12:31p 12:51p	12:44p 1:04p	12:58p 1:18p
1:53p	2:07p	2:19p	2:41p	3:05p	12:20p	12:43p	1:11p	1:24p	1:38p
2:13p	2:27p	2:39p	3:01p	3:26p	12:40p	1:03p	1:31p	1:44p	1:58p
2:33p 2:53p	2:47p 3:08p	2:59p 3:21p	3:22p 3:44p	3:47p 4:09p	1:00p 1:20p	1:23p 1:43p	1:51p 2:11p	2:04p 2:24p	2:18p 2:38p
3:13p	3:28p	3:41p	4:04p	4:30p	1:40p	2:03p	2:31p	2:44p	2:58p
3:33p 3:53p	3:48p 4:09p	4:01p 4:23p	4:25p 4:47p	4:51p 5:13p	2:00p 2:20p	2:23p 2:43p	2:51p 3:11p	3:04p 3:25p	3:19p 3:40p
4:13p	4:29p	4:43p	5:07p	5:33p	2:40p	3:03p	3:32p	3:46p	4:01p
4:33p	4:49p	5:03p	5:27p	5:53p	3:00p	3:24p	3:53p	4:08p	4:24p
4:53p 5:13p	5:09p 5:29p	5:23p 5:43p	5:47p 6:07p	6:13p 6:32p	3:20p 3:40p	3:44p 4:04p	4:13p 4:34p	4:28p 4:49p	4:44p 5:05p
5:33p	5:49p	6:03p	6:26p	6:51p	4:00p	4:25p	4:55p	5:10p	5:26p
5:53p 6:13p	6:08p 6:28p	6:21p 6:41p	6:44p 7:04p	7:09p 7:28p	4:20p 4:40p	4:45p 5:05p	5:15p 5:35p	5:30p 5:50p	5:46p 6:06p
6:33p	6:48p	7:01p	7:23p	7:47p	5:00p	5:25p	5:55p	6:09p	6:24p
6:53p 7:13p	7:07p 7:27p	7:19p 7:39p	7:41p 8:01p	8:05p 8:25p	5:20p 5:40p	5:45p 6:05p	6:15p 6:34p	6:29p 6:48p	6:44p 7:03p
7:13p 7:33p	7:27p	7:59p	8:19p	8:41p G	6:00p	6:24p	6:53p	7:07p	7:21p
7:53p	8:07p	8:18p	8:38p	9:00p	6:20p	6:44p	7:13p	7:26p	7:40p
8:13p 8:33p	8:26p 8:46p	8:37p 8:57p	8:57p 9:15p	9:17p G 9:35p	6:40p 7:00p	7:04p 7:22p	7:32p 7:50p	7:45p 8:03p	7:59p 8:16p
SERVICE .	Wester	5577.53	122. A.	657655	7:20p	7:42p	8:09p	8:21p	8:34p G
9:03p 9:33p	9:15p 9:45p	9:25p 9:55p	9:43p 10:13p	10:03p 10:33p	7:40p 8:00p	8:02p 8:22p	8:28p 8:48p	8:40p 9:00p	8:53p 9:13p
a.oop	9.40µ	9.000	10.130	толоор	8:20p	8:40p	9:06p	9:17p	9:13p
10:03p	10:15p	10:25p	10:43p	11:03p	8:45p	9:05p	9:29p	9:40p	9:52p
10:33p 11:03p	10:45p 11:15p	10:55p	11:13p	11:33p G 12:03a G	9:15p 9:45p	9:33p 10:03p	9:57p 10:27p	10:08p 10:38p	10:20p 10:50p
2.000					10:15p	10:33p	10:57p	11:08p	11:20p G
					10:45p 11:15p	11:03p 11:33p	11:27p 11:57p	11:38p 12:08a	11:50p 0
					Titab	11.330	Hoth	12.000	12.2086



For more details on our fares please visit our web site at Broward.org/BCT or call customer service: 954.357.8400.

Reading A Timetable - It's Easy

- 1. The map shows the exact bus route.
- Major route intersections are called time points.
 Time points are shown with the symbol □.
- The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
- Reading from left to right, indicates the time for each bus trip.
- The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
- Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

Information: 954.357.8400

Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BOARD OF COUNTY COMMISSIONERS An equal opportunity employer and provider of services.

