

EXHIBIT "4"



# LEISURE APARTMENTS

215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009



CENTER FOR  
COLLABORATIVE  
ARCHITECTURE

1424 SW 23 St, Miami, FL 33145  
Ph: 786-487-3724  
Email: general@ccadesign.net  
AA26001348





215 SE 4TH ST,  
HALLANDALE BEACH, FLORIDA 33009

# DRC PRESENTATION - FEBRUARY 1, 2021



Contact: Victor E Taurizano,

CONTACT: Jorge Castro, RA

CONTACT: Fabio Perez

Contact: Juan J. Bedoya, P.E.

Contact: Justine Bonito, PE

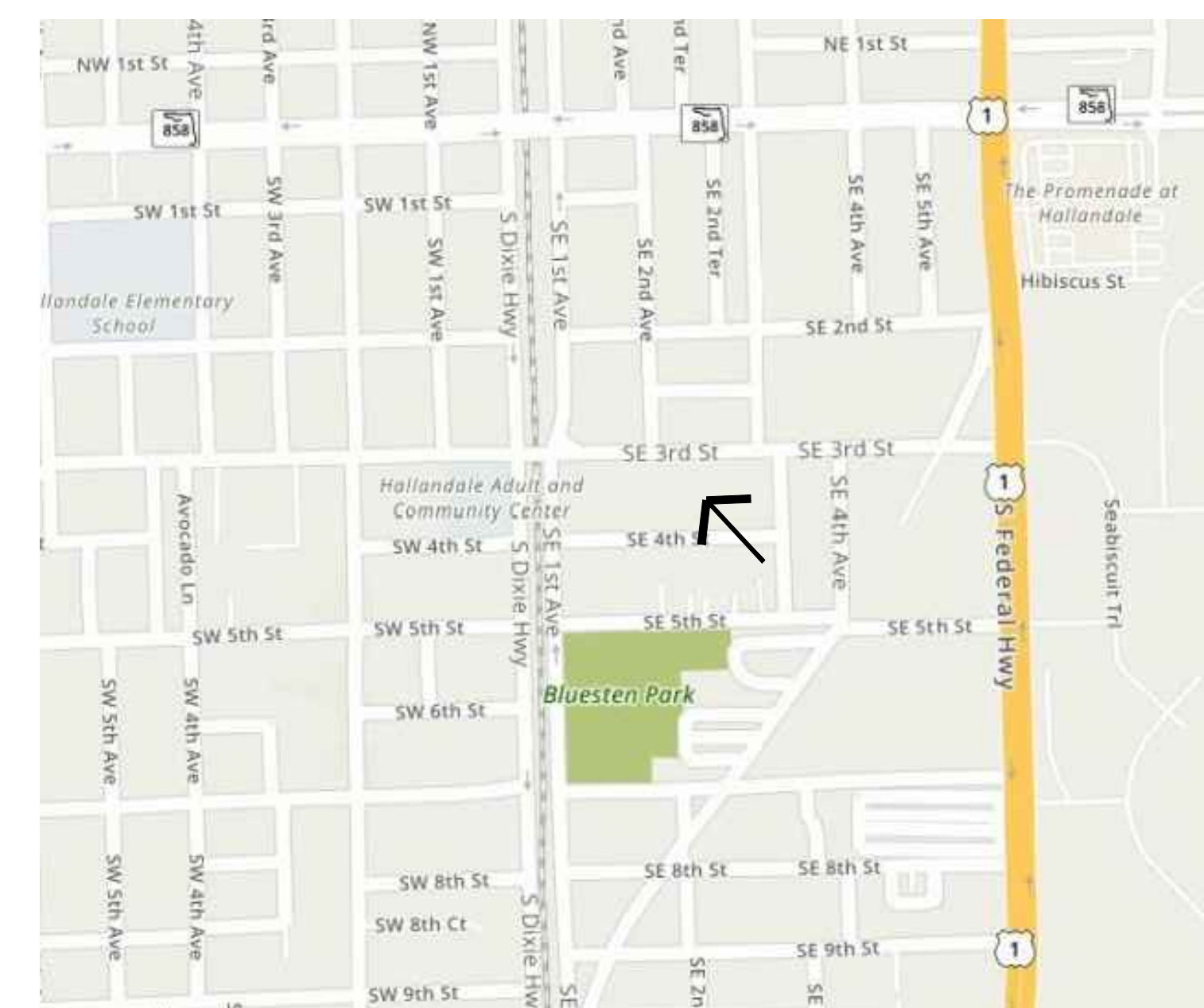
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## 04 DRAWING LIST

SCALE: AS NOTED



14 AREA MAP  
SCALE: AS NOTED



19 PROPERTY AERIAL PHOTO  
SCALE: AS NOTED

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△	DRC COMMENTS	12-16-20
△	DRC COMMENTS	02-01-21

**LEISURE  
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COVER SHEET  
AREA MAP &  
AERIAL PHOTO

NOTE:

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

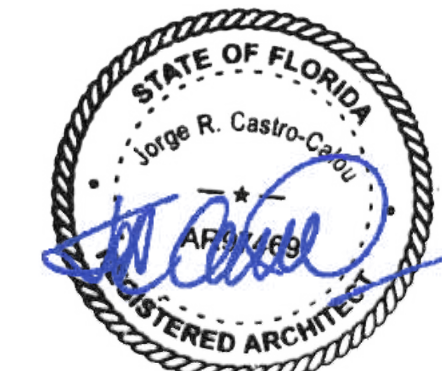
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Project number \_\_\_\_\_  
 Drawn by \_\_\_\_\_  
 Scale \_\_\_\_\_





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ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469



OWNER: **LEISURE APARTMENTS INC**  
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**HALLANDALE, FL 33009**

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PROJECT INFO:

# PROPERTY SURVEY

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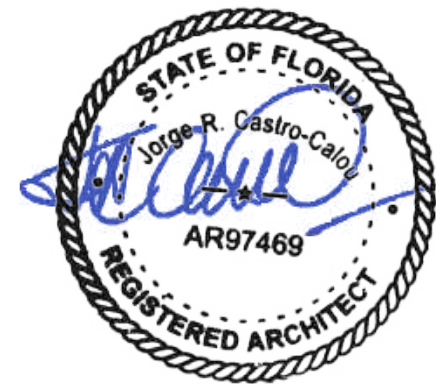




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△	DRC COMMENTS	02-01-21



LEISURE APARTMENTS  
215 SE 4TH ST,  
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FLORIDA 33009

PROJECT INFO:

RENDERINGS

DRAWING INFO:

NOTES:  
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CONTRACTORS SHALL VERIFY ALL MEASUREMENTS WITH THE ARCHITECT AND  
ARCHITECT'S FIELD REPRESENTATIVE. THE ARCHITECT SHALL BE RESPONSIBLE FOR  
COORDINATING WITH THE ENGINEER AND CONSULTING ENGINEER IN THESE  
DRAWINGS.  
SHOWN DETAILS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE  
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CONSTRUCTION.

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Scale



06 RENDERING  
SCALE: NTS



08 RENDERING  
SCALE: NTS



16 RENDERING  
SCALE: NTS



18 RENDERING  
SCALE: NTS









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PROJECT INFO:

ZONING & TRANSPORTATION MAP

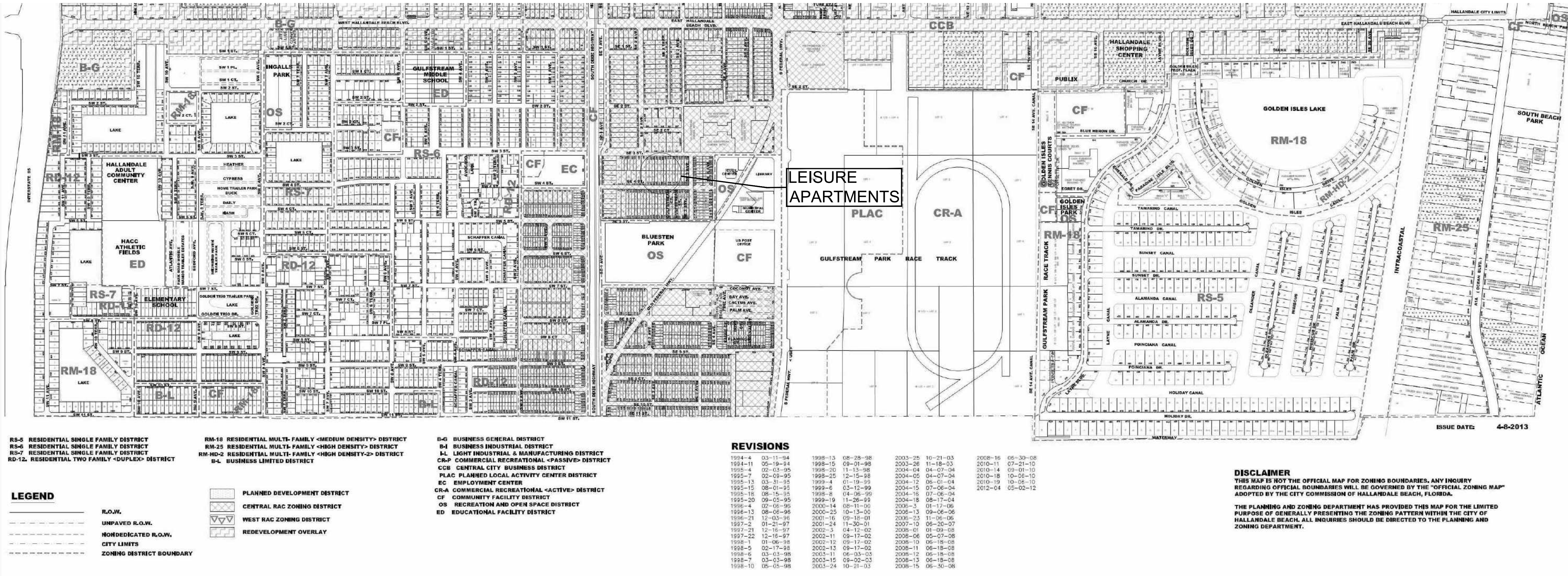
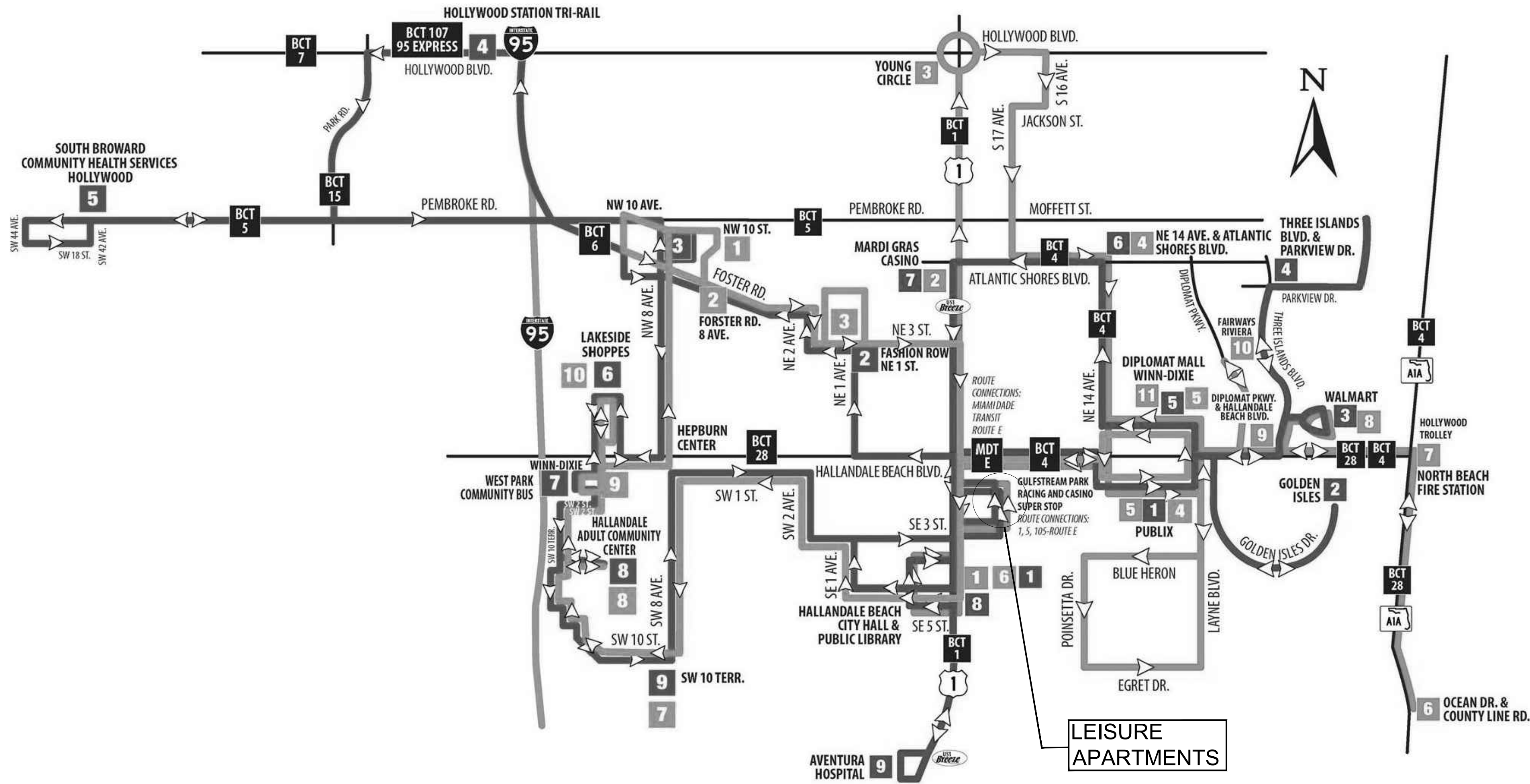
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Scale

16 TRANSPORTATION MAP HALLANDALE BEACH

SCALE: NTS



16 ZONING MAP HALLANDALE BEACH

SCALE: NTS



SITE & BUILDING INFORMATION

Table 32-196(a)		
Transit Core Subdistrict Dimensional Requirements		
Lot Size	REQUIRED	PROPOSED
Lot Width	50 ft. min.	180 feet
Lot Area	5000 sf. min./100,000 max.	26,991 Gross s.f. 26,389.8 Nets s.f.
Lot Coverage	95% max.	82.99%
Minimum Landscape Area	5%	17.01%
Building Placement		
	10 ft. min./	N/A
Primary Street Setback	15 ft. max.	
A Secondary Street Setback	10 ft. min.	9 ft. to balconies *
B Street Above the 5 <sup>th</sup> Story	20 ft.	N/A
Interior Side Setback	0 ft. min.	1 foot
C Adjacent to residential	10 feet	20 feet
D Side Above the 5 <sup>th</sup> Story	30 ft. min.	N/A
E Rear Setback	10 ft. min.	73 feet
F Rear Above the 5 <sup>th</sup> Story	20 ft. min.	N/A
G Bldg Frontage on Primary Streets	75% min.	N/A
Building Size & Height		
Min. Height Primary Streets	2 Stories, or 1 Story 20 ft. high	N/A
Base Building Height Limit	5 Stories	3 stories
Maximum Height Limit	8 Stories	3 stories
Density		
Base Density	18 du/ac	N/A
Max. Density	50 du/ac	39.62 DU/AC**
Civic Open Space Requirement		
Sites Greater than 40,000 sq. ft.	5%	N/A
All Sites Exceeding Base Density or Base Height Limit	7.50%	0%*

\* Waiver Required  
\*\* Affordable Housing - 15% of the units must be designate as affordable or a contribution to the City's Affordable Housing Fund is required.

PARKING CALCULATIONS

UNIT MIX PER LEVEL	Efficiency	1Bed	2 Bed	Units/Floor
1st level	0	0	2	2
2nd level	0	9	2	11
3rd level	0	9	2	11
Total Units	0	18	6	24
PARKING CALCULATIONS				
Unit Type	# Units	Parking/Unit	Total Parking	
2 Bed	6	1.75	10.50	
1 Bed	18	1.25	22.50	
Efficiency	0	1.00	0.00	
	24		33.00	
Guest Parking				
1st 20 Units	20	0.5	10	
21 to 51 Units	4	0.3	1.2	
			11.2	
Total Parking Units + Guest Required				44.2
Total Parking Units + Guest Provided				45
HC Parking Included				2

UNIT AREA INFORMATION

Floor	Unit #	2B/2B	1B/1B	Balcony	Total
Ground Floor	A	1,335			1,335
	B	1,335			1,335
2nd Level	A		944	49	993
	B		768	50	818
	C		768	50	818
	D		768	50	818
	E		768	50	818
	F		944	49	993
	G	1,313		60	1,373
	H		768	50	818
	I		900	49	949
	J		900	49	949
	K	1,313		60	1,373
3rd Level	A		944	49	993
	B		768	50	818
	C		768	50	818
	D		768	50	818
	E		768	50	818
	F		944	49	993
	G	1,313		60	1,373
	H		768	50	818
	I		900	49	949
	J		900	49	949
	K	1,313		60	1,373
Total		7,922	15,056	1,132	24,110

BUILDING AREA PER LEVEL

Floor	Total Units	Balconies	Corr./Lobby	Stair & Elev	MEP/Sto	Garage	Totals
Ground FL	2,670	0	1,448	520	1,071	6,270	11,979
2nd FL	10,154	566	1,082	363	107	0	12,272
3rd FL	10,154	566	1,082	363	107	0	12,272
Roof							
Total	22,978	1,132	3,612	1,246	1,285	6,270	36,523

UNIT MINIMUM SIZE

UNIT MINIMUM SIZE	MIN. REQUIRED	MIN. PROVIDED
Table 32-194(b)		
1 Bedroom Unit	700 SF	768 SF
2 Bedroom Unit	850 SF	1313 SF

BUILDING ENTRANCES

DIMENSIONAL REQUIREMENTS FOR STOOPS			
TABLE 32-201 (c)			
DEPTH	REQUIRED	PROVIDED	
	5' MIN. / 8' MAX.	5'-0"	
WIDTH	REQUIRED	PROVIDED	
	4' MIN. / NO MAX.	9'-0"	
FLOOR ELEV.	REQUIRED	PROVIDED	
MAX. SETBACK ENCROACHMENT	1' MIN. / 4' MAX.	1'-0"	
	5' MAX.	3'-6"	

PROPERTY INFORMATION

LOT A  
PROPERTY ADDRESS  
213 SE 4TH STREET, HALLANDALE BEACH, FL 33009  
FOLIO NBR. 514227160290  
LEGAL DESCRIPTION  
HALLANDALE PARK NO 3 6-7 B LOT 28,29 BLK 2

LOT B  
PROPERTY ADDRESS  
215 SE 4TH STREET, HALLANDALE BEACH, FL 33009  
FOLIO NBR. 514227160280  
LEGAL DESCRIPTION  
HALLANDALE PARK NO 3 6-7 B LOT 26,27 BLK 2

LOT C  
PROPERTY ADDRESS  
SE 4TH STREET, HALLANDALE BEACH, FL 33009  
FOLIO NBR. 514227160271  
LEGAL DESCRIPTION  
HALLANDALE PARK NO 3 6-7 B LOT 24 & 25 BLK 2

SITE NOTES

- PER SECTION 32-194(A)(7) UNITS MUST HAVE THE FIRST HABITABLE FLOOR ELEVATED TO AT LEAST 18 INCHES ABOVE THE HIGHEST CROWN OF THE ROAD OF ALL ADJOINING STREETS OR REGULATORY FREEBOARD ABOVE THE BASE FLOOD ELEVATION(BFE), WHICHEVER IS HIGHER. CONSIDERING THAT IN THIS PROPERTY THE BFE IS HIGHER (6.00) THE FIRST HABITABLE STORY FOR THIS PROJECT HAS BEEN ESTABLISHED AT 7.50.
- ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D)

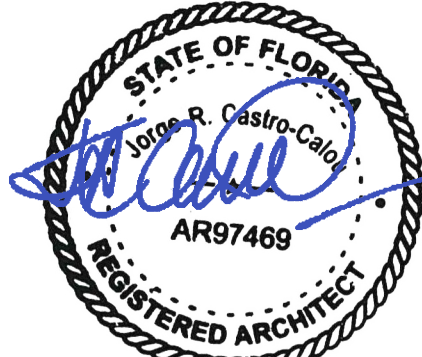
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PROJECT INFO:

DRAWING INFO:

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**215 SE 4TH ST,**  
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PROJECT INFO:

**FLOOR PLAN  
LEVEL 1**

DRAWING INFO:

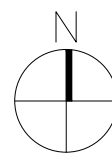
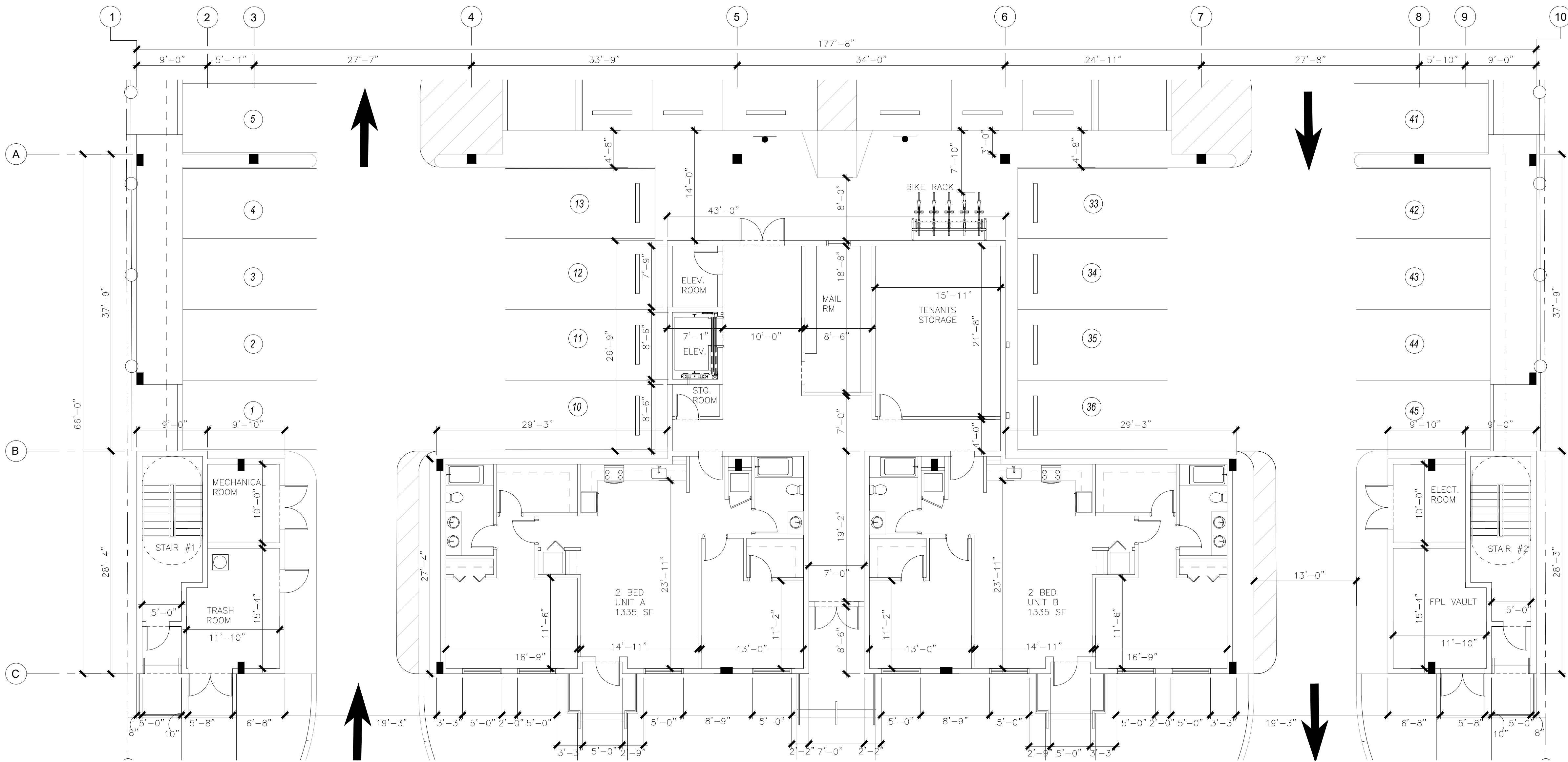
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AND (INCLUDES) THE NEW YORK, AND ANY OTHER APPLICABLE CODES, ORDINANCES AND  
REGULATIONS FROM THE JURISDICTION AND COMPLYING WITH ALL APPLICABLE  
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Scale

A1.01



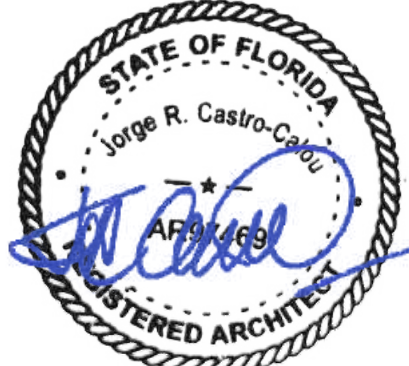




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**LEISURE  
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PROJECT INFO:

**FLOOR PLAN  
LEVEL 2 & 3**

DRAWING INFO:

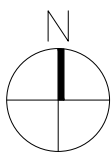
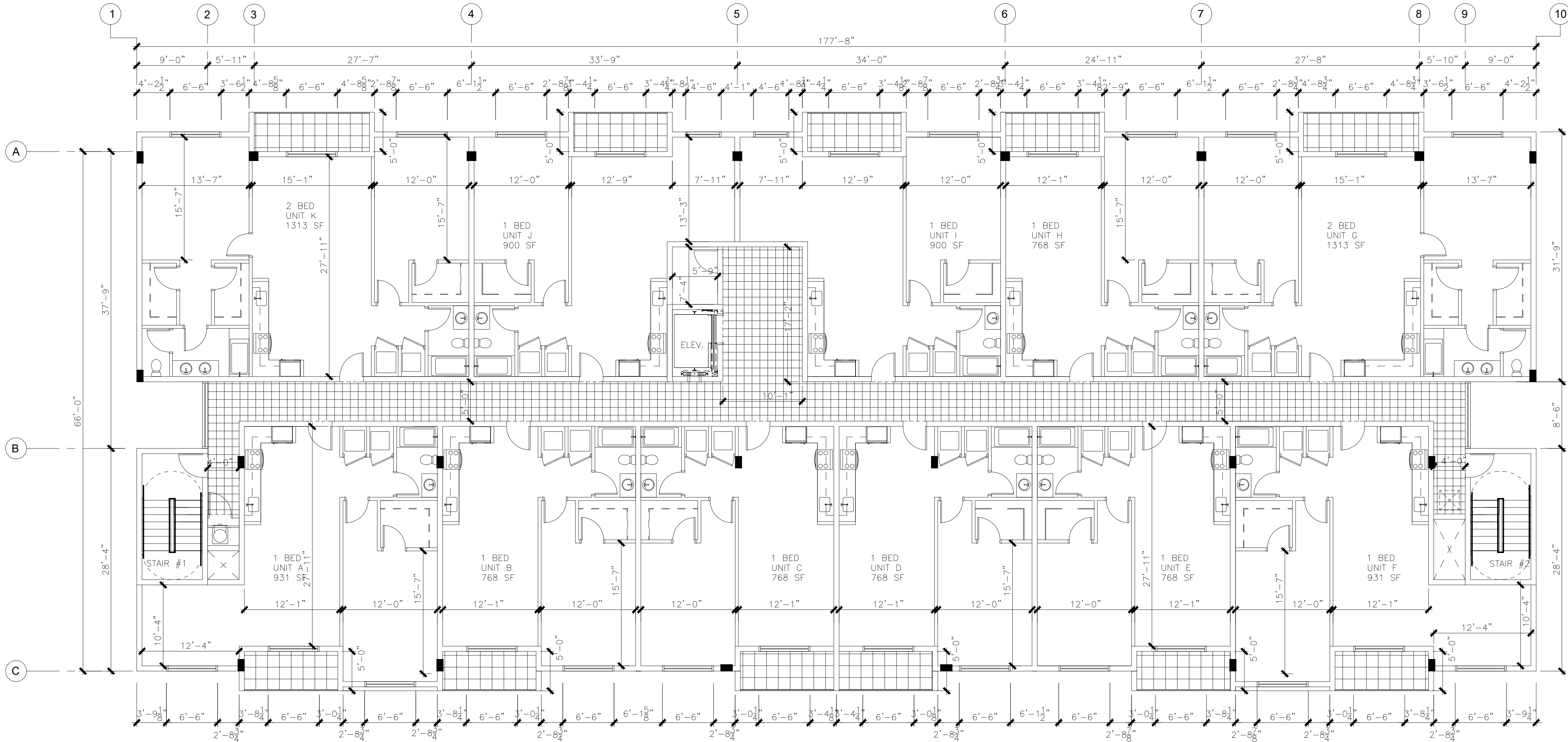
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AS-BUILT DIMENSIONS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION.

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A1.02



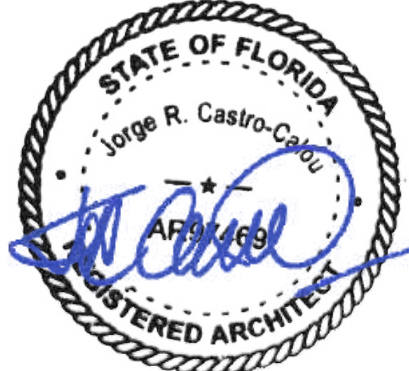




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PROJECT INFO:

ROOF PLAN  
LEVEL 4

DRAWING INFO:

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A1.03

CALCULATION FOR STORM DRAIN #1
4" STORM DRAIN AREA= 1912 SQ/FT PERIMETER = 144' PARAPET = 4' 4/2=2 144X2=288 1912 + 288 = 2200 SQ/FT = 115 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

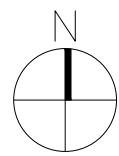
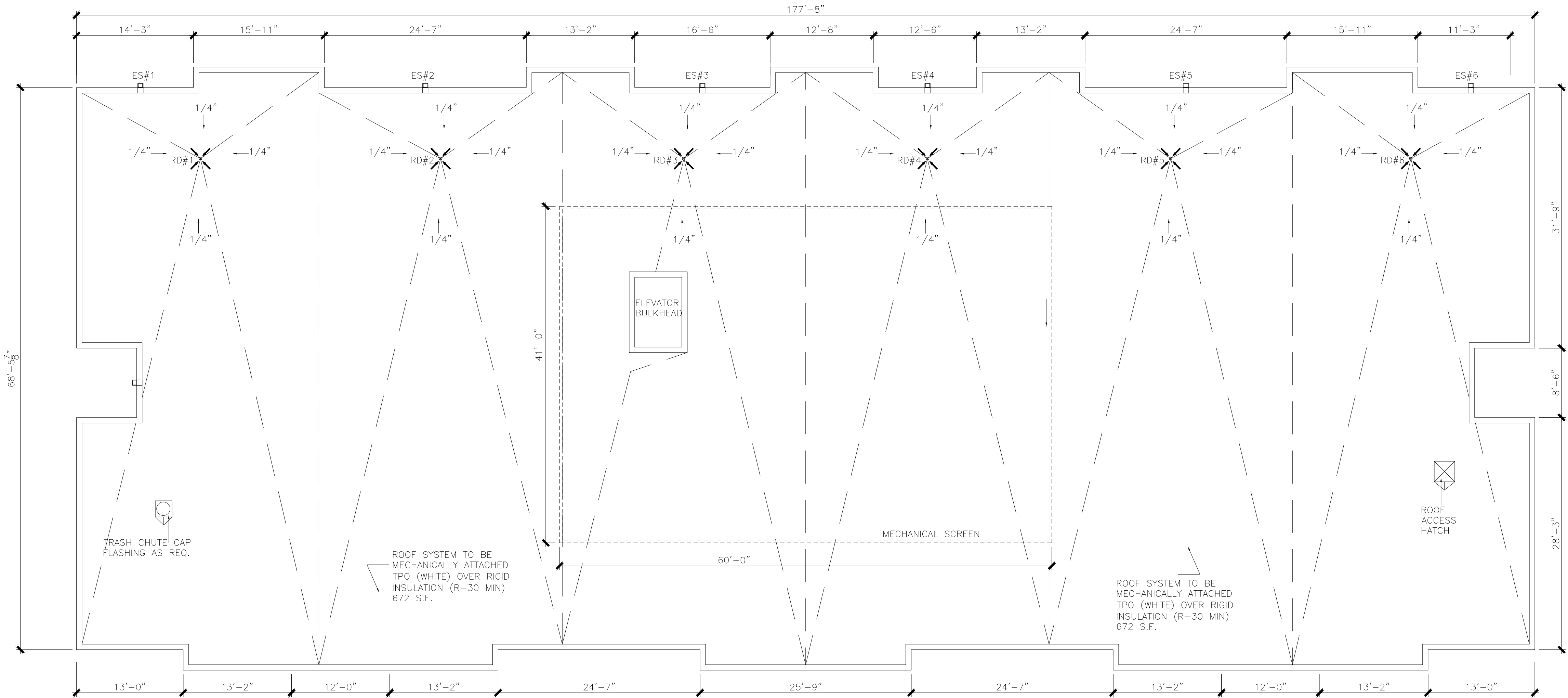
CALCULATION FOR STORM DRAIN #2
4" STORM DRAIN AREA= 2028 SQ/FT PERIMETER = 62' PARAPET = 4' 4/2=2 62X2=124 2028 + 124 = 2152 SQ/FT = 112 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #3
4" STORM DRAIN AREA= 2027 SQ/FT PERIMETER = 63' PARAPET = 4' 4/2=2 63X2=126 2027 + 126 = 2153 SQ/FT = 112 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

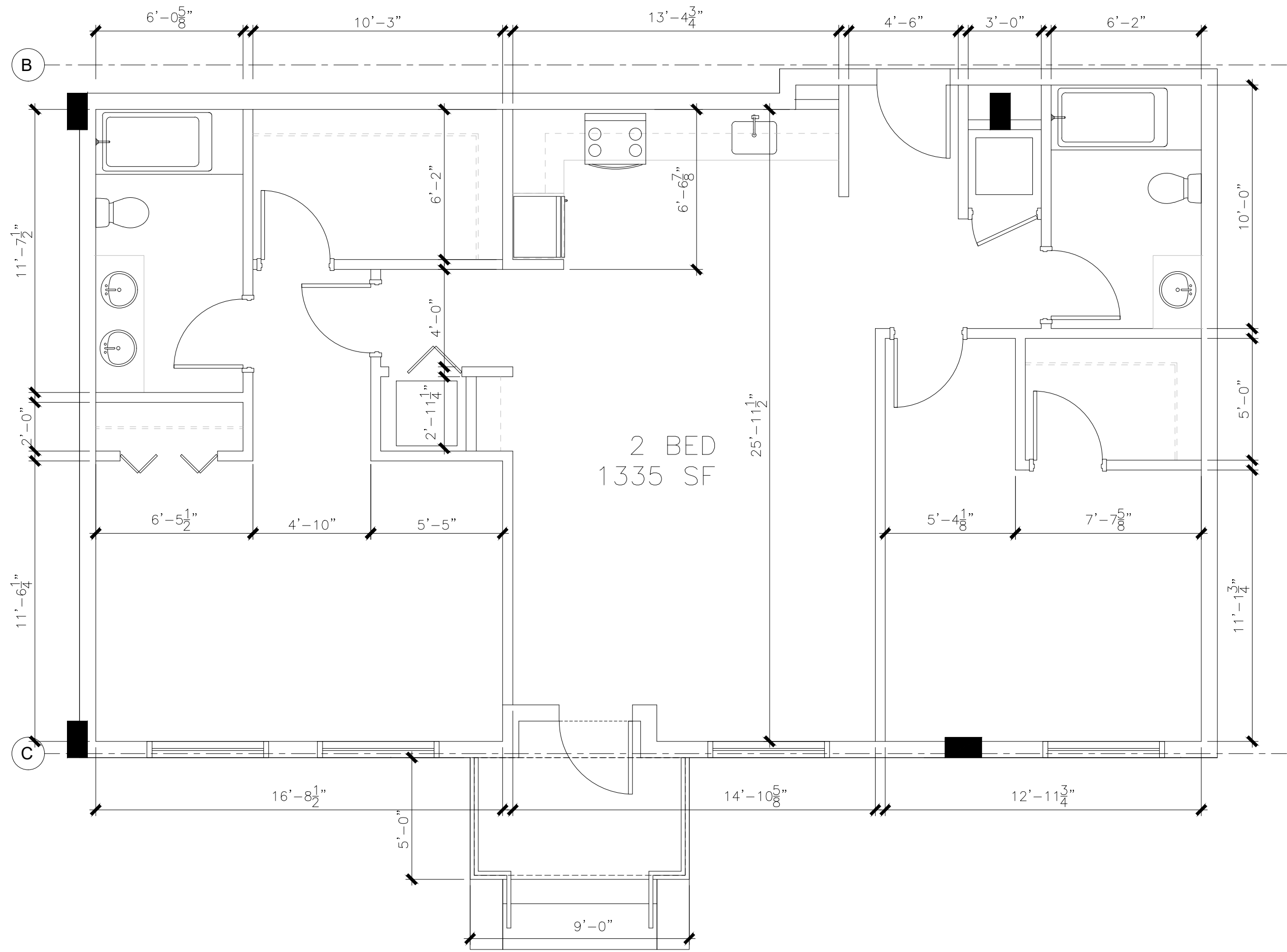
CALCULATION FOR STORM DRAIN #4
4" STORM DRAIN AREA= 2034 SQ/FT PERIMETER = 63' PARAPET = 4' 4/2=2 63X2=126 2034 + 126 = 2160 SQ/FT = 113 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #5
4" STORM DRAIN AREA= 2028 SQ/FT PERIMETER = 62' PARAPET = 4' 4/2=2 62X2=124 2028 + 124 = 2152 SQ/FT = 112 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

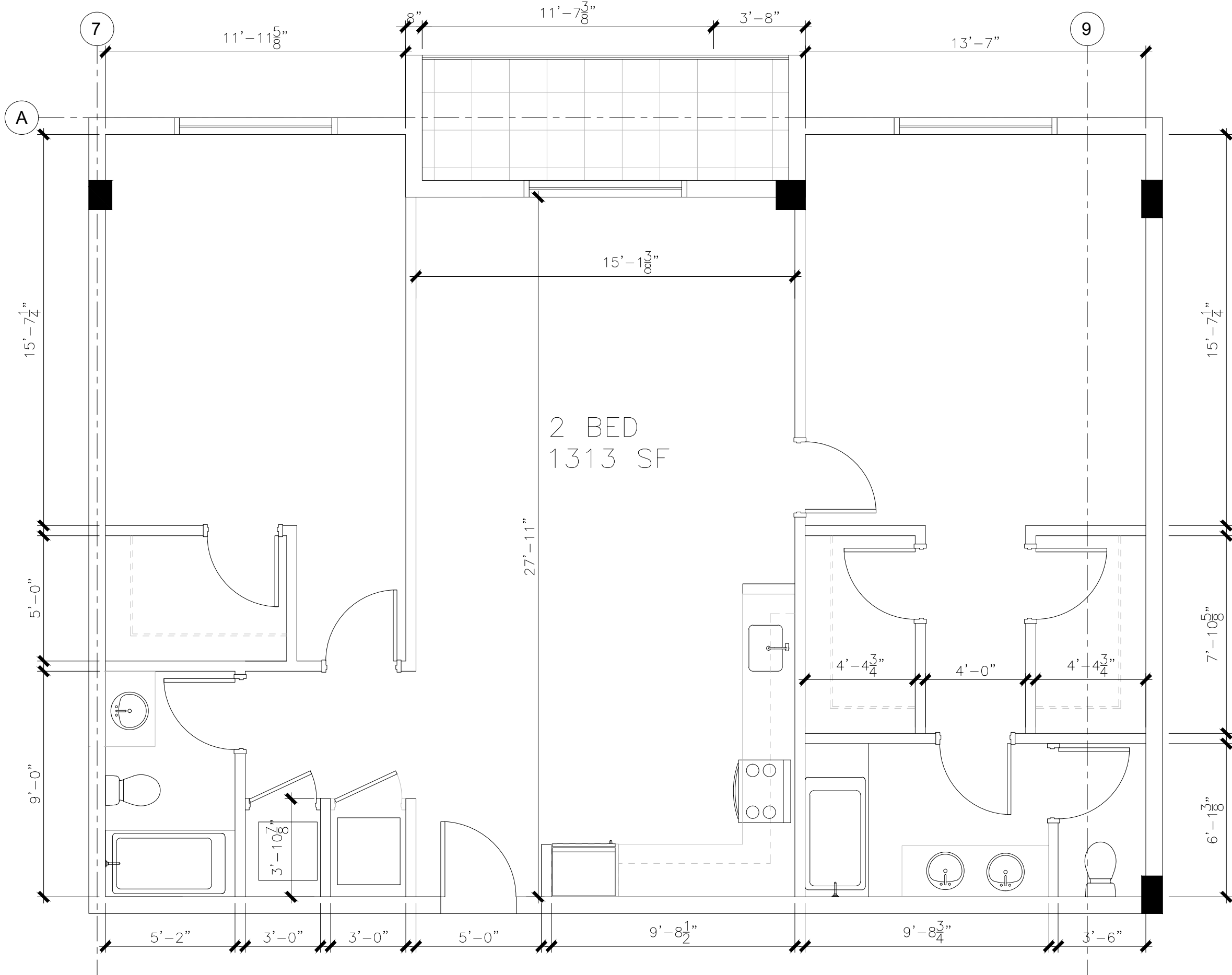
CALCULATION FOR STORM DRAIN #6
4" STORM DRAIN AREA= 1912 SQ/FT PERIMETER = 144' PARAPET = 4' 4/2=2 144X2=288 1912 + 288 = 2200 SQ/FT = 115 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3