21,000 copies of this public document were promulgated at a gross cost of \$819., or \$.039 per copy to inform the public about the Transit Division's schedule and route information. Reprinted 1/15

TRANSFER POLICY 7/10/11

TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager,

1 N. University Drive, Suite 3100A, Plantation, FL 33324.



WHEN IT COMES TO OUR SAFETY, WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS. BE ALERT. CALL 954-357-LOOK (5665). TELL US.

Customer Service

Transit Operations Agents help with:

- Trip planning
 Routes, times and transfer information
- Identifying Bus Pass sales locations
 Special event information

Lost and Found: 954-357-6414, Monday - Friday, 9:00 am - 4:00 pm

Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day Labor Day Memorial Day Independence Day Thanksgiving Day Christmas Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/ Medicare.* Children (under 40 inches ride FREE)

Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth*, Seniors*, Disabled*, Medicare*, College Student*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

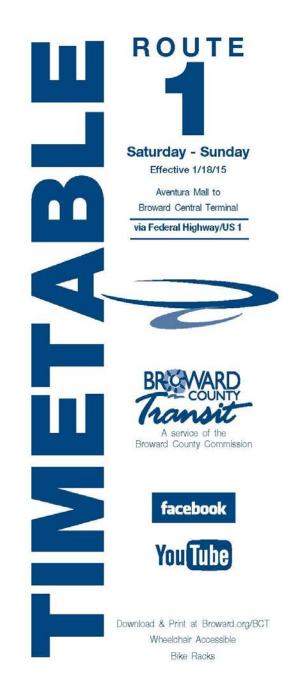
**Premium Express 10 Ride Pass: 10 rides any time, any day. Expires after tenth ride is taken.

**Premium Express 31 Day Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BGT Reduced Fare Photo ID cards.

** Premium Bus Pass can be purchased online at Broward. org/BCT and at select Broward County library locations.



Aventura Mall to Broward Central Terminal

via Federal Highway/US 1

SATURDAY

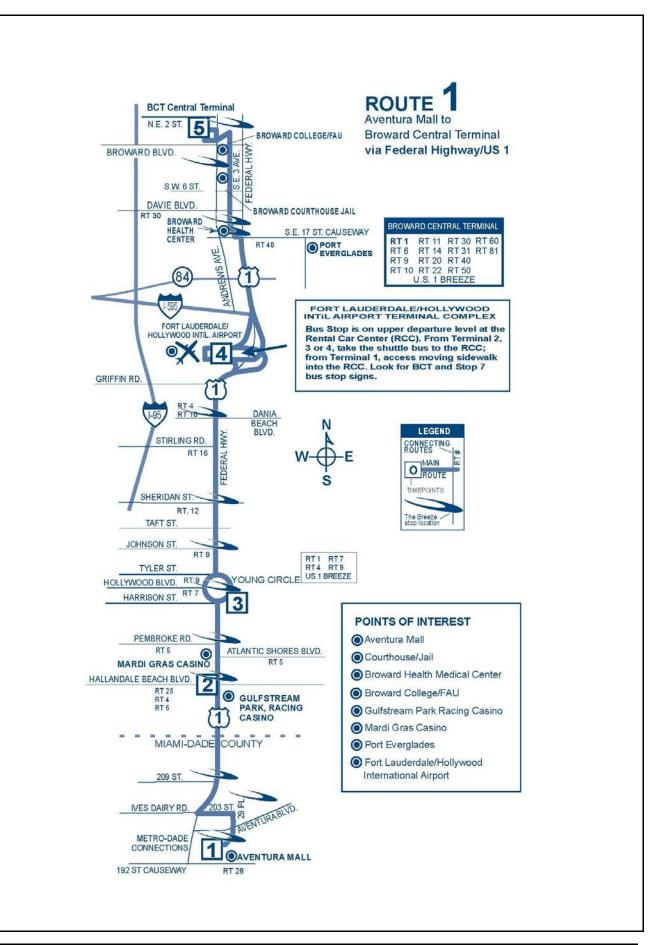
There are additional bus stops in between those listed.

NORTH	HBOUND T	To Broward	Central Ter	minal	SOUTHE	SOUTHBOUND To Aventura Mall					
AVENTURA MALL	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD INTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL	BROWARD CENTRAL TERMINAL	FTL/HWD I NTERNATIONAL AIRPORT	YOUNG CIRCLE	HALLANDALE BCH BLV & US 1	AVENTURA MALL		
1	2	3	4	5	5	4	3	2	1		
5:23a	5:35a	5:45a	6:04a	6:24a							
5:43a	5:55a	6:05a	6:24a	6:44a							
6:03a	6:15a	6:25a	6:44a	7:04a	5:20a	5:38a	6:02a	6:13a	6:25a		
6:23a	6:35a	6:45a	7:04a	7:26a	5:40a	5:58a	6:22a	6:33a	6:45a		
6:43a	6:55a	7:06a	7:27a	7:49a	6:00a	6:18a	6:42a	6:53a	7:05a		
7:03a	7:16a	7:27a	7:48a	8:10a	6:20a	6:38a	7:03a	7:15a	7:28a		
7:18a	7:31a	7:42a	8:03a	8:25a	6:40a	6:58a	7:24a	7:36a	7:49a		
7:33a	7:46a	7:57a	8:18a	8:40a	7:00a	7:20a	7:46a	7:58a	8:11a		
7:48a	8:01a	8:12a	8:33a	8:55a	7:15a	7:35a	8:01a	8:13a	8:26a		
8:03a	8:16a	8:27a	8:48a	9:10a	7:30a 7:45a	7:50a 8:05a	8:16a 8:31a	8:28a 8:43a	8:41a 8:56a		
8:18a	8:31a	8:42a	9:03a	9:26a	8:00a	8:20a	8:46a	8:43a 8:59a	9:13a		
8:33a	8:46a	8:57a	9:19a	9:42a	8:15a	8:35a	9:01a	9:15a	9:29a		
8:48a	9:01a	9:13a	9:35a	9:58a	8:30a	8:50a	9:17a	9:31a	9:45a		
9:03a	9:18a	9:30a	9:52a	10:15a	8:45a	9:06a	9:34a	9:48a	10:02a		
9:18a	9:33a	9:45a	10:07a	10:30a	9:00a	9:22a	9:50a	10:04a	10:18a		
9:33a	9:48a	10:00a	10:22a	10:45a	9:15a	9:37a	10:05a	10:19a	10:33a		
9:48a	10:03a	10:15a	10:37a	11:00a	9:30a	9:52a	10:20a	10:34a	10:48a		
10:03a	10:18a	10:30a	10:52a	11:15a	9:45a	10:07a	10:35a	10:49a	11:03a		
0:18a	10:33a	10:45a	11:07a	11:30a	10:00a	10:22a	10:50a	11:04a	11:18a		
10:33a 10:48a	10:48a 11:03a	11:00a 11:15a	11:22a	11:45a 12:00p	10:15a	10:37a	11:05a	11:19a	11:33a		
11:03a	11:18a	11:30a	11:37a 11:52a	12:16p	10:30a	10:52a	11:20a	11:34a	11:48a		
11:03a	11:33a	11:30a	12:07p	12:31p	10:45a	11:07a	11:35a	11:49a	12:03p		
11:33a	11:48a	12:00p	12:23p	12:47p	11:00a 11:15a	11:22a 11:37a	11:50a 12:05p	12:04p 12:19p	12:18p 12:33p		
11:48a	12:03p	12:16p	12:39p	1:03p	11:30a	11:52a	12:03p	12:35p	12:49p		
12:03p	12:19p	12:32p	12:55p	1:19p	11:45a	12:08p	12:38p	12:52p	1:06p		
12:18p	12:34p	12:47p	1:10p	1:34p	12:00p	12:24p	12:54p	1:08p	1:22p		
12:33p	12:49p	1:02p	1:25p	1:49p	12:15p	12:39p	1:09p	1:23p	1:37p		
12:48p	1:04p	1:17p	1:40p	2:04p	12:30p	12:54p	1:24p	1:38p	1:52p		
1:03p	1:19p	1:32p	1:55p	2:19p	12:45p	1:09p	1:39p	1:53p	2:07p		
1:18p	1:34p	1:47p	2:10p	2:34p	1:00p	1:24p	1:54p	2:08p	2:22p		
1:33p	1:49p	2:02p	2:25p	2:49p	1:15p	1:39p	2:09p	2:23p	2:37p		
1:48p	2:04p	2:17p	2:40p	3:04p	1:30p	1:54p	2:24p	2:38p	2:52p		
2:03p	2:19p	2:32p	2:55p	3:19p	1:45p	2:09p	2:39p	2:53p	3:07p		
2:18p	2:34p	2:47p	3:10p	3:34p	2:00p	2:24p	2:54p	3:08p	3:22p		
2:33p	2:49p	3:02p	3:25p	3:49p	2:15p 2:30p	2:39p 2:54p	3:09p 3:24p	3:23p 3:38p	3:37p 3:52p		
2:48p	3:04p	3:17p	3:40p	4:04p	2:45p	3:09p	3:39p	3:53p	4:07p		
3:03p	3:19p	3:32p	3:55p	4:19p	3:00p	3:24p	3:54p	4:08p	4:22p		
3:18p	3:34p	3:47p	4:10p	4:34p	3:15p	3:39p	4:09p	4:23p	4:37p		
3:33p	3:49p	4:02p	4:25p	4:49p	3:30p	3:54p	4:24p	4:38p	4:52p		
3:48p	4:04p	4:17p	4:40p	5:04p	3:45p	4:09p	4:39p	4:53p	5:07p		
4:03p	4:19p	4:32p	4:55p	5:19p	4:00p	4:24p	4:54p	5:08p	5:22p		
4:18p	4:34p	4:47p	5:10p	5:34p	4:15p	4:39p	5:09p	5:23p	5:37p		
4:33p	4:49p	5:02p	5:25p	5:49p	4:30p	4:54p	5:24p	5:38p	5:52p		
4:48p	5:04p	5:17p	5:40p	6:04p	4:45p	5:09p	5:39p	5:53p	6:07p		
5:03p	5:19p	5:32p	5:55p	6:18p	5:00p	5:24p	5:54p	6:08p	6:22p		
5:18p	5:34p	5:47p	6:10p	6:33p	5:15p	5:39p	6:08p	6:22p	6:36p		
5:33p	5:49p	6:02p	6:24p	6:47p	5:30p 5:45p	5:54p 6:08p	6:22p 6:36p	6:36p 6:50p	6:50p G 7:04p		
5:48p	6:04p	6:16p	6:38p	7:01p	6:00p	6:22p	6:50p	7:04p	7:04p		
6:03p	6:18p	6:30p	6:52p	7:15p G	6:15p	6:37p	7:05p	7:19p	7:33p		
6:18p 6:33p	6:33p 6:48p	6:45p	7:07p 7:22p	7:30p	6:30p	6:52p	7:20p	7:34p	7:48p G		
U.SSU	0.480	7:00p	1.220	7:45p	Oloop	o.och	· · · · · · ·	, lotp	riop a		