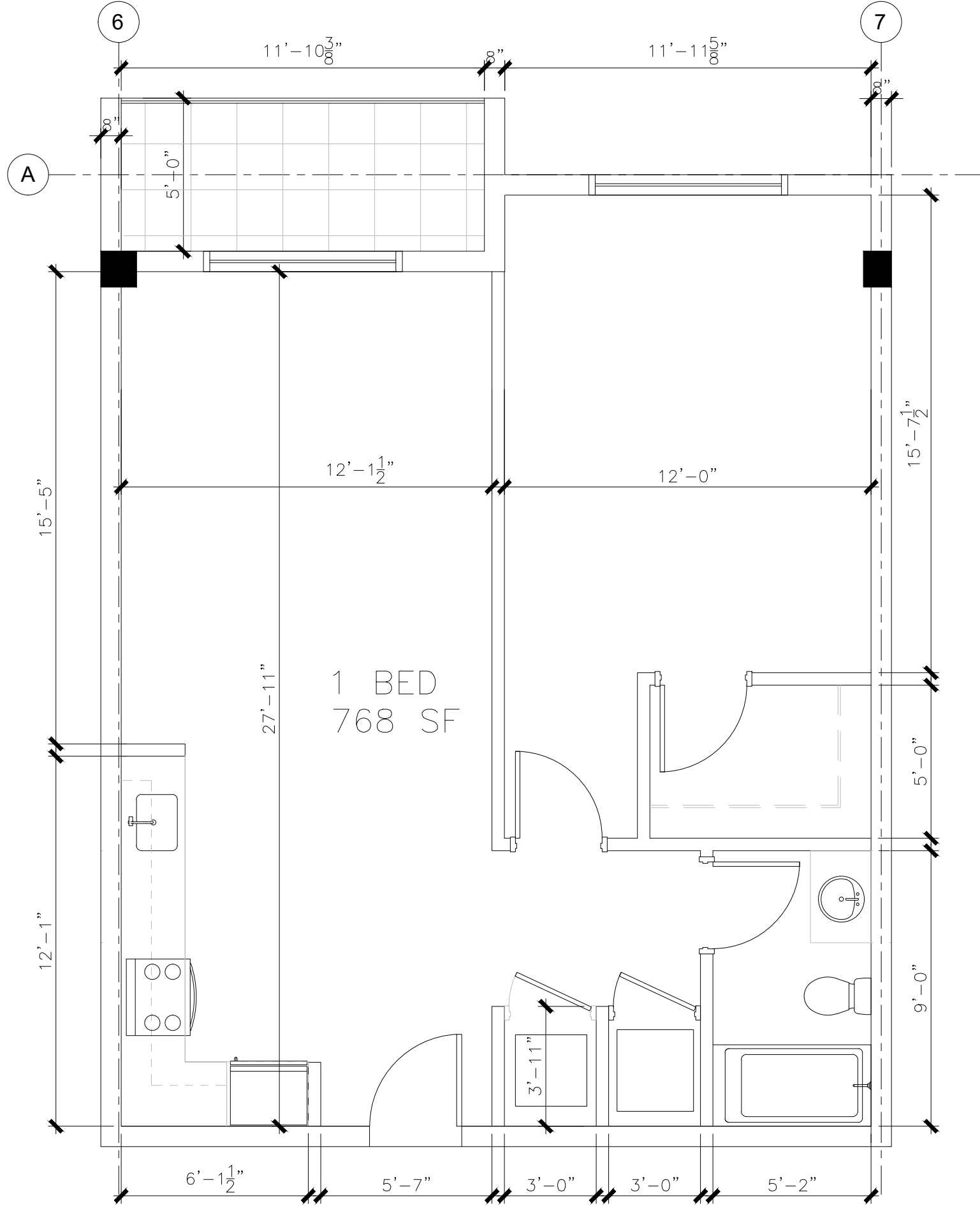




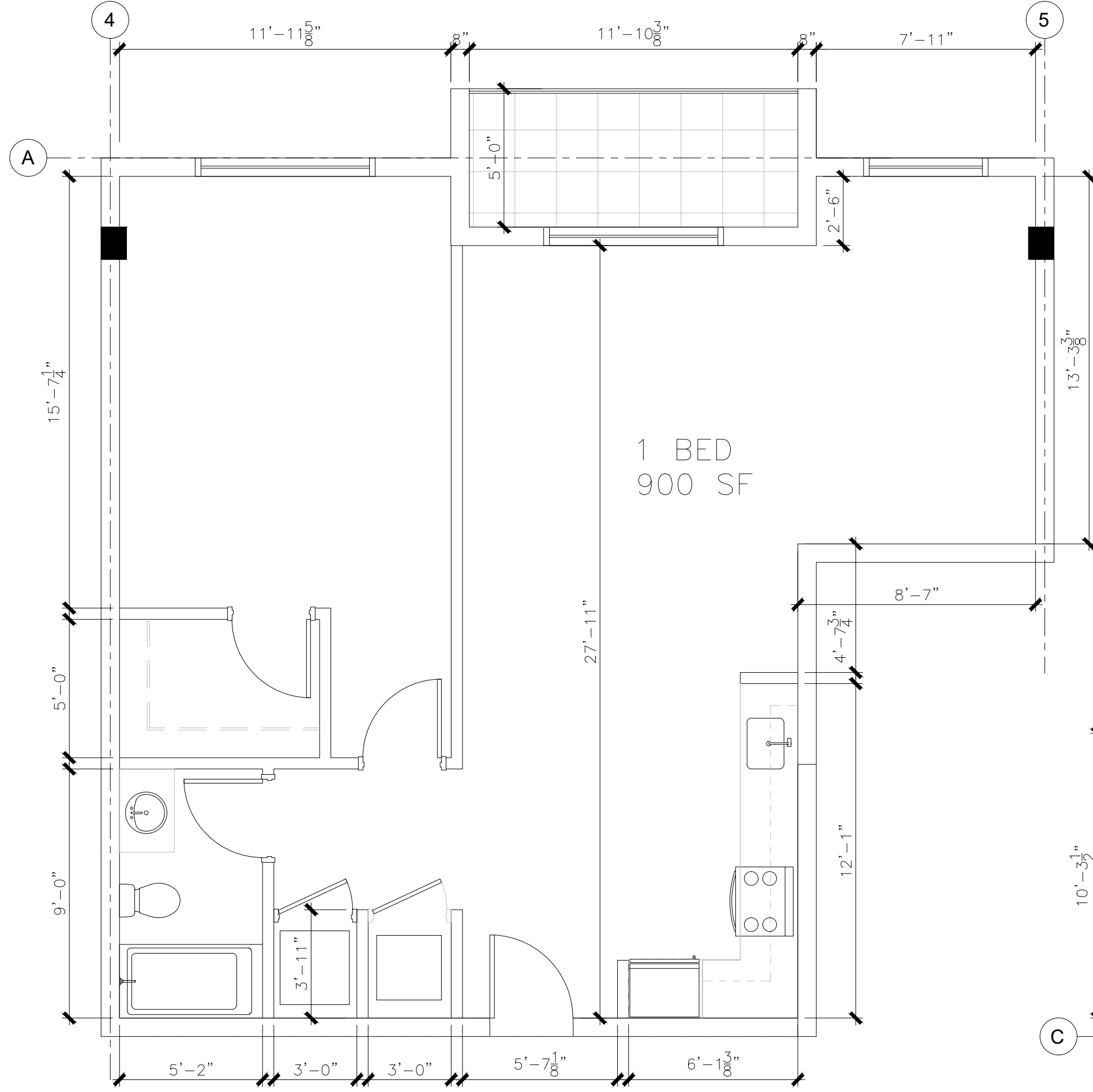
06 2 BED/ 2 BATH GROUND FLOOR UNIT  
SCALE: 1/4"=1'-0"



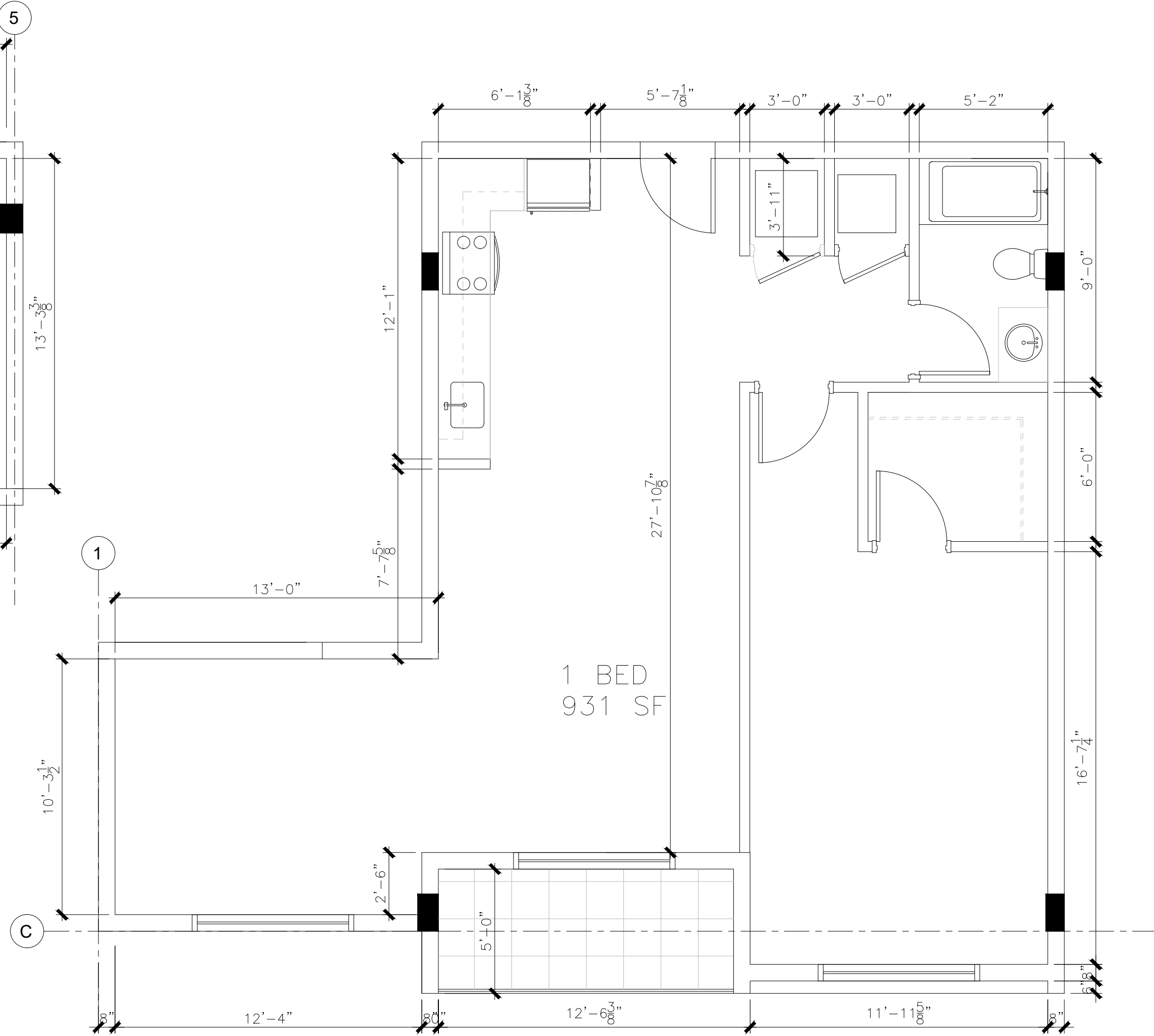
08 2 BED/ 2 BATH UPPER FLOOR UNIT  
SCALE: 1/4"=1'-0"



16 1 BED/ 1 BATH UPPER FLOOR UNIT  
SCALE: 1/4"=1'-0"



17 1 BED/ 1 BATH UPPER FLOOR UNIT  
SCALE: 1/4"=1'-0"



19 1 BED/ 1 BATH UPPER FLOOR UNIT  
SCALE: 1/4"=1'-0"

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Email: general@ccadesign.net  
AA26001348

ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469



OWNER: LEISURE APARTMENTS INC  
215 SE 4TH ST  
HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
△	DRC MEETING	04-20-20
△	DRC COMMENTS	06-29-20
△	DRC COMMENTS	10-06-20
△	DRC COMMENTS	12-16-20
△	DRC COMMENTS	02-01-21



LEISURE  
APARTMENTS  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

DRAWING INFO:

NOTES:  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND DETAILS.  
SHOWN DETAILS SHALL NOT BE SUBMITTED TO THIS OFFICE FOR APPROVAL, WITHOUT PREVIOUS CONSULTATION WITH THE ARCHITECT.

Project number  
Drawn by  
Scale

UNITS  
ENLARGED  
FLOOR PLAN





CENTER FOR  
COLLABORATIVE  
ARCHITECTURE

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NO.	DRAWING ISSUE	DATE
△	DRC MEETING	04-20-20
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△	DRC COMMENTS	02-01-21



LEISURE  
APARTMENTS  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

EXTERIOR  
ELEVATIONS

DRAWING INFO:

NOTE:  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS  
AND (PROVIDED) THE SET, JOB, AND ANY OTHER WORK ALL INFORMATION  
OBTAINED FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE  
DRAWINGS.

SHOWN DETAILS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE  
PROCEEDING WITH  
APPLICATION.

Project number

Drawn by

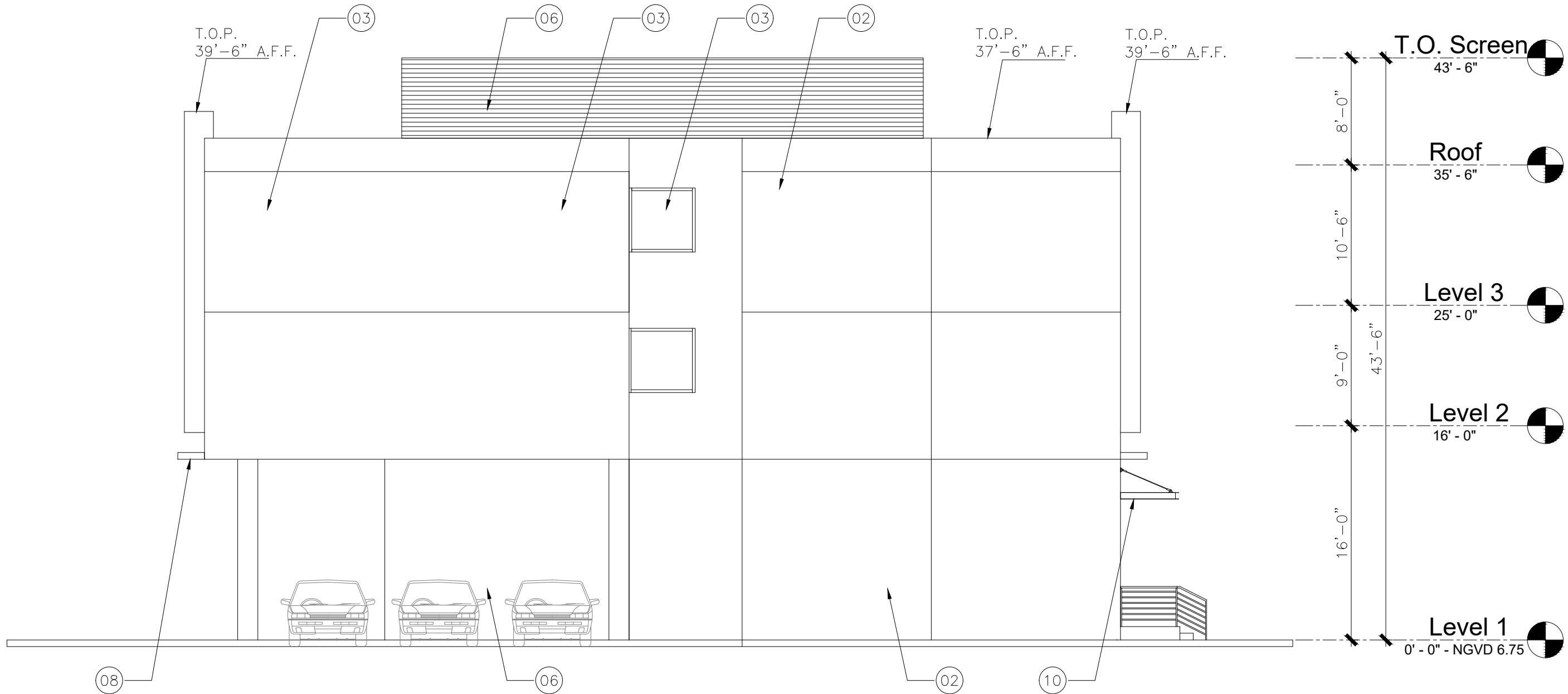
Scale

A-201



06 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



16 WEST ELEVATION

SCALE: 1/8"=1'-0"

- 01 NICHIIA SYSTEM - VINTAGEWOOD PANEL
- 02 SMOOTH STUCCO PAINTED WHITE
- 03 WHITE FRAME IMPACT FIXED WINDOW
- 04 WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP.)
- 05 WHITE 42" ALUMINUM RAILING (TYP.)
- 06 LIGHT BRONZE ALUMINUM LOUVER
- 07 3 SQ FEET MAX. SIGNAGE OVER GARAGE ENTRANCE
- 08 SMOOTH STUCCO OVERHANG PAINTED WHITE
- 09 1'-6" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE
- 10 DARK GREY METAL AWNING OVER ENTRANCE





CENTER FOR  
COLLABORATIVE  
ARCHITECTURE

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AA26001348

ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469



OWNER: **LEISURE APARTMENTS INC**  
215 SE 4TH ST  
HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
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△	DRC COMMENTS	12-16-20
△	DRC COMMENTS	02-01-21



**LEISURE  
APARTMENTS**  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

EXTERIOR  
ELEVATIONS

DRAWING INFO:

NOTE:  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS  
AND (CHECKED) THE SET, AND ANY DISCREPANCY WITH ALL INFORMATION  
OBTAINED FROM THE DIMENSIONS AND CONSIDERED CORRECT BY THESE  
DRAWINGS.

ALL DIMENSIONS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE  
PROCEEDING WITH  
CONSTRUCTION.