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP Times with the letter "G" after them indicate bus returns to garage.

SATURDAY Continued on next page

ORTHB	OUND To	Broward Ce	ntral Termin	al	SOUTI	HBOUND	To Aventura	Mall	
3:53p	7:08p	7:20p	7:42p	8:05p	6:45p	7:07p	7:35p	7:49p	8:03p
7:13p	7:28p	7:40p	8:02p	8:25p	7:00p	7:22p	7:50p	8:04p	8:18p
7:33p	7:48p	8:00p	8:22p	8:45p G	7:20p	7:42p	8:10p	8:24p	8:38p G
7:53p	8:08p	8:20p	8:42p	9:05p	7:40p	8:02p	8:30p	8:43p	8:56p
3:13p	8:28p	8:40p	9:02p	9:25p	8:00p	8:22p	8:50p	9:03p	9:16p
3:33p	8:48p	9:00p	9:21p	9:43p G	8:20p	8:42p	9:09p	9:21p	9:34p G
9:03p	9:16p	9:27p	9:47p	10:08p	8:45p	9:05p	9:31p	9:43p	9:56p
9:33p	9:46p	9:57p	10:16p	10:36p	9:15p	9:35p	10:01p	10:12p	10:24p
0:03p 0:33p 1:03p	10:15p 10:45p 11:15p	10:25p 10:55p 11:25p	10:44p 11:14p 11:44p	11:04p 11:34p G 12:04a G	9:45p 10:15p 10:45p 11:15p	10:05p 10:33p 11:03p 11:33p	10:29p 10:57p 11:27p 11:57p	10:40p 11:08p 11:38p 12:08a	10:52p 11:20p G 11:50p G 12:20a G
SUN	DAY								
ORTHB	OUND To I	Broward Ce	ntral Termin	al	SOUT	HBOUND	To Aventur		
AVENTURA	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD I NTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL	BROWARD CENTRAL TERMINAL	FTL/HWD INTERNATIONAL AIRPORT	YOUNG	HALLANDALE BCH BLV & US 1	AVENTURA
1	2	3	4	5	5	4	3	2	1
6:03a	6:16a	6:25a	6:44a	7:03a	6:00a	6:19a	6:44a	6:55a	7:06a
6:23a	6:36a	6:45a	7:04a	7:23a	6:20a	6:39a	7:04a	7:15a	7:26a
6:43a	6:56a	7:05a	7:24a	7:43a	6:40a	6:59a	7:24a	7:35a	7:46a
7:03a	7:16a	7:25a	7:44a	8:03a	7:00a	7:19a	7:44a	7:55a	8:06a
7:23a	7:36a	7:45a	8:04a	8:23a	7;20a	7:39a	8:04a	8:15a	8:26a
7:43a	7:56a	8:05a	8:24a	8:43a	7;40a	7:59a	8:24a	8:35a	8:46a
8:03a	8:16a	8:25a	8:44a	9:03a	8:00a	8:19a	8:44a	8:55a	9:07a
8:23a	8:36a	8:45a	9:04a	9:24a	8:20a	8:39a	9:04a	9:16a	9:28a
8:43a 9:03a 9:23a	8:56a 9:17a 9:37a	9:06a 9:27a 9:47a	9:26a 9:47a 10:07a	9:46a 10:07a 10:28a	8:40a 9:00a 9:20a 9:40a	8:59a 9:20a 9:40a 10:00a	9:25a 9:46a 10:06a 10:27a	9:37a 9:58a 10:19a	9:49a 10:11a 10:32a
9:43a 10:03a 10:23a 10:43a	9:57a 10:18a 10:38a 10:58a	10:08a 10:29a 10:49a 11:09a	10:29a 10:50a 11:10a 11:30a	10:50a 11:11a 11:31a 11:51a	10:00a 10:20a 10:40a	10:21a 10:41a 11:01a	10:48a 11:08a 11:28a	10:40a 11:01a 11:21a 11:41a	10:53a 11:14a 11:34a 11:54a
11:03a	11:18a	11:29a	11:50a	12:11p	11:00a	11:21a	11:48a	12:01p	12:14p
11:23a	11:38a	11:49a	12:10p	12:31p	11:20a	11:41a	12:08p	12:21p	12:34p
11:43a	11:58a	12:09p	12:30p	12:51p	11:40a	12:01p	12:28p	12:41p	12:54p
12:03p	12:18p	12:29p	12:50p	1:11p	12:00p	12:21p	12:48p	1:01p	1:14p
12:23p	12:38p	12:49p	1:10p	1:31p	12:20p	12:41p	1:08p	1:21p	1:34p
12:43p	12:58p	1:09p	1:30p	1:51p	12:40p	1:01p	1:28p	1:41p	1:54p
1:03p	1:18p	1:29p	1:50p	2:11p	1:00p	1:21p	1:48p	2:01p	2:14p
1:23p	1:38p	1:49p	2:10p	2:31p	1:20p	1:41p	2:08p	2:21p	2:34p
1:43p	1:58p	2:09p	2:30p	2:51p	1:40p	2:01p	2:28p	2:41p	2:54p
2:03p	2:18p	2:29p	2:50p	3:11p	2:00p	2:21p	2:48p	3:01p	3:14p
2:23p	2:38p	2:49p	3:10p	3:31p	2:20p	2:41p	3:08p	3:21p	3:34p
2:43p	2:58p	3:09p	3:30p	3:51p	2:40p	3:01p	3:28p	3:41p	3:54p
3:03p	3:18p	3:29p	3:50p	4:11p	3:00p	3:21p	3:48p	4:01p	4:14p
3:23p	3:38p	3:49p	4:10p	4:31p	3:20p	3:41p	4:08p	4:21p	4:34p
3:43p	3:58p	4:09p	4:30p	4:51p	3:40p	4:01p	4:28p	4:41p	4:54p
4:03p	4:18p	4:29p	4:50p	5:11p	4:00p	4:21p	4:48p	5:01p	5:14p
4:23p	4:38p	4:49p	5:10p	5:31p	4:20p	4:41p	5:08p	5:21p	5:34p
4:43p	4:58p	5:09p	5:30p	5:51p	4:40p	5:01p	5:28p	5:41p	5:54p
5:03p	5:18p	5:29p	5:50p	6:11p	5:00p	5:21p	5:48p	6:01p	6:14p
5:23p	5:38p	5:49p	6:10p	6:31p	5:20p	5:41p	6:08p	6:21p	6:34p G
5:43p	5:58p	6:09p	6:30p	6:51p G	5:40p	6:01p	6:28p	6:41p	6:54p
6:03p	6:18p	6:29p	6:48p	7:08p	6:00p	6:21p	6:48p	7:01p	7:13p
6:33p	6:48p	6:59p	7:18p	7:38p	6:20p	6:41p	7:08p	7:20p	7:32p G
7:03p	7:17p	7:27p	7:47p	8:07p	6:45p	7:06p	7:32p	7:44p	7:56p
7:33p	7:47p	7:57p	8:17p	8:37p	7:15p	7:35p	8:01p	8:13p	8:25p
8:03p	8:17p	8:27p	8:47p	9:07p	7:45p	8:05p	8:31p	8:43p	8:55p
8:33p 9:03p	8:47p 9:16p	8:27p 8:57p 9:25p	9:16p 9:44p	9:35p G 10:03p G	8:15p 8:45p 9:15p	8:35p 9:05p 9:34p	9:01p 9:30p 9:59p	9:12p 9:41p 10:10p	9:23p G 9:52p G 10:21p G