Project number

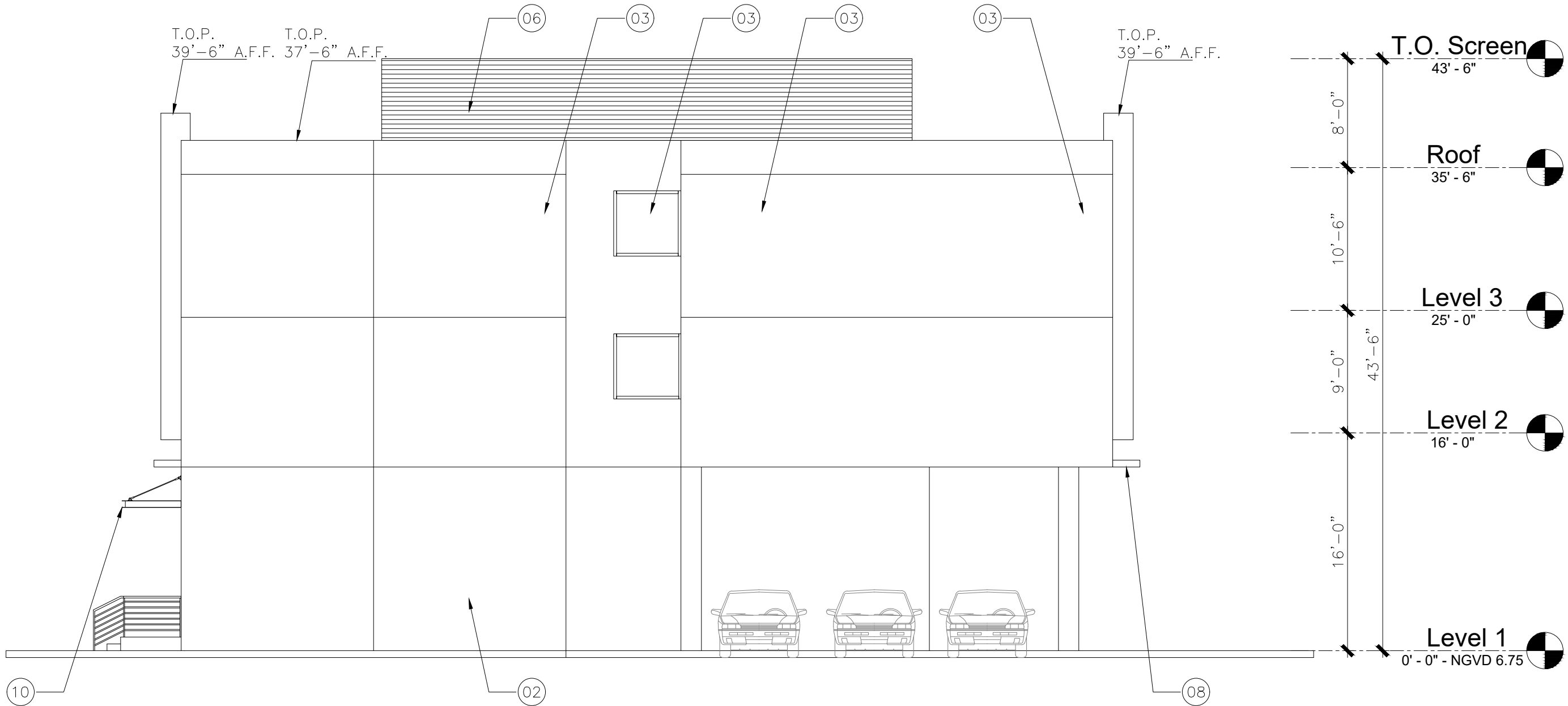
Drawn by

Scale

A-202



06 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



16 EAST ELEVATION  
SCALE: 1/8"=1'-0"

- 01 NICHHA SYSTEM - VINTAGEWOOD PANEL
- 02 SMOOTH STUCCO PAINTED WHITE
- 03 WHITE FRAME IMPACT FIXED WINDOW
- 04 WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP)
- 05 WHITE 42" ALUMINUM RAILING (TYP.)
- 06 LIGHT BRONZE ALUMINUM LOUVER
- 07 3 SQ FEET MAX. SIGNAGE OVER GARAGE ENTRANCE
- 08 SMOOTH STUCCO OVERHANG PAINTED GREY
- 09 1'-6" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE
- 10 DARK GREY METAL AWNING OVER ENTRANCE





CENTER FOR  
COLLABORATIVE  
ARCHITECTURE

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ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469



OWNER: **LEISURE APARTMENTS INC**  
215 SE 4TH ST  
HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
△	DRC MEETING	04-20-20
△	DRC COMMENTS	06-23-20
△	DRC COMMENTS	10-06-20



**LEISURE  
APARTMENTS**  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

BUILDING  
SOLAR STUDY

DRAWING INFO:

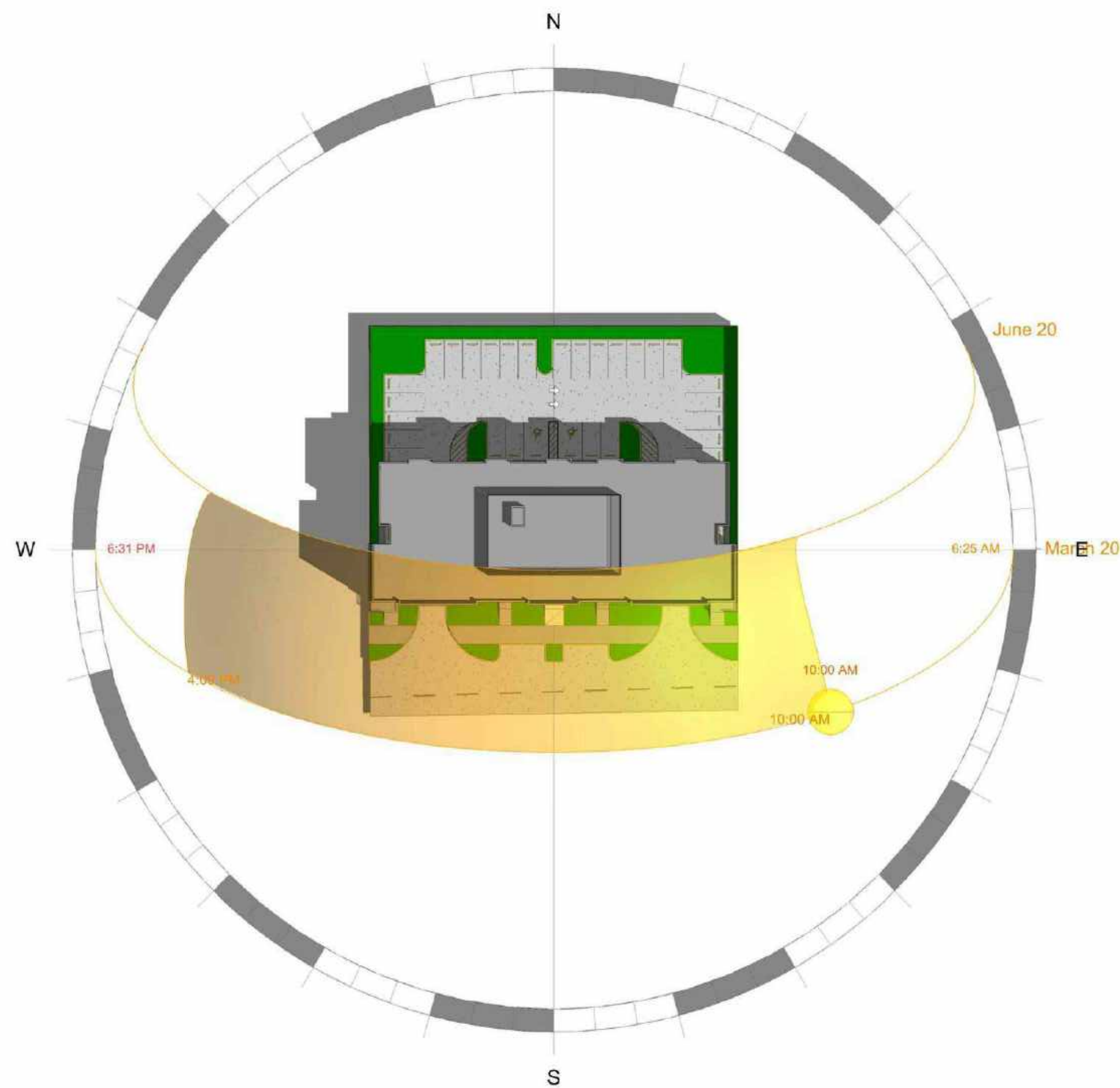
NOTES:  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONSTRUCTION SHALL VERIFY AND BE RESPONSIBLE FOR THE INFORMATION  
AND CONDITIONS ON THE JOB, AND ANY SERVICE SHALL BE LIMITED TO THE  
ACCURACY OF THE DIMENSIONS AND CONDITIONS SHOWN ON THESE  
DRAWINGS.  
SHOWN DETAILS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE  
PROCEEDING, WITH  
APPROVAL.

Project number

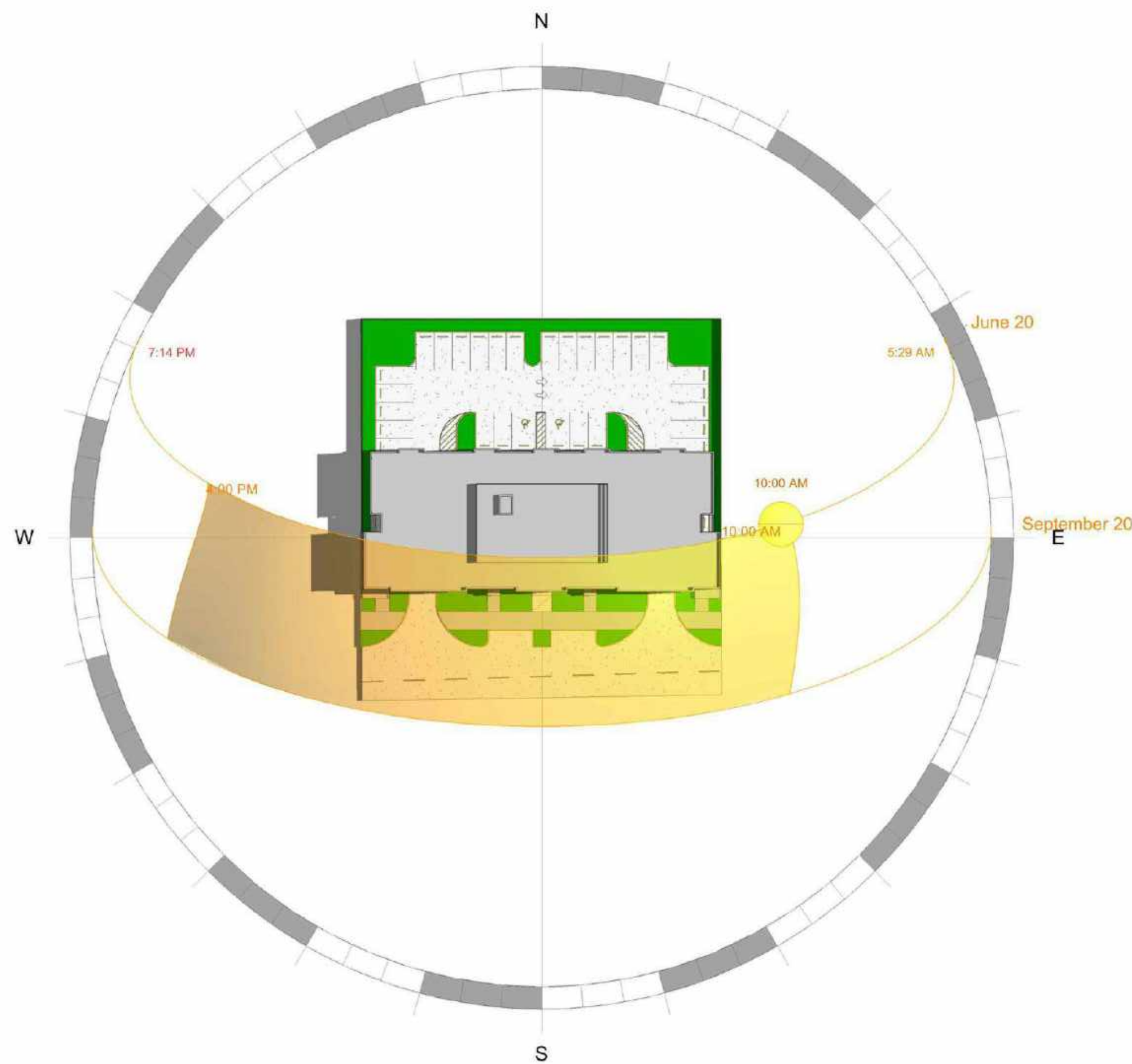
Drawn by

Scale

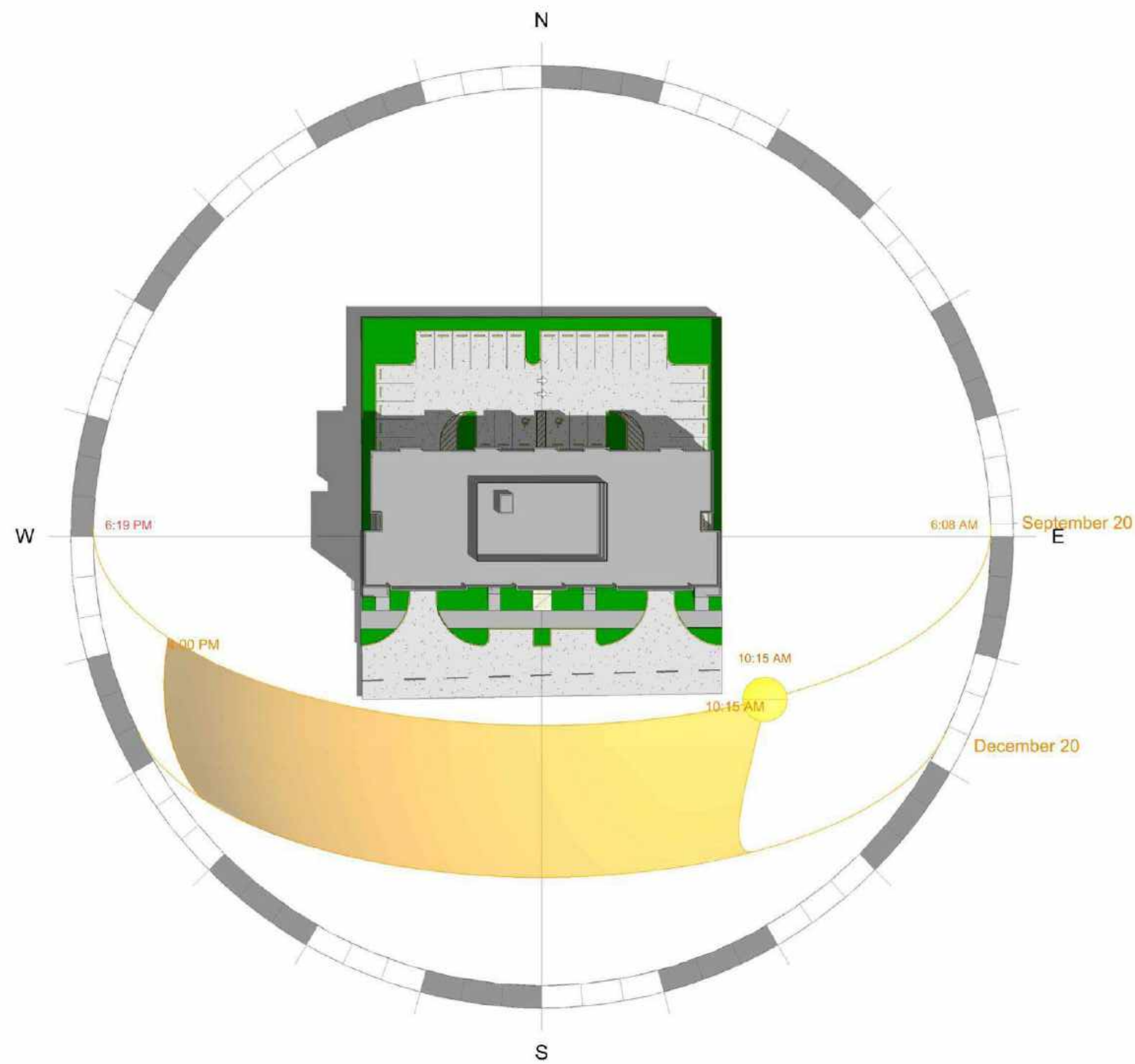
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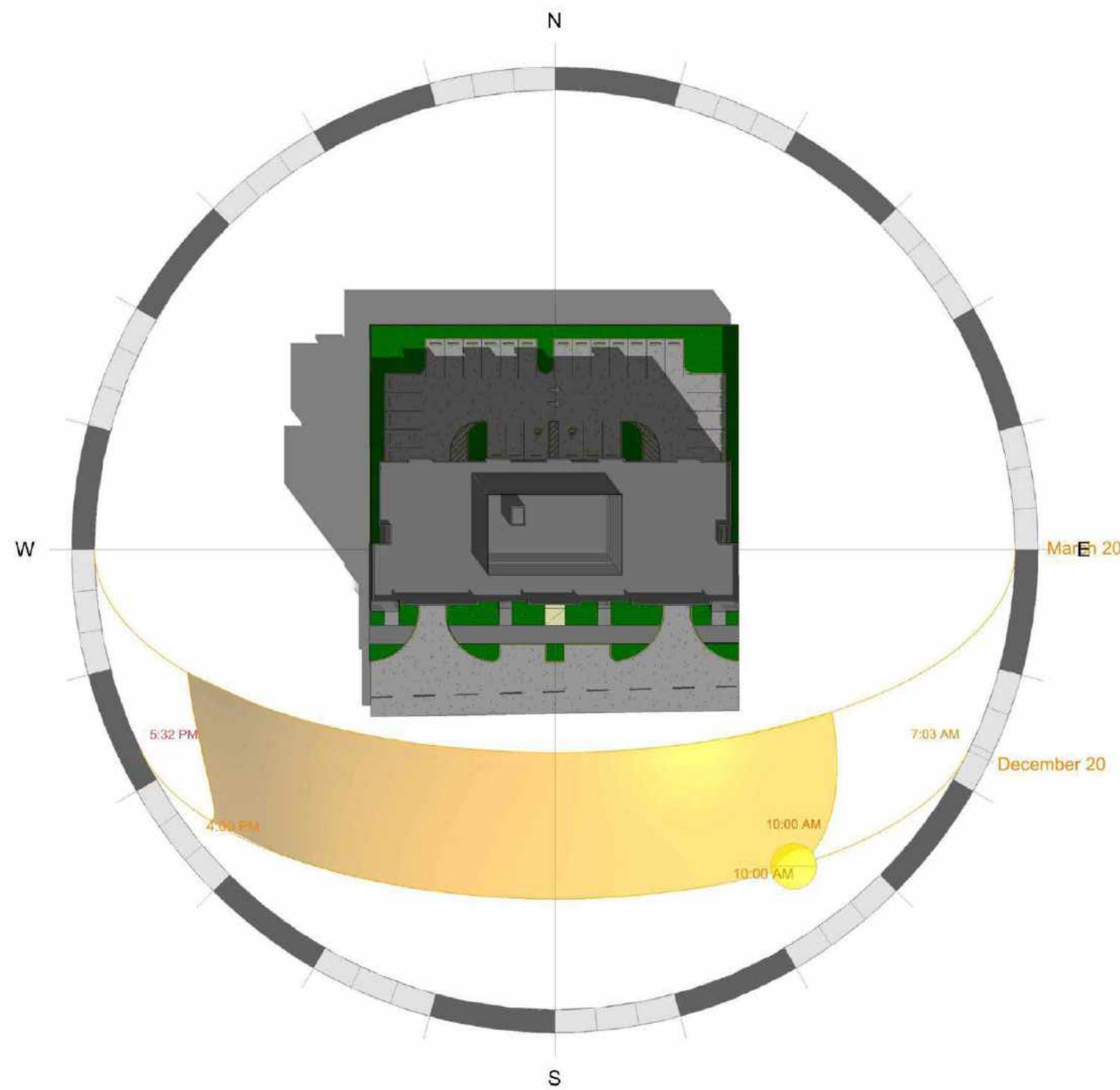
2 PLANT - SOLAR STUDY - SPRING



3 PLANT - SOLAR STUDY - SUMMER



1 PLANT - SOLAR STUDY - FALL



4 PLANT - SOLAR STUDY - WINTER





CENTER FOR  
COLLABORATIVE  
ARCHITECTURE

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ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469



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215 SE 4TH ST  
HALLANDALE, FL 33009

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△	DRC COMMENTS	10-06-20



LEISURE  
APARTMENTS  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

BUILDING  
SOLAR STUDY

DRAWING INFO:

NOTES:  
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ALL DIMENSIONS SHALL BE IN FEET AND INCHES.  
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
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ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

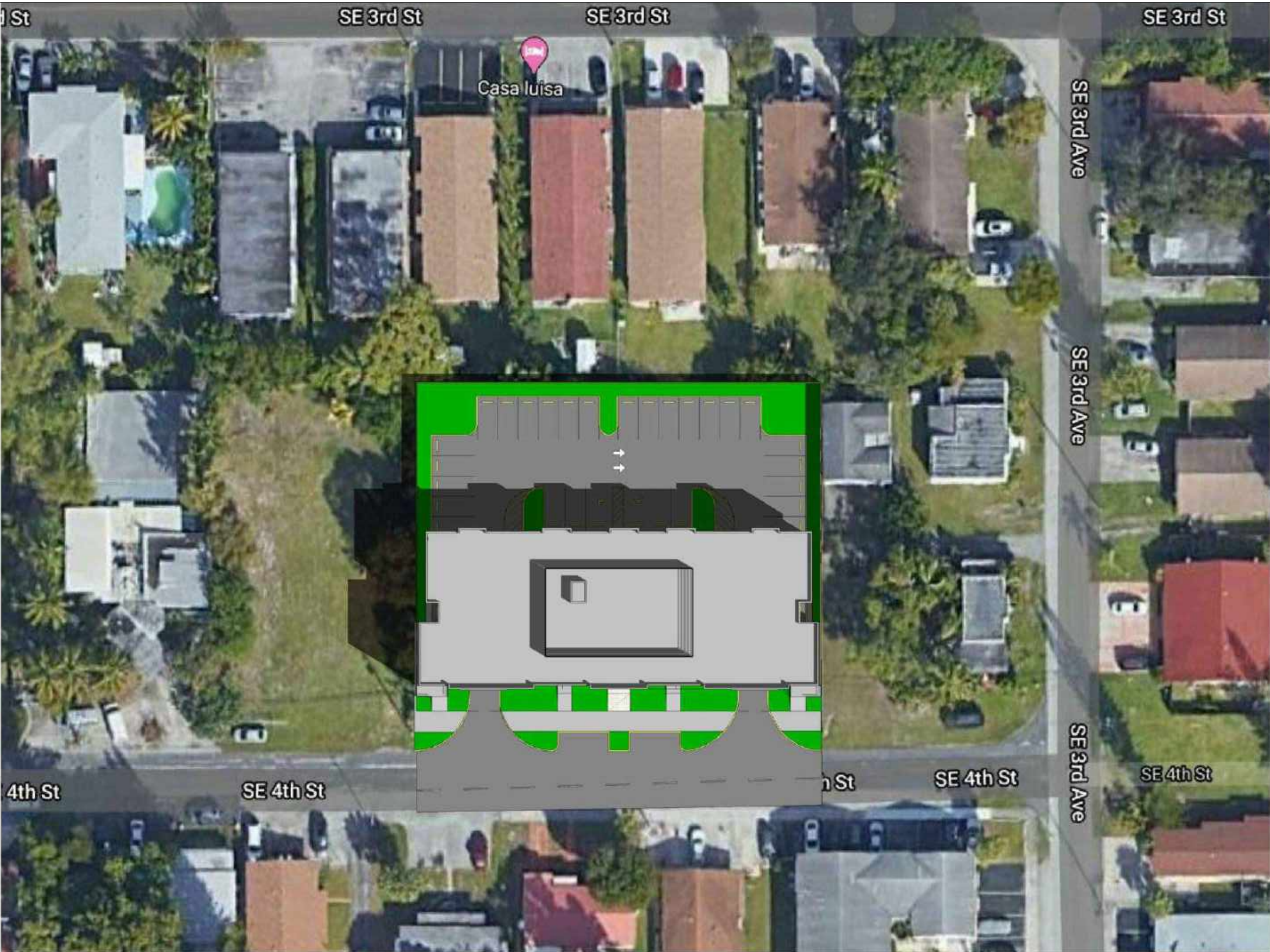
Project number  
Drawn by  
Scale



2 Winter Solstice Solar Study  
1" = 40'-0"



3 Summer Solstice Solar Study  
1" = 40'-0"



4 Spring Equinox Solar Study  
1" = 40'-0"



1 Fall Equinox Solar Study  
1" = 40'-0"





CENTER FOR COLLABORATIVE ARCHITECTURE

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LEISURE APARTMENTS  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

PHOTOMETRICS  
EMERGENCY  
LIGHTING

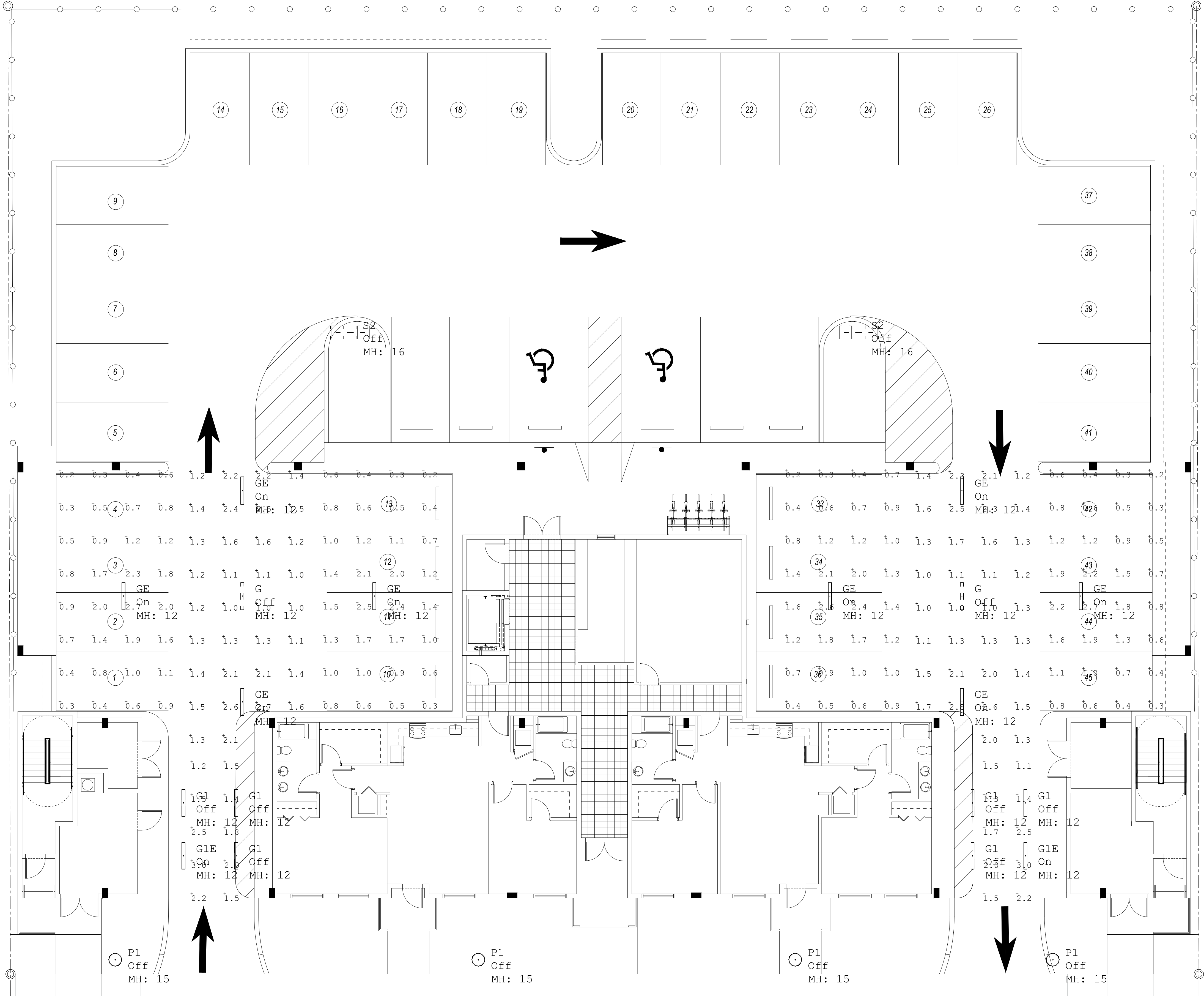
DRAWING INFO:

NOTES:  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.  
CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND LOCATIONS PRIOR TO THE START OF CONSTRUCTION.  
ALL DIMENSIONS SHALL BE TO THE CENTER OF THE ELEMENT UNLESS OTHERWISE NOTED.  
ALL DIMENSIONS SHALL BE TO THE CENTER OF THE ELEMENT UNLESS OTHERWISE NOTED.  
ALL DIMENSIONS SHALL BE TO THE CENTER OF THE ELEMENT UNLESS OTHERWISE NOTED.

Project number  
Drawn by  
Scale



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage Car Storage	Illuminance	Fc	1.04	2.7	0.2	5.20	13.50
Garage Drive Lanes	Illuminance	Fc	1.56	2.8	1.0	1.56	2.80
Garage Entrance	Illuminance	Fc	1.84	3.0	1.1	1.67	2.73

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
-	2	G	SINGLE	Viscor Lighting LSA48-LED840K042LUNV
-	8	GE	SINGLE	Viscor Lighting LSA48-LED840K042LUNV-B39
-	6	G1	SINGLE	Viscor Lighting LSA48-LED840K100LUNV
-	2	G1E	SINGLE	Viscor Lighting LSA48-LED840K100LUNV-B39
○	4	P1	SINGLE	Cree Lighting ARE-EDR-5M-R3-06-E-UL-XX-350
□	2	S2	D180	Cree Lighting OSQ-A-NM-5SH-K-57K-UL-XX





424 SW 23 St, Miami, FL 33145  
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AA26001348

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
	DRC COMMENTS	06-29-20
	DRC COMMENTS	10-06-20

**LEISURE  
APARTMENTS**  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

## PHOTOMETRICS

NOTE:







1. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

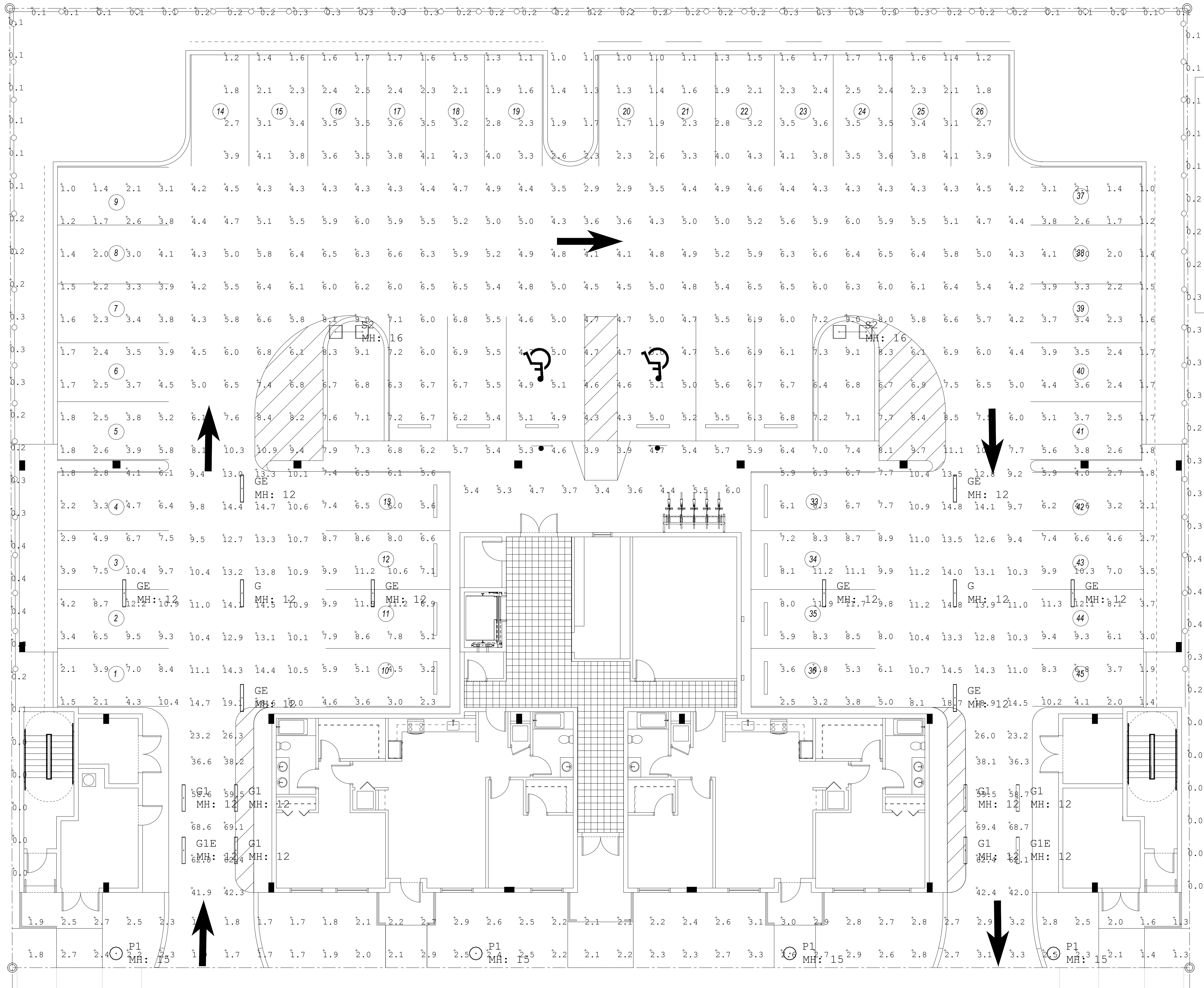
2. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

3. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

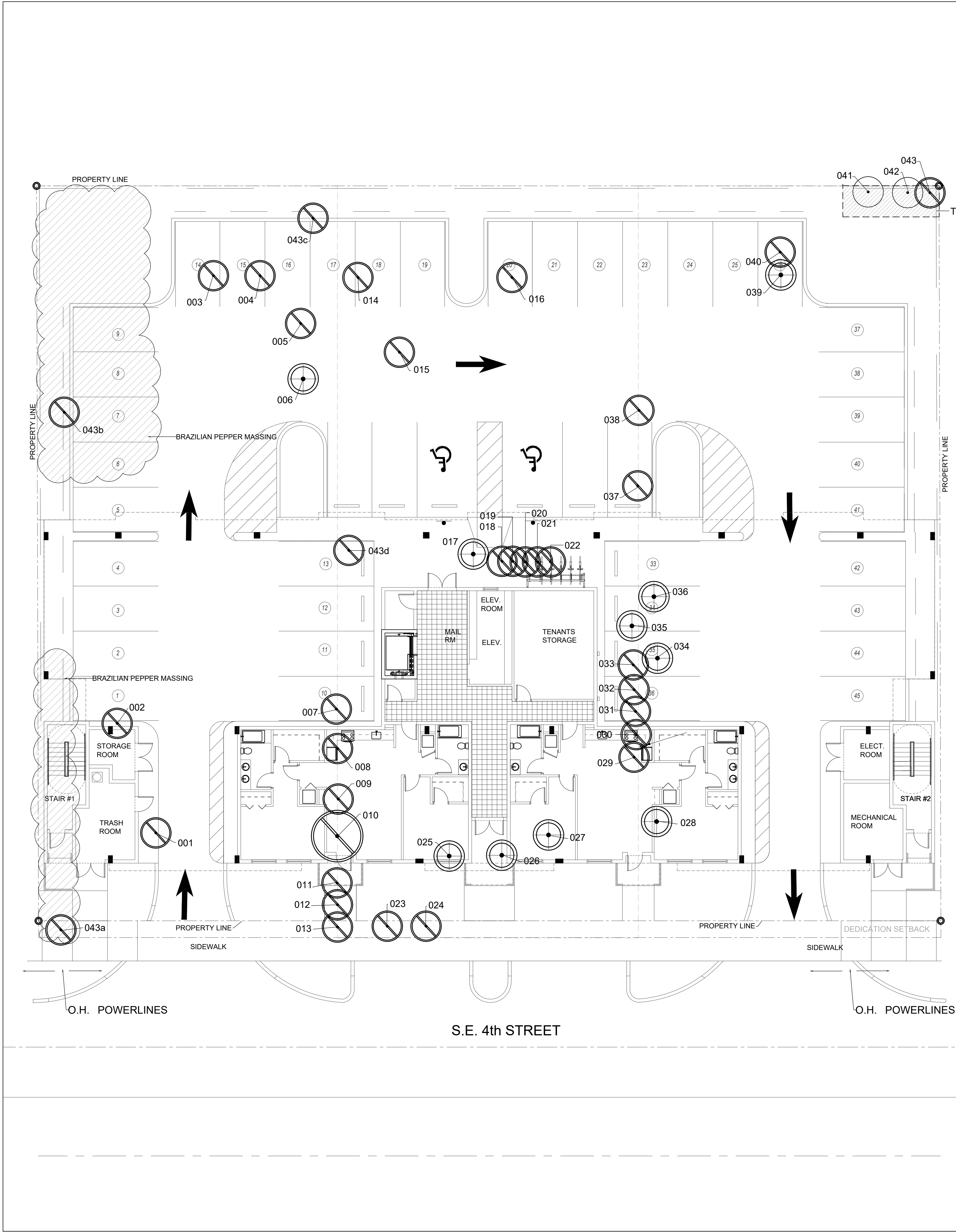
Scale

A-902

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	LLF
	2	G	SINGLE	Viscor Lighting LSWA48-LED840K042LUNV	0.90
	8	GE	SINGLE	Viscor Lighting LSWA48-LED840K042LUNV-B39	0.90
	6	G1	SINGLE	Viscor Lighting LSWA48-LED840K100LUNV	0.90
	2	G1E	SINGLE	Viscor Lighting LSWA48-LED840K100LUNV-B39	0.90
	4	P1	SINGLE	Cree Lighting ARE-EDR-5M-3R-06-E-UL-XX-350	0.90
	2	S2	D180	Cree Lighting OSQ-A-NM-5SH-K-57K-UL-XX	0.90







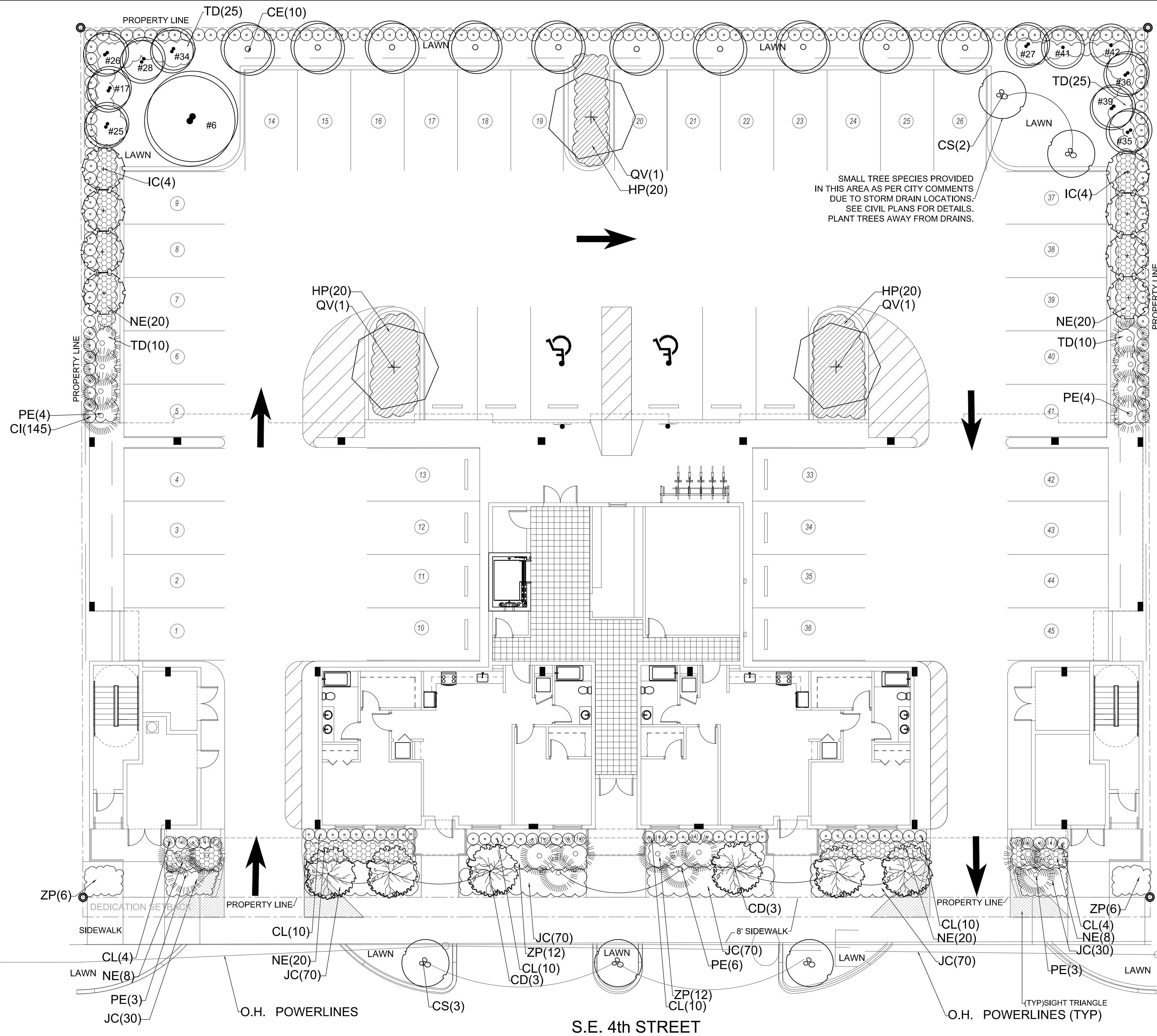
CITY OF HALLANDALE BEACH									
TREE DISPOSITION LIST:									
TREE #	COMMON NAME/SCIENTIFIC NAME	DBH(in)	HT(ft)	CANOPY(ft)	DISPOSITION	CONDITION	COMMENTS		
01 (*)	MAHOGANY Swietenia mahagoni	17	20	17	TO REMOVE	FAIR			
02	CARROTWOOD Cupanopsis anacardioides	5	10	6	TO REMOVE	POOR	INVASIVE / NO MITIGATION REQ.		
03	NORFOLK ISLAND PINE Araucaria heterophylla	16	20	10	TO REMOVE	FAIR	INVASIVE / NO MITIGATION REQ.		
04	NORFOLK ISLAND PINE Araucaria heterophylla	16	20	10	TO REMOVE	FAIR	INVASIVE / NO MITIGATION REQ.		
05	ARECA PALM Dypsis lutescens	ML	15	10	TO REMOVE	POOR			
06	LIVE OAK Quercus virginiana	10	20	20	TO BE RELOCATED	FAIR			
07	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
08	ADONIA PALM Adonia merillii	4	12	5	TO REMOVE	FAIR			
09	ADONIA PALM Adonia merillii	4	14	5	TO REMOVE	FAIR			
10 (*)	BANYAN TREE Ficus benghalensis	48	25	30	TO REMOVE	FAIR			
11	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
12	ADONIA PALM Adonia merillii	4	14	5	TO REMOVE	FAIR			
13	ADONIA PALM Adonia merillii	3.5	10	5	TO REMOVE	FAIR			
14	MANGO TREE Mangifera indica	16	15	20	TO REMOVE	GOOD	FRUIT TREE / NO MITIGATION REQ.		
15	MANGO TREE Mangifera indica	13	15	15	TO REMOVE	GOOD	FRUIT TREE / NO MITIGATION REQ.		
16	MANGO TREE Mangifera indica	16	15	15	TO REMOVE	GOOD	FRUIT TREE / NO MITIGATION REQ.		
17	CABBAGE PALM Sabal palmetto	12	15	10	TO BE RELOCATED	GOOD			
18	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
19	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
20	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
21	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
22	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
23	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
24	ADONIA PALM Adonia merillii	4	10	5	TO REMOVE	FAIR			
25	CABBAGE PALM Sabal palmetto	12	12	8	TO BE RELOCATED	GOOD			
26	CABBAGE PALM Sabal palmetto	12	15	8	TO BE RELOCATED	GOOD			
27	CABBAGE PALM Sabal palmetto	12	10	8	TO BE RELOCATED	FAIR			
28	CABBAGE PALM Sabal palmetto	12	15	10	TO BE RELOCATED	GOOD			
29	ADONIA PALM Adonia merillii	4	6	5	TO REMOVE	FAIR			
30	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR			
31	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR			
32	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR			
33	ADONIA PALM Adonia merillii	4	8	5	TO REMOVE	FAIR			
34	CABBAGE PALM Sabal palmetto	12	14	5	TO BE RELOCATED	GOOD			
35	CABBAGE PALM Sabal palmetto	12	20	10	TO BE RELOCATED	GOOD			
36	CABBAGE PALM Sabal palmetto	12	20	10	TO BE RELOCATED	GOOD			
37 (*)	LIVE OAK Quercus virginiana	36	50	50	TO REMOVE	GOOD			
38	MANGO TREE Mangifera indica	15	40	25	TO REMOVE	FAIR	FRUIT TREE / NO MITIGATION REQ.		
39	CABBAGE PALM Sabal palmetto	12	20	10	TO BE RELOCATED	GOOD			
40	MANGO TREE Mangifera indica	17	12	10	TO REMOVE	FAIR	FRUIT TREE / NO MITIGATION REQ.		
41	CABBAGE PALM Sabal palmetto	12	15	10	TO REMAIN	GOOD	PROVIDE PROTECTION DURING CONST.		
42	CABBAGE PALM Sabal palmetto	12	15	10	TO REMAIN	GOOD	PROVIDE PROTECTION DURING CONST.		
43	CARROTWOOD Cupanopsis anacardioides	6	18	10	TO REMOVE	POOR	INVASIVE / NO MITIGATION REQ.		
43a	CARROTWOOD Cupanopsis anacardioides	6	18	10	TO REMOVE	POOR	INVASIVE / NO MITIGATION REQ.		
43b (*)	MAHOGANY Swietenia mahagoni	15	25	25	TO REMOVE	POOR			
43c (*)	TRAVELER PALM Ravanata madagascariensis	12	25	12	TO REMOVE	FAIR	ACCENT TREE / NO MITIGATION REQ.		
43d	BRAZILIAN PEPPER TREE Schinus terebinthifolia	5	12	10	TO REMOVE	FAIR	INVASIVE / NO MITIGATION REQ.		