TRANSFER POLICY 7/10/11

TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

For more details on our fares please visit our web site at broward.org/bct

or call customer service: 954.357.8400.

Reading A Timetable - It's Easy

- 1. The map shows the exact bus route.
- Major route intersections are called time points.
 Time points are shown with the symbol □.
- The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
- Reading from left to right, indicates the time for each bus trip.
- The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
- Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

Information: 954.357.8400

Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BOARD OF COUNTY COMMISSIONERS An equal opportunity employer and provider of services.



WHEN IT COMES TO OUR SAFETY, WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS. BE ALERT. CALL 954-357-LOOK (5665). TELL US.

PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.

- Conformity with Broward County Land Use Plan, City's Comprehensive Plan & Platting, Zoning Codes, Ordinances or Regulations
 This development complies with all the sections of Broward County's & the City of Hallandale Beach's Land Use Code.
 - a. City Comprehensive Plan & Land Use Designation:
 All policies under the City's Comprehensive Plan, Objective 1.1 shall be met. The applicant has submitted this pursuant to Policy 1.1.3. The development adheres to all other concurrency items listed therein.
 - Broward County Comprehensive and Land Use Plans:
 This site conforms with the Broward County Comprehensive and Land Use Plans
- Coordination with Agencies having jurisdiction over the development
 All applicable permits and coordination with applicable agencies shall be accomplished prior to the commencement of construction on this property.

IMPACT EVALUATION SUBMISSION REQUIREMENTS - SECTION 32-788

b. SCOPE

After detailed evaluation of the project requirements and the impact to the existing public services and facilities, it was determined that the proposed development will not adversely affect any of the existing public facilities, services and the current levels of service of the City of Hallandale Beach.

c. Ground Water Quality

This project will be designed in accordance with County, State, and Federal provisions for the protection of groundwater quality. This will include provisions required for water quality treatment including on-site retention for the greater of one inch (1") of runoff from the total project area or two and a half inches (2 ½") times the percent impervious as required by Broward County Chapter 27. In addition, the Federal NPDES guidelines will be incorporated in the design for the elimination of pollutant discharges during construction. The storm water system proposed is a series of exfiltration trenches and pollution retardant devices within the catch basins with ultimate discharge to on-site drainage wells.

d. Waste Water

The City sends it wastewater to the City of Hollywood Southern Regional Wastewater Treatment Plant (WWTP) located at 1621 North 14th Avenue in Hollywood, Florida. The plant is currently permitted to treat 48.75 MGD had has a utilized capacity (existing and committed flow) of 41.94 MGD. This means that the plant is 86% committed capacity. Due to the small demand projected for this development, the City most likely will approve the additional connections required for this development.

Existing single family homes flow of 2 units x 350 gpd = 700 gpd. New multi-family residential units flow of 24 units x 250 gpd = 6,000 gpd. The net increase in flow is 5,300 gpd.

Proposed sewer discharge is into the existing 8-inch gravity system along S.E. 4th Street, on the south side of the project.

e. Potable Water

The City of Hallandale Beach Water plant, located at 215 NW 6th Avenue, currently has adequate potable water supply to serve this site.

Existing single family flow of 2 units x 350 gpd = 700 gpd.