CONDITION: EXCELLENT-90-100%, GOOD-75-85%, FAIR-60-70%, POOR-40-50%, VERY POOR-10-35%  
(\*) TO BE MITIGATED BY PAYING INTO TREE FUND/ AS PER CITY COMMENT.  
TREE MITIGATION: Do not relocate, remove or destroy a tree without first obtaining a permit from the City.

Designation	Tree/Plant	Common Name	DBH	Height	Condition	Disposition	Notes
1	Sabal palmetto	Sabal Palm	12"	Good	12'	HIGH	Rebar in asphalt areas or as
2	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
3	Cordia alliodora	Flame Tree	2"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
4	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
5	Phoradendron virginicum	Florida Yew	1"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
6	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
7	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
8	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
9	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
10	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
11	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
12	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
13	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
14	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
15	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
16	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
17	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
18	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
19	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
20	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
21	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
22	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
23	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
24	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
25	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
26	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
27	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
28	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
29	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
30	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
31	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
32	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
33	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
34	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
35	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
36	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
37	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
38	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
39	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
40	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
41	Quercus virginiana	Live Oak	3"	FL 4.5 or better	15 STB	HIGH	Rebar in asphalt areas or as
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AS PER CITY:  
275\* REQUIRED FOR REPLACEMENT  
175\* REPLACEMENT PROVIDED ON LANDSCAPE PLANS (SEE CHARTS ON SHEET L2)





FOR CITY REVIEW

### SYMBOL KEY

- RELOCATED TREE  
SEE DETAILS ON SHEET L1
- EXISTING TREE TO REMAIN  
SEE DETAILS ON SHEET L1

#4 Landscape Area Requirements			
Site in sqft.	26,389 sf		
	Required	Provided	
SubDistrict: Transit corridor			
% of landscape	1,319.5	4,232	
1 tree per 1500 sqft.			
mitigation caliper/palms	275	175	
Trees			
Street Trees	5	3	#5
Site Trees	18	*37	
Total Site Trees (Site+street)	23	42	
Tree Diversity	3	5	
Drought tolerant trees	50%	100%	
Native Trees	50%	99%	
Turf Max 70%	Max sqft. 923.7	sqft. 900	
Hedges/Plants Drought tolerant	30%	56%	

\*TREE CREDIT

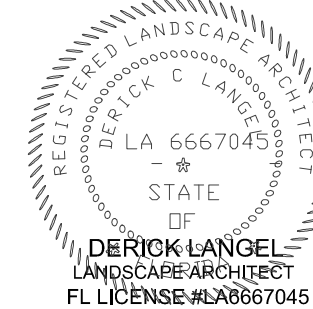
Plant Schedule										
Trees	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Specifications	Credit Equiv. Notes
QV	3	Quercus virginiana	Live Oak	3"	FL #1 or Better	15' STD	HIGH	X	3" cal., stem up 4', fg	3
IC	8	Ilex cassine	Dahoon Holly	3"	FL #1 or Better	15' STD	HIGH	X	3" cal., fg	8
CS	5	Conocarpus erectus 'Sericeus'	Silver Buttonwood	3"	FL #1 or Better	12' STD	HIGH	X	2" cal., STD, 4.5" ct., fg	5
CE	10	Conocarpus erectus	Green Buttonwood	3"	FL #1 or Better	15' STD	HIGH	X	3" cal., fg	10
CD	6	Coccoloba diversifolia	Pigeon Plum	3"	FL #1 or Better	15' STD	HIGH	X	3" cal., fg	6
Palms	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Specifications	Notes
PE	20	Pythosperma elegans	Alexander Palm	FG	FL #1 or Better	15' OA	HIGH		8" ct min, matched hts.	10
Shrubs	Qty	Botanical name	Common Name	Size	Quality	Height at planting	Drought	Native	Specifications	Notes
CI	145	Chrysobalanus icaco	Red Tip Coccoloba	3gal		24"	HIGH	X	24"te x 24" spr., 2" oc	
CL	48	Clusia rosea	Clusia	3gal		24"	HIGH	X	24"te x 24" spr., 2" oc	
HP	40	Hamelia patens	Fine Bush	3gal		24"	HIGH	X	24"te x 24" spr., 2" oc	
TD	70	Triplaris dactyloides	Fakahatchee	3gal		24"	HIGH	X	24"te x 24" spr., 2" oc	
ZP	36	Zamia pumila	Coontie	3gal		24"	HIGH	X	24"te x 24" spr., 2" oc	
JC	340	Juniperus chinensis 'Parsonii'	Juniper Parson	1gal		12"	MEDIUM	X	12" ht., 1 gal. Full, 12" oc	
NE	46	Nephrolepis exaltata	Boston Fern	3gal		18"	HIGH	X	18" ht x 18" spr., 18" oc	
Ground Cover	Qty Sqft	Botanical name	Common Name							
500	900	Stenotaphrum secundatum 'Florata'	St. Augustine 'Florata'							



### CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St. Miami, FL 33145  
Ph: 786-487-3724  
Email: general@ccadesign.net  
AA26001348

ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469



LANDSCAPE PROJECT MANAGER: FAVIO PEREZ | 305.778.7198

OWNER: LEISURE APARTMENTS INC  
215 SE 4TH ST  
HALLANDALE, FL 33009

NO. DRAWING ISSUE DATE

- #1 rev. per comments 6/19/2020
- #2 rev. per site/ comments 9/18/20
- #3 rev. per site/ comments 10/2/20
- #4 rev. per city chart 12/10/20
- #5 rev. per street tree # 01/28/21

LEISURE APARTMENTS  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

### LANDSCAPE PLAN

DRAWING INFO:

DATE: 01/28/21  
PROJECT: LEISURE APARTMENTS  
DRAWN BY: FP  
CHECKED BY: JCC  
DATE: 01/28/21

Project number 03-27-2020  
Drawn by FP  
Scale 3/32" = 1'-0"

L-2  
LANDSCAPE PLAN





ARCHITECT SEAL:  
JORGE CASTRO-CALOU - AR97469

[illegible]

**LEISURE  
APARTMENTS**  
215 SE 4TH ST,  
HALLANDALE BEACH,  
FLORIDA 33009

PROJECT INFO:

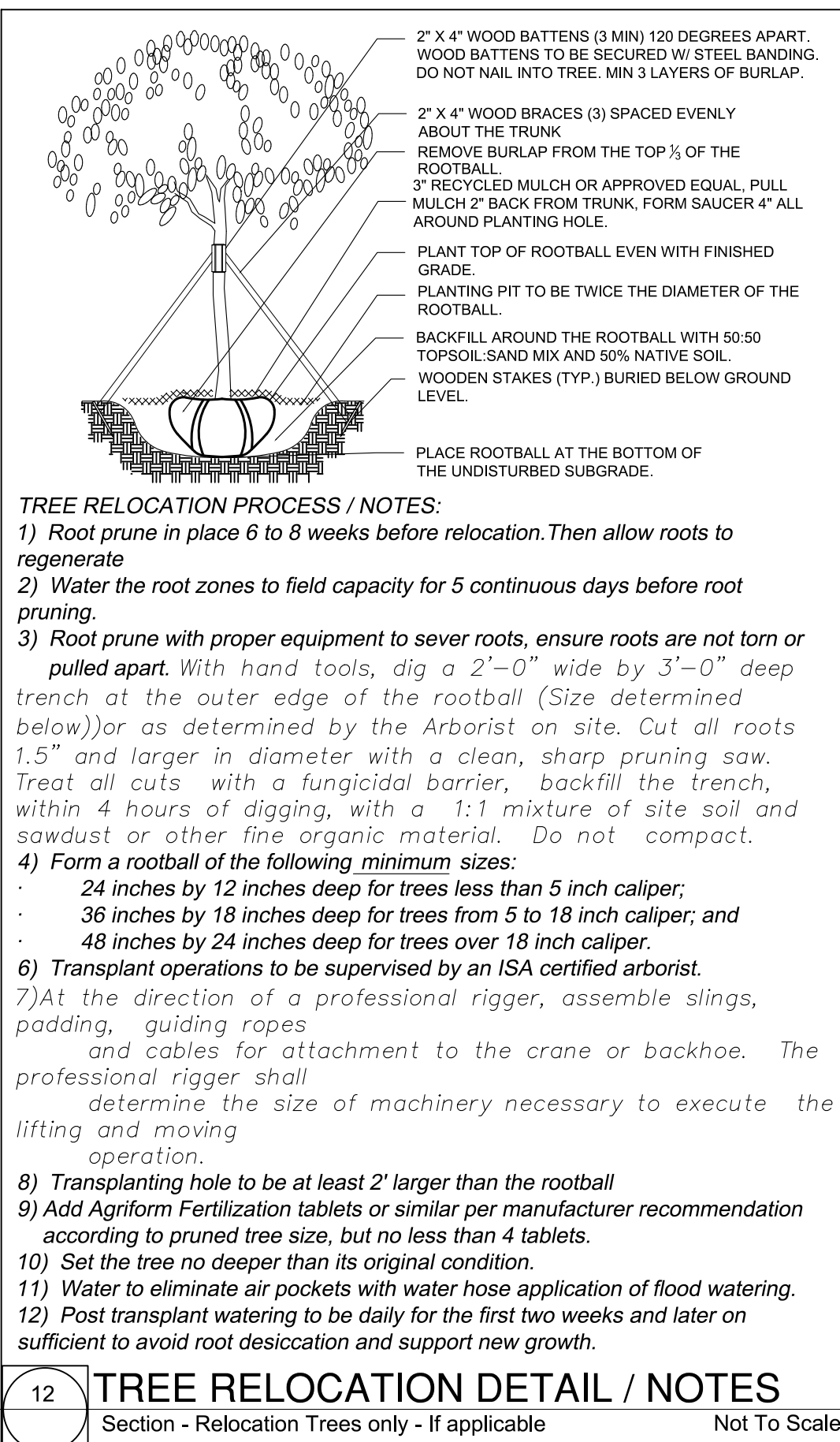
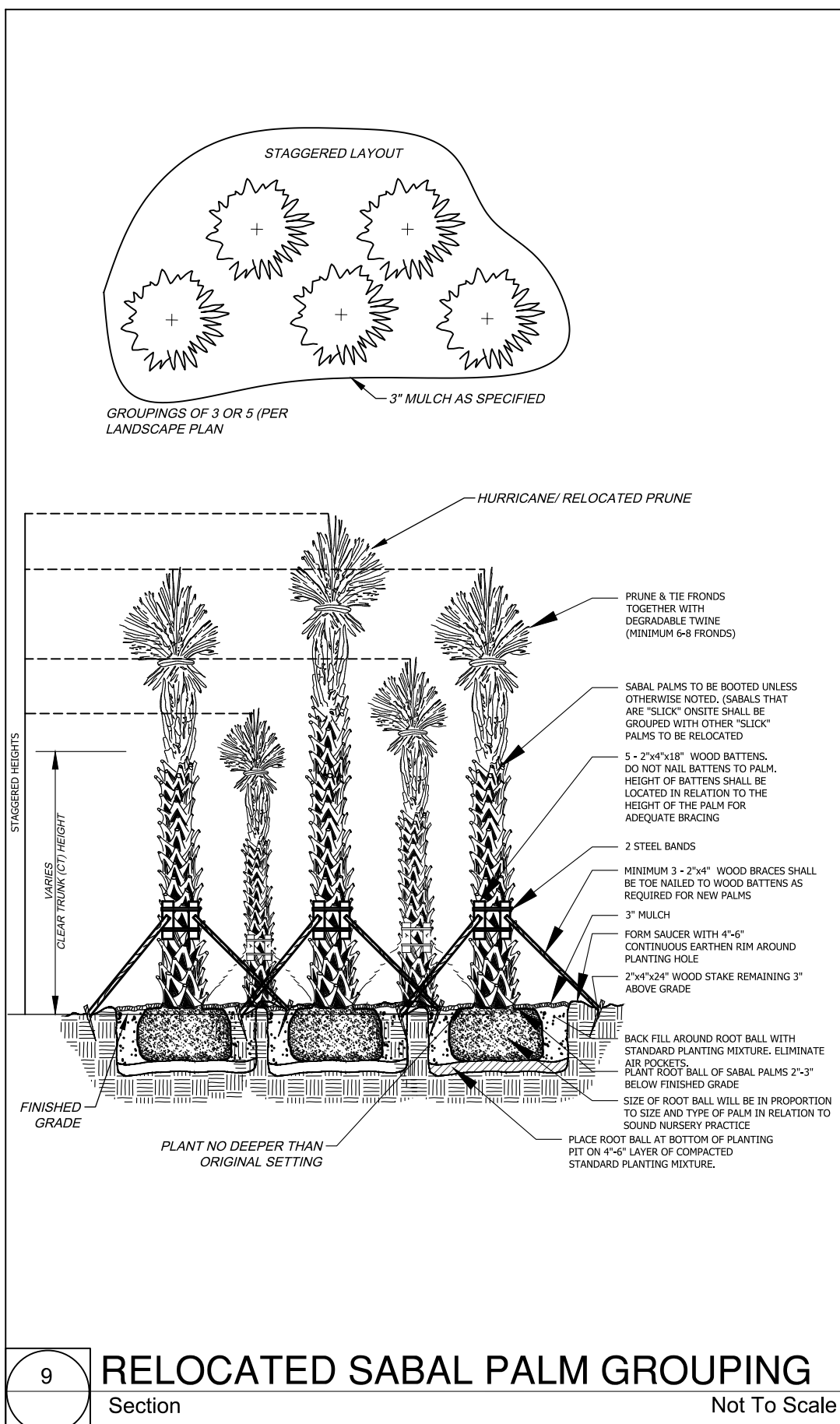
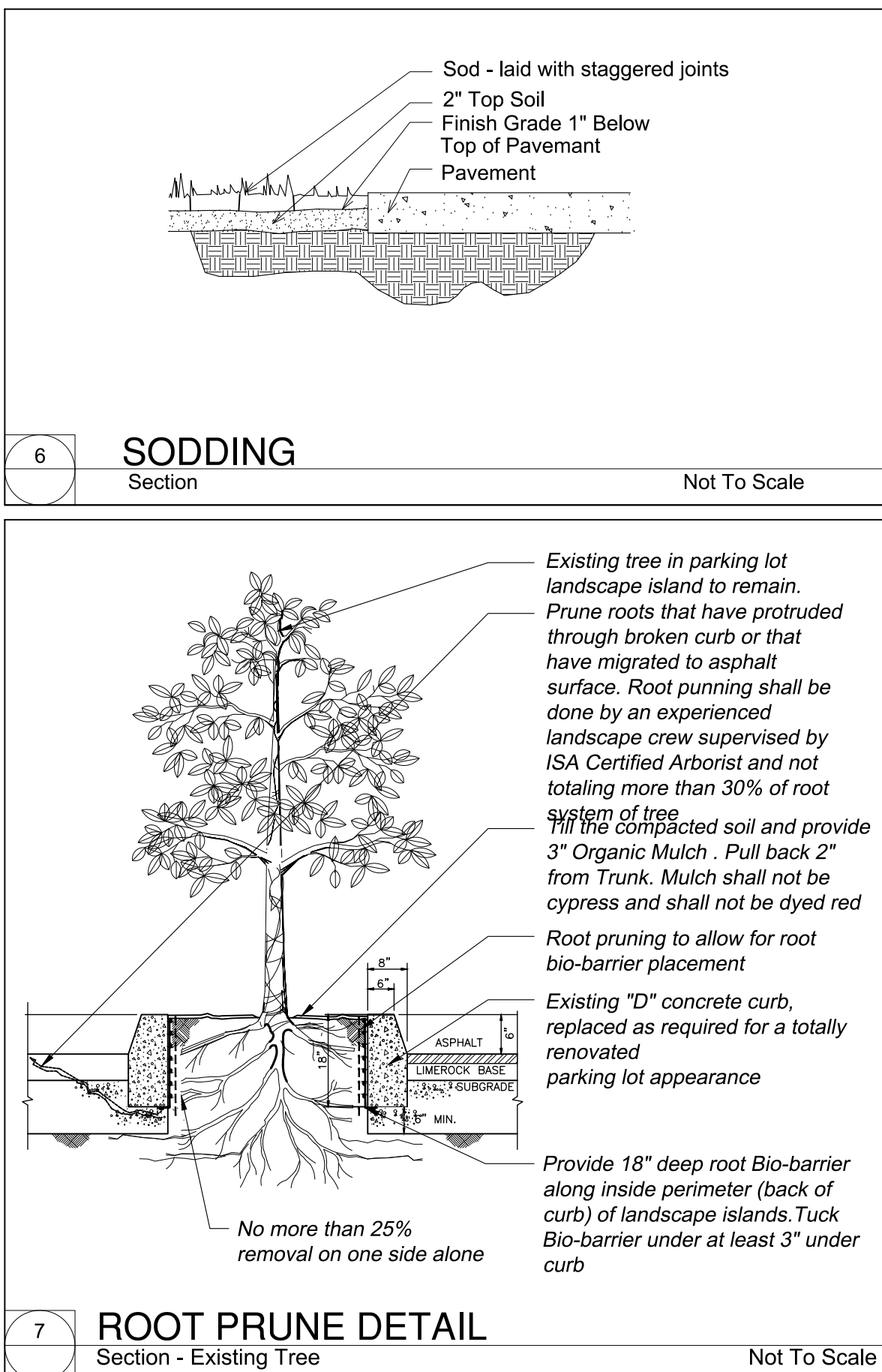
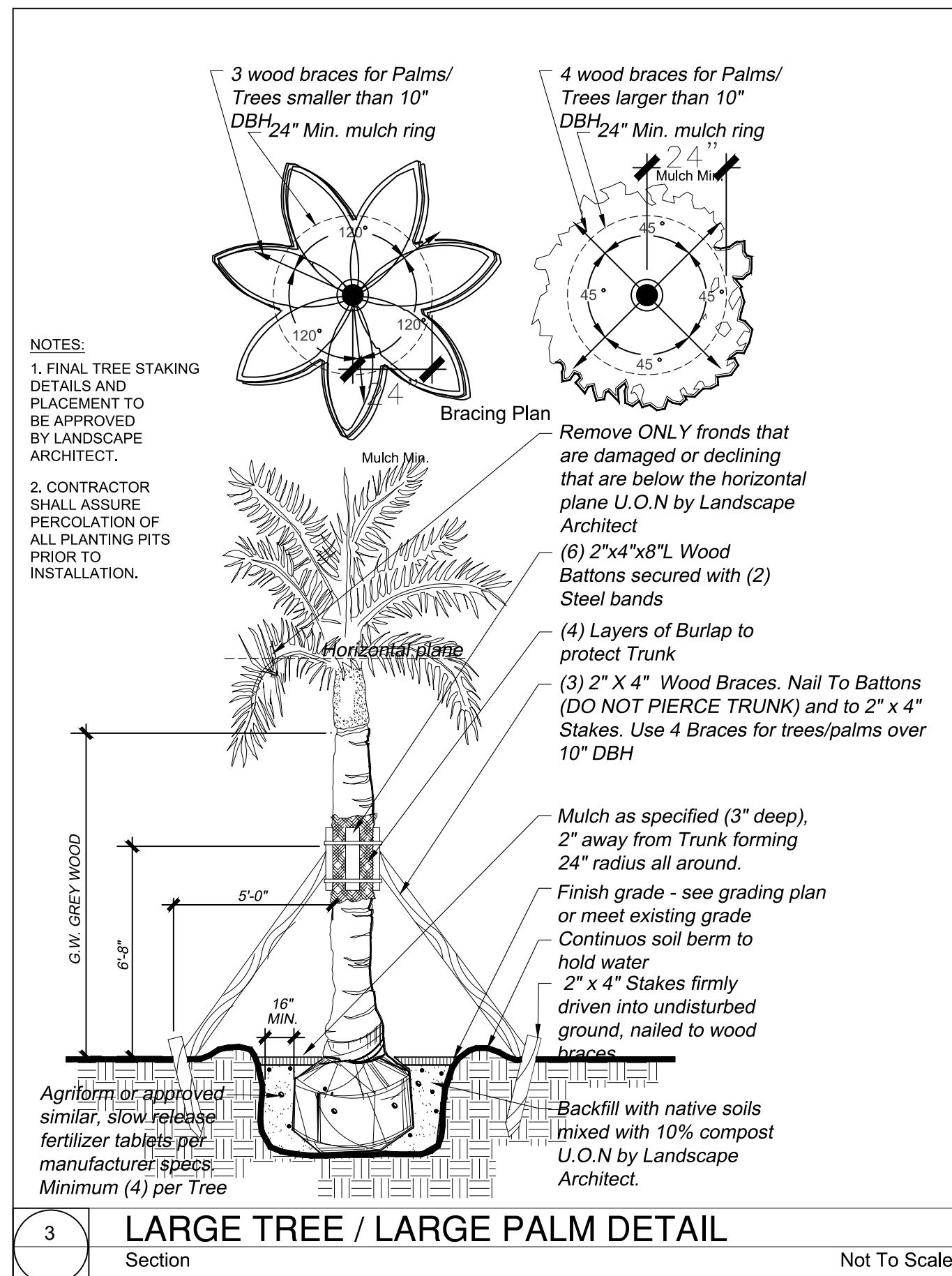
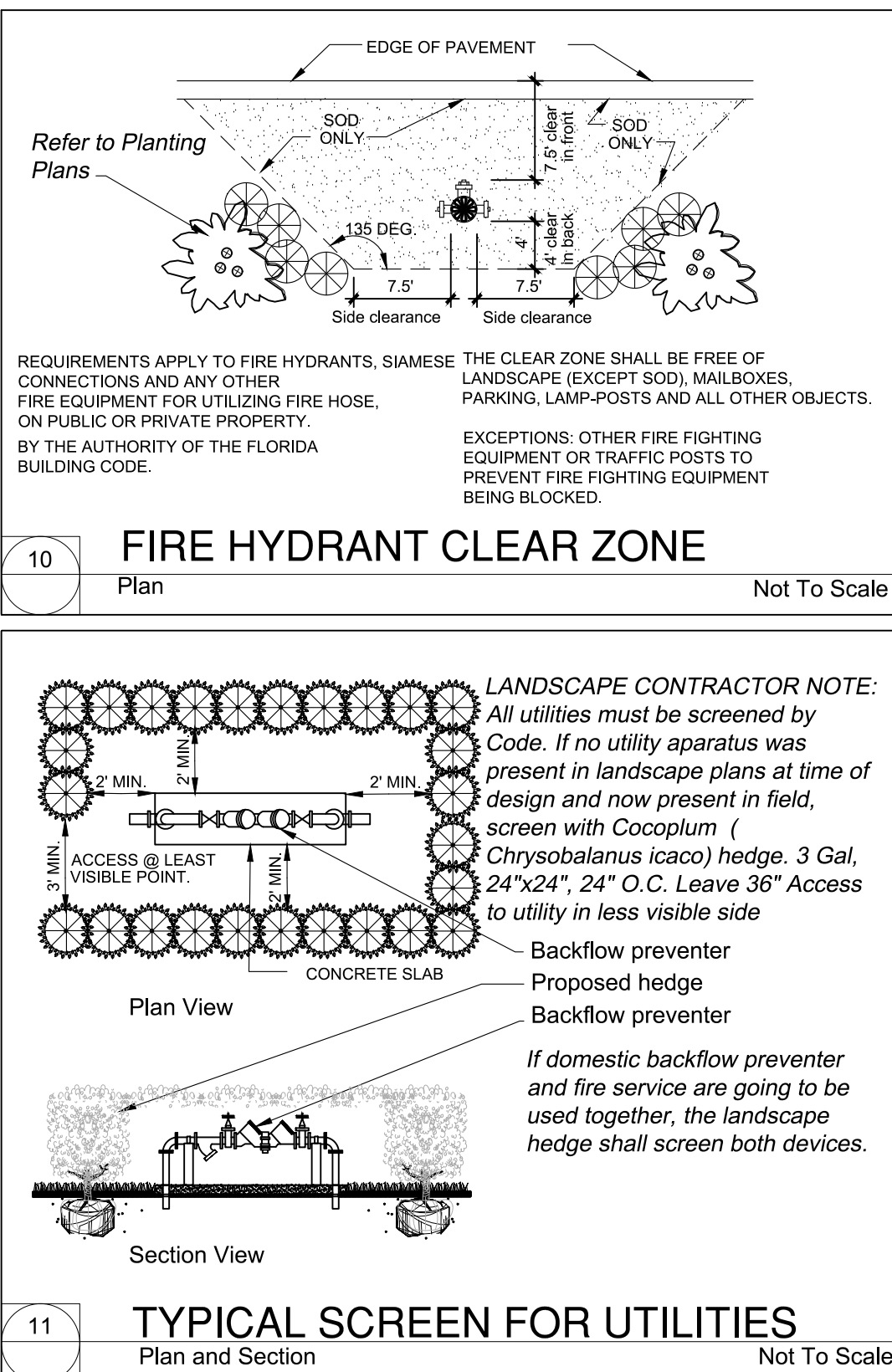
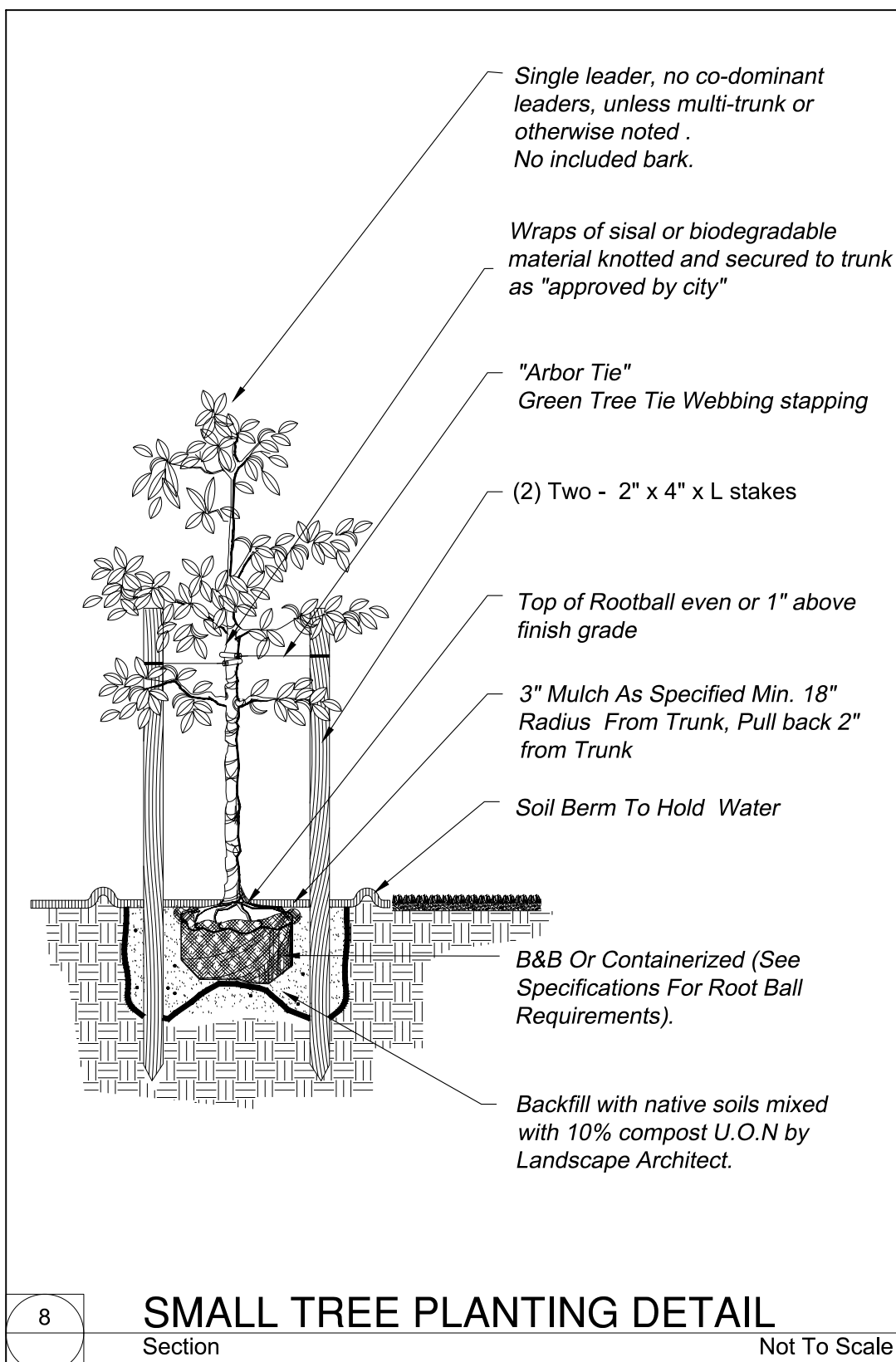
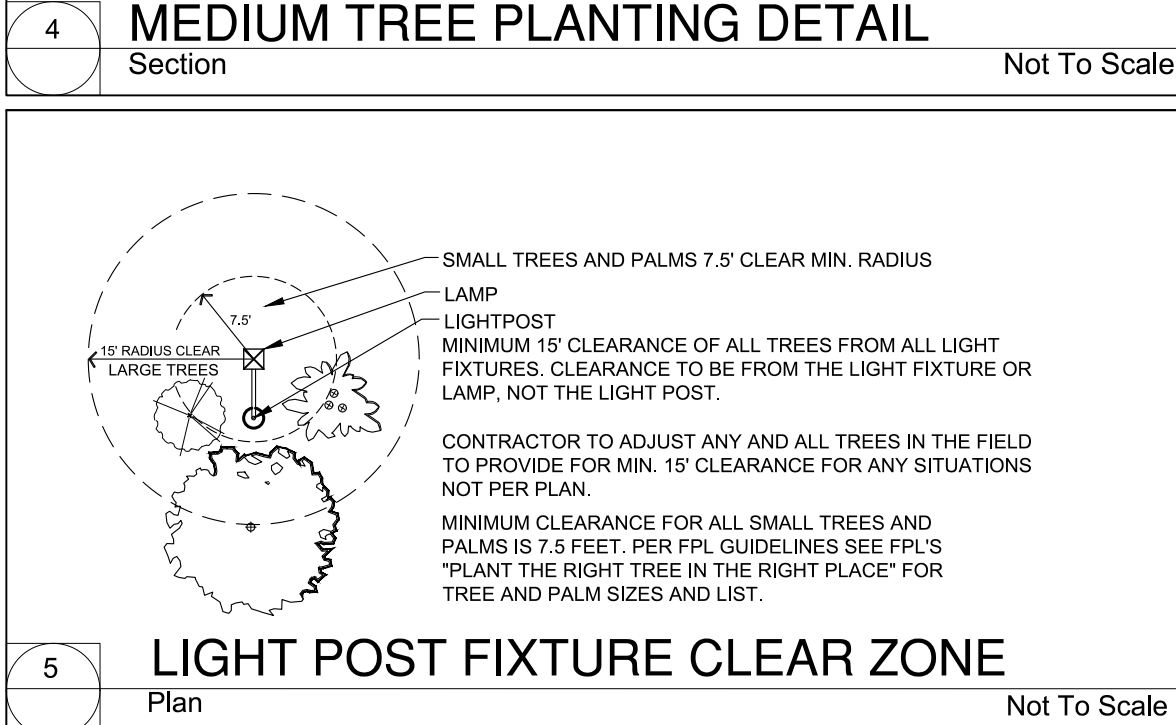
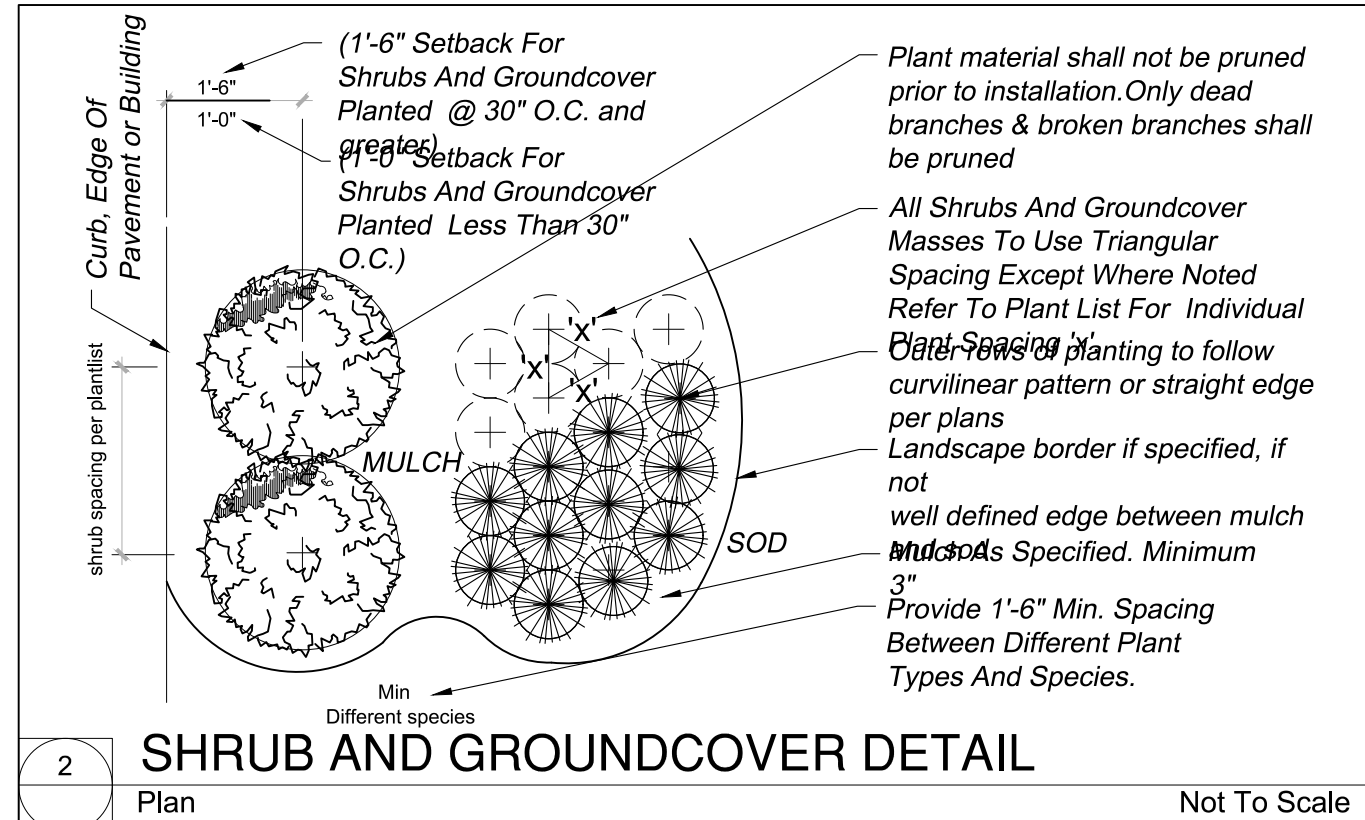
## PLANTING DETAILS

DRAWING INFO:

NOTE:  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS  
AND CONDITIONS ON THE JOB. AND THIS OFFICE MUST BE NOTIFIED OF ANY  
VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE  
DRAWINGS.  
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE  
PROCEEDING WITH  
FABRICATION.