New multi-family residential units flow of 24 units x 350 gpd = 8,400 gpd.

The net increase in flow demand is 7,700 gpd.

Proposed water meter connection(s) will be to the existing 8-inch water main along SE 4th Street on the south side of the project.

f. Solid Waste

As this project is a residential development, the normal amount of refuse will be generated by the population of this 24 unit development. Refuse and recyclables will be collected within the dumpster enclosures to be picked up by the sanitation division of the City of Hallandale Beach.

g. Other Utilities

Other Utility companies having franchises within this area include FP&L, AT&T, Comcast Cable TV, and TECO Gas. All of these utility companies that currently serve the immediate area, are not expected to burden the existing infrastructure of these utility companies.

h. Traffic

A traffic impact analysis is attached to this report. Please refer to the supporting documents prepared by TrafTech.

i. Public Safety

There are three fire stations within the city of Hallandale Beach available to serve the site at the following locations:

- 1. Fire Station #7 121 SW 3rd Street. Fire Station #7 houses several fire suppression and emergency medical units. From this station, Rescue #7, Engine #7, Quint #7 and Battalion Chief #7 respond to calls in their assigned zone. This station provides housing for emergency personnel 24 hours a day, 7 days a week.
- 2. Fire Station 60 2801 E. Hallandale Beach Boulevard. Fire Station #60 is located under the water tower on North Beach. From this station, Rescue #60 and Engine #60 respond to emergencies on South Ocean Drive. This station is also staffed 24 hours a day, 7 days a week.
- 3. Fire Station 90-101 Three Island Boulevard. Fire Station #90 houses a single rescue unit. Rescue #90 responds to medical calls in their zone, as well as fire calls and motor vehicle crashes. Station #90 is fully staffed 24 hours a day, 7 days a week.

The City of Hallandale Police Department provides police service within this service. It is not anticipated that the proposed development will provide additional demand on police service in this area, assuming that conforms with the C.P.T.E.D. criteria is adhered to.

Entrances and exits shall be clearly defined by walkways and signage. Parking areas, access

points and walkways shall be well lit.

j. School Facilities

This project contains 24 units. School facilities impacts will be offset by paying the concurrency fee to Broward County.

k. Parks and Open Spaces

This project will contribute a minimal amount of visitor traffic and is not expected to cause any significant problems to the existing infrastructure of the City's Parks and Open Spaces.

The City currently has 58.76 acres of public parks and open spaces and 106.68 acres of public waterways. Below is a listing of the parks and open spaces in the vicinity of the project.

Peter Bluesten Park, 501 Southeast 1st Avenue

Fifteen-acre facility consisting of a community center, tennis courts, racquet courts, outdoor basketball courts, sand volleyball courts, ball fields, in-line skating area, concession stand and a playground.

B.F. James Park, 101 Northwest 9th Street

Two-acre park with playground, baseball field, outdoor basketball courts and pavilion.

Foster Park, 609 Northwest 6th Avenue

One-acre park with playground, outdoor basketball court, pavilion and community center.

Golden Isles and Tennis Complex, Egret Drive and Layne Boulevard

This facility contains a tot lot, pavilion, basketball court, tennis complex and walking trail.

Ingalls Park, 735 Southwest 1st Street

This 4.6-acre park houses a community center, fitness trail, pavilions, gazebo and playground area.

Oresta Blake Johnson Park, 900 Northwest 8th Avenue

This park is a 4.5-acre facility that consists of a gymnasium, recreation rooms, tennis courts, racquetball courts, outdoor basketball courts, fields, in-line skating area, concession stand and a playground.

Joseph Scavo Park, 900 Three Island Boulevard

This Seven-acre facility includes a walking trail, benches and a tot lot.

I. Community Facilities

This project is not expected to have any negative impacts on the following four City's community facilities:

- 1. Hallandale Beach Cultural Community Center
- 2. Hallandale Beach YMCA Family Center
- 3. BF James Park and Municipal Swimming Pool
- 4. Broward County Library located at 300 Federal Highway
- m. Historical Aspects

There are no known historical or archeological sites which currently existing on this property.

n. Scenic Vistas

There are no observable scenic vistas from the existing property.

o. Low- and Moderate-Priced Housing

This project's 24 units will contribute to the City's inventory of moderate-priced housing.

J:\2019\19031-Leisure Apartments\WP\Impact Analysis\Leisure Apartments - Impact Analysis.wpd