**L-3**

## PLANTING DETAILS











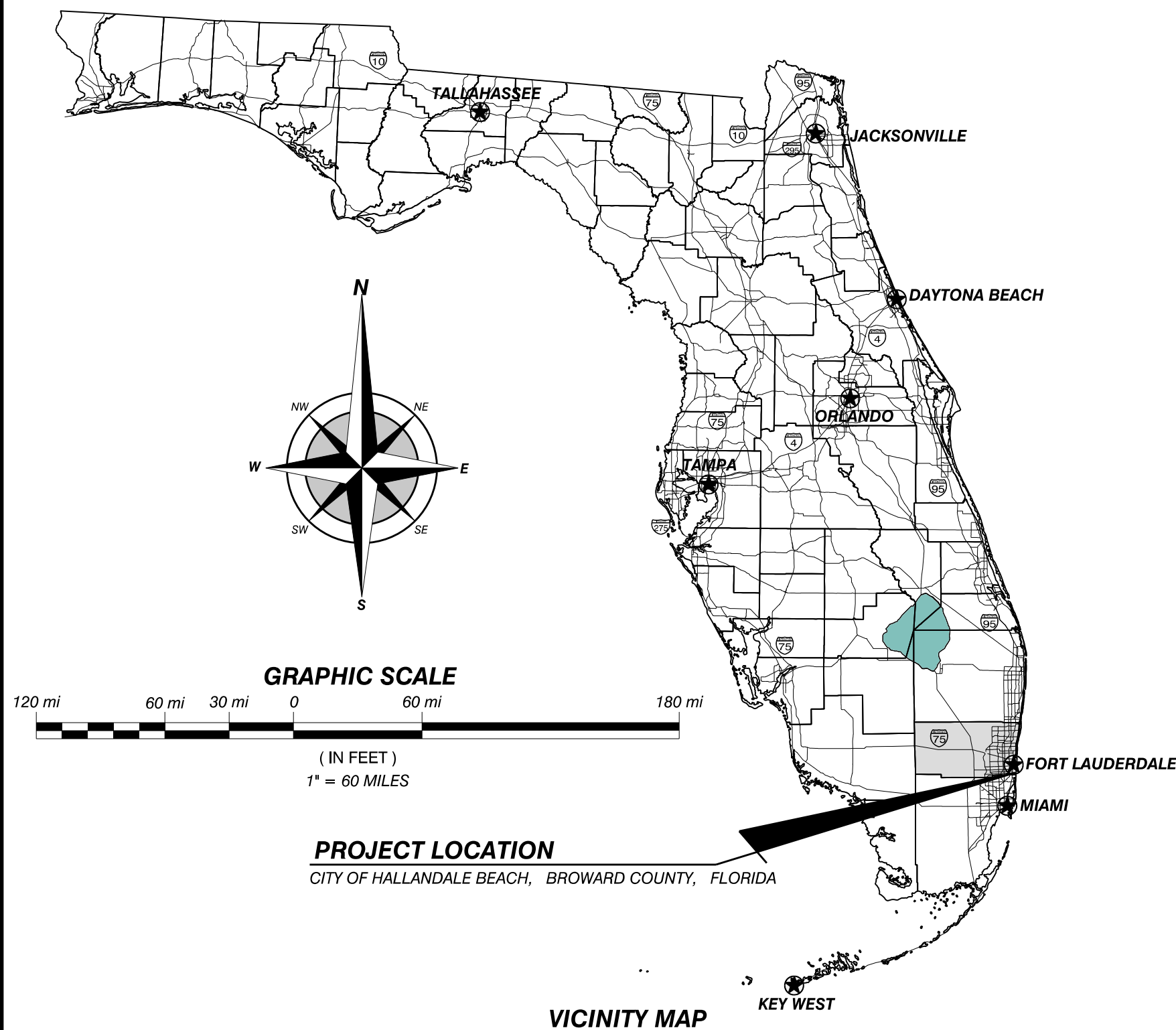




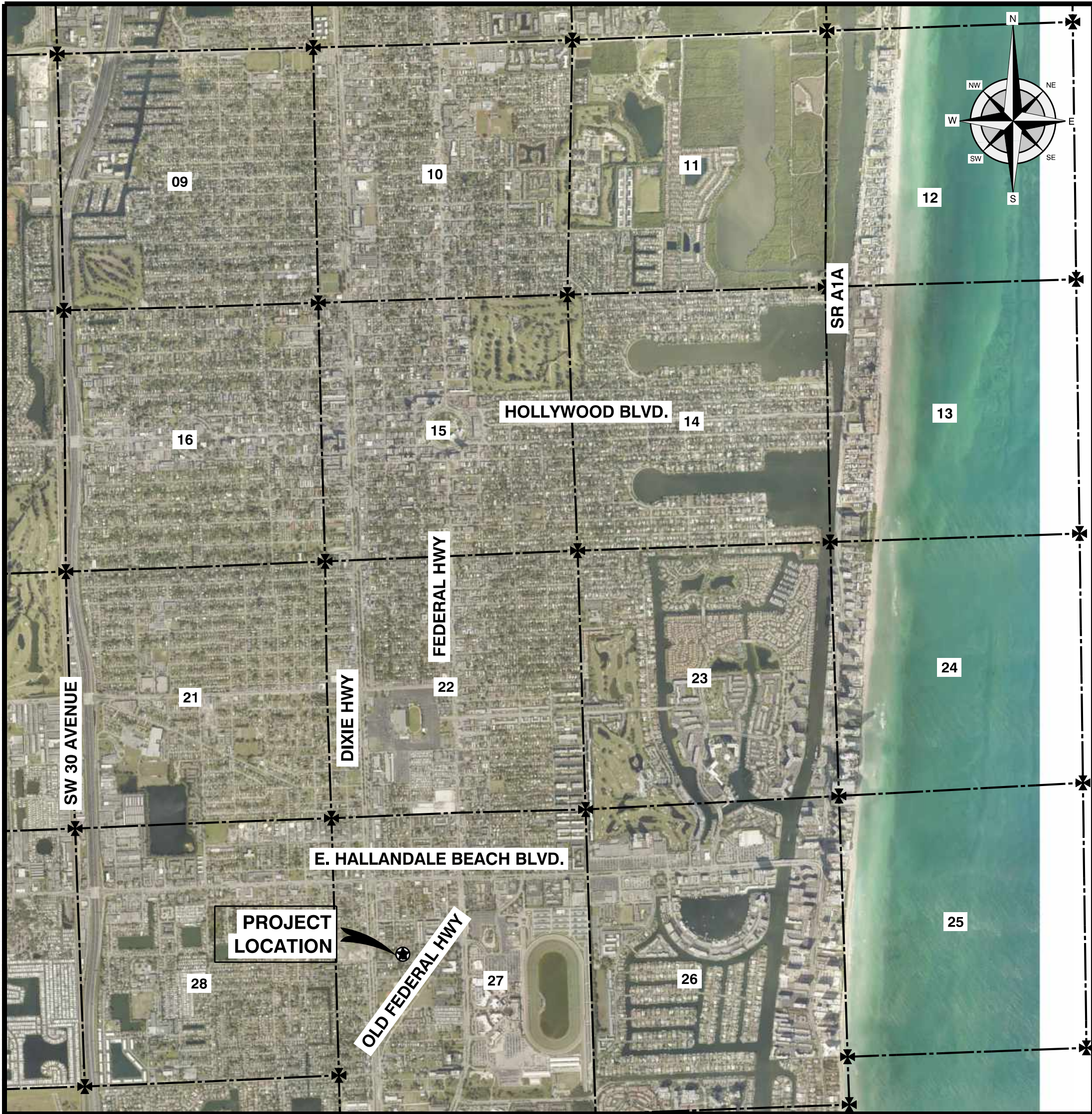


# LEISURE APARTMENTS

215 S.E. 4th STREET, HALLANDALE BEACH, FL 33009  
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA  
LEISURE APARTMENTS, INC.



PROJECT TEAM	
OWNER:	VICTOR E. TAURIZANO LEISURE APARTMENTS, INC. 215 SE 4th STREET HALLANDALE BEACH, FL 33009 TEL: 305-814-8668
ARCHITECT:	JORGE CASTRO, RA CCA DESIGN + ARCH, LLC 1424 SW 23rd STREET MIAMI, FL 33145 TEL: 786-487-3724
LANDSCAPE ARCHITECT:	FABIO PEREZ FP DESIGN, LLC 15438 SW 25th TERRACE MIAMI, FL 33185 TEL: 305-778-7136
M.E.P. ENGINEER:	JUAN J. BEDOYA, P.E. B&K ENGINEERING GROUP, LLC 3801 NW 2nd AVENUE BOCA RATON, FL 33431 TEL: 561-716-7120
CIVIL ENGINEER:	WERNER T. VAUGHAN, P.E. WINNINGHAM & FRADLEY, INC. 111 NE 44th STREET OAKLAND PARK, FL 33334 TEL: 954-771-7440



LOCATION MAP  
SECTIONS 27, TOWNSHIP 51 SOUTH, RANGE 42 EAST  
SCALE: 1"= 3000'  
(FOR 24" x 36" DRAWING)

## INDEX TO SHEETS

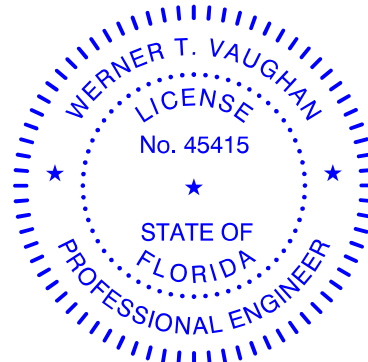
DESCRIPTION	SHEET NUMBER
SITE PLAN	SP 1 OF 1
CONCEPTUAL DEMOLITION PLAN	DP1 OF 1
CONCEPTUAL PAVING & DRAINAGE SYSTEM - PLAN	PD 1 OF 3
CONCEPTUAL PAVING & DRAINAGE SYSTEM - SECTIONS & DETAILS	PD2 OF 3
CONCEPTUAL PAVING & DRAINAGE SYSTEM - DETAILS	PD 3 OF 3
CONCEPTUAL PAVEMENT MARKINGS & SIGNAGE - PLAN & DETAILS	PM1 OF 1
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - PLAN	WS1 OF 3
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS	WS2 OF 3
CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS	WS3 OF 3
TEMPORARY POLLUTION PREVENTION - PLAN	TPP1 OF 3
TEMPORARY POLLUTION PREVENTION - GENERAL NOTES & DETAILS	TPP2 OF 3
TEMPORARY POLLUTION PREVENTION - DETAILS	TPP3 OF 3

## LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

## GENERAL NOTES:

- ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D.)
- NFPF COMMUNITY NAME: CITY OF HALLANDALE  
COMMUNITY No.: 125110
- FEMA MAP No.: 12011C0732J  
FIRM INDEX DATE: 12-31-2019  
FLOOD ZONE: AE 6 & X
- REFERENCE BENCHMARK: BROWARD COUNTY BENCHMARK # 3342, ELEVATION = 8.52 (N.G.V.D. 1929).



This item has been electronically signed and sealed with a Digital Signature by:

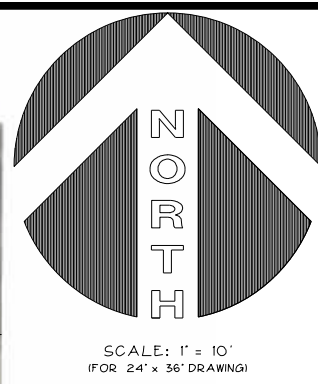
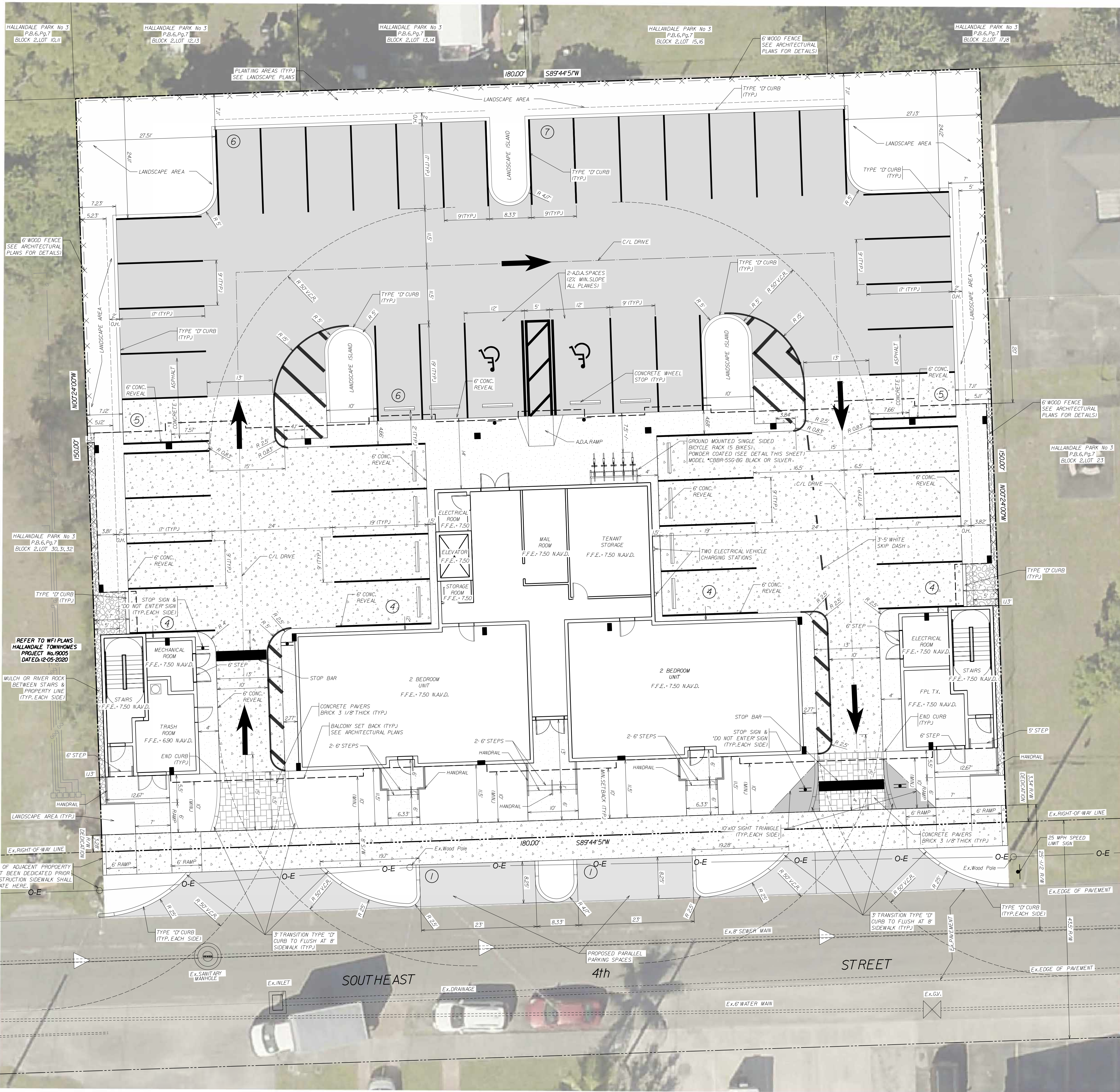
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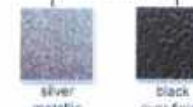
APPROVED:	EB-0002995 LB-0002995
PUBLISHED:	2/11/2021, 10:22 PM
PROJECT NUMBER:	19031
DATE:	OCTOBER 2019

This item has been digitally signed and sealed by Werner T. Vaughan on the date indicated here.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.





Model CBR-SSG-BK | Black



GROUND MOUNTED SINGLE SIDED BICYCLE RACK DETAIL

LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

- FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING. SPECIFICS ARE IDENTIFIED WITHIN THE DRC RESPONSES (SEE REVIEW COMMENT NUMBER ONE (1), ENGINEERING DEPARTMENT COMMENTS).
- NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS.

ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
NAVD.	NORTH AMERICAN VERTICAL DATUM
S/W	SEWAGE
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
D.I.P.	DUCTILE IRON PIPE
TYP.	TYPICAL
R.C.P.	REINFORCED CONCRETE PIPE
S.R.C.P.	SLOTTED REINFORCED CONCRETE PIPE
O.E.	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
C.L.F.	CHAINLINK FENCE

LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PAVERS
	CONCRETE HARDSCAPE SURFACES
	MULCH OR RIVER ROCK
	PROPOSED TYPE "D" CURB
	PROPOSED ROOF OVERHANG
	PROPOSED VEHICLE OVERHANG
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	NUMBER OF PARKING SPACES
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	COLUMN

OVERALL SITE DATA - LEISURE APARTMENTS			
PERVIOUS/IMPERVIOUS SITE DATA - GROSS SITE AREA			
IMPERVIOUS			
AREA	SQ. FT.	ACRES	%
TOTAL GROSS SITE AREA	28,990	0.620	100.00%
RIGHT-OF-WAY DEDICATION	601	0.014	2.23%
BUILDING GROUND COVERAGE	4,846	0.111	17.95%
PAVEMENT	13,875	0.319	51.41%
SIDEWALK/CURBING/PAVERS	3,175	0.073	11.78%
PERVIOUS			
GREEN SPACE	4,232	0.097	15.68%
STONES	258	0.006	0.96%
PERVIOUS/IMPERVIOUS - NET SITE AREA			
TOTAL IMPERVIOUS	21,899	0.503	82.99%
TOTAL PERVIOUS	4,496	0.103	17.01%
TOTAL NET SITE AREA	26,395	0.606	100.00%
TRANSIT CORE SUBDISTRICT REQUIREMENTS (TABLE 32-196(a))			
		REQUIRED	PROVIDED
LOT WIDTH	50 FT MINIMUM	180 FT	180 FT
LOT AREA	5,000 MIN / 100,000 MAX	82,995	26,395
LOT COVERAGE	85% MAX	92.99%	92.99%
MINIMUM LANDSCAPE AREA	5% MIN	17.01%	17.01%
PRIMARY STREET / FRONT SETBACK	10 FT MIN / 15 FT MAX	10 FT Balconies/ 11.3 FT Building	1 FT
INTERIOR SIDE SETBACK	0 FT	1 FT	1 FT
REAR SETBACK	10 FT MIN	66+ J. FT	11 FT
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN	100.00%	100.00%
MINIMUM HEIGHT PRIMARY STREETS	2 STORIES OR 20 FT	3 STORIES	3 STORIES
MAXIMUM DENSITY	50 DU/AC	39.62 DU/AC	39.62 DU/AC
CIVIC OPEN SPACE	7.5% OR 1,979 SF	NONE	WATER REQUESTED
ON-SITE PARKING DATA			
USE	UNITS	RATIO	REQUIRED
MULTI-FAMILY - ONE BEDROOM	18	1.25 / UNIT	23
MULTI-FAMILY - TWO OR MORE BEDROOM	6	1.15 / UNIT	7
GUEST PARKING (FIRST 20 UNITS)	20	0.5 / UNIT	10
GUEST PARKING (UNITS 21-50)	4	0.3 / UNIT	1
TOTAL PARKING REQUIRED			45
TOTAL PARKING PROVIDED			45
HANDICAPPED PARKING REQUIRED			2
HANDICAPPED PARKING PROVIDED			2
BICYCLE PARKING REQUIRED			2
BICYCLE PARKING PROVIDED			5
OFFSITE PARKING PROVIDED			2
ZONING DISTRICT	CENTRAL RAG - TRANSIT CORE		
PROPOSED ZONING	CENTRAL RAG - TRANSIT CORE		

SITE PLAN

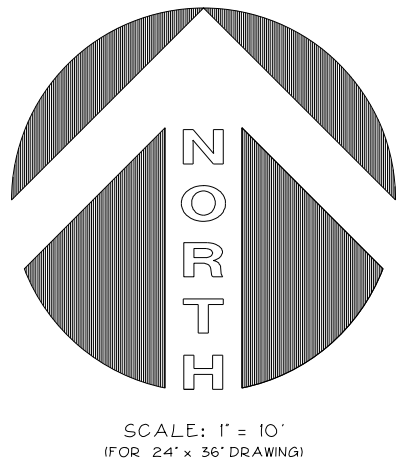
LEISURE APARTMENTS

LEISURE APARTMENTS, INC.

WINNINGHAM & FRADLEY, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
111 N.E. 44th STREET, OAKLAND PARK, FL 33304 • 954-771-0200 • FAX 954-771-0200 • www.wfinc.com

DESIGNED: WTV DATE: 03/2020 APPROVED: EB-0002995  
DRAWN: JAB DATE: 03/2020 LB-0002995  
CHECKED: GSB DATE: 04/2020  
PROJECT NUMBER 19031 SHEET SPI OF 1





ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
NAVD.	NORTH AMERICAN VERTICAL DATUM
S/W	SIDEWALK
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
D.I.P.	DUCTILE IRON PIPE
TYP.	TYPICAL
R.C.P.	REINFORCED CONCRETE PIPE
S.R.C.P.	SLOTTED REINFORCED CONCRETE PIPE
O-E	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
CLF.	CHAINLINK FENCE

LEGEND	
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	EXISTING CLF.

NOTES:

1. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND MITIGATION. THE CITY OF HALLANDALE SHALL BE NOTIFIED PRIOR TO THE REMOVAL OF EXISTING WATER METERS AND METERS SHALL BE RETURNED TO CITY UTILITIES.

DESIGNED: WTV		DATE: 03/2020	APPROVED: EB-0002995 LB-0002995
DRAWN: AMF		DATE: 03/2020	
CHECKED: GSB		DATE: 04/2020	PROJECT NUMBER 19031 SHEET 1 OF 1
REVISED PER DRC COMMENTS - 1st SUBMITTAL		DATE: 06/26/2020	
NO.		REVISIONS	DATE

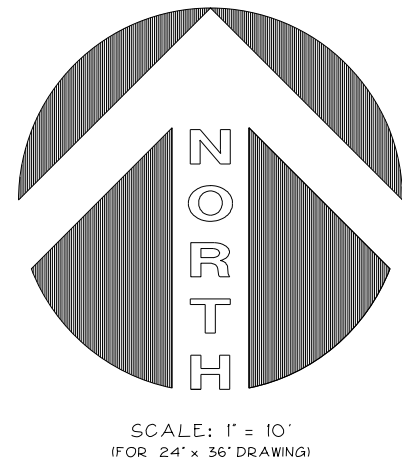
PUBLISHED: 2/11/2020 12:30 PM	
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CONCEPTUAL DEMOLITION  
PLAN

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ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
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S/W	SIDEWALK
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O-E	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
C.L.F.	CHAINLINK FENCE

LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PAVERS
	CONCRETE HARDSCAPE SURFACES
	MULCH OR RIVER ROCK
	PROPOSED TYPE 'D' CURB
	PROPOSED ROOF OVERHANG
	PROPOSED VEHICLE OVERHANG
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	NUMBER OF PARKING SPACES
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	PROPOSED FINISH GRADE
	PROPOSED DIRECTION OF OVERLAND FLOW
	PROPOSED DRAINAGE INLET / MANHOLE
	PROPOSED EXFILTRATION TRENCH
	WATER METER BOX, METERS & BACKFLOW PREVENTOR
	PROPOSED SANITARY CLEAN OUT
	PROPOSED DDCV
	PROPOSED SIAMESE CONNECTION
	PROPOSED GATE VALVE
	PROPOSED 45 BEND
	PROPOSED TEE
	PROPOSED FIRE HYDRANT

- NOTES:
- ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (NAVD).
  - FEMA FLOOD MAP NO.12510-DT32-H, ZONE AE (60 NAVD) DATED AUGUST 18, 2014.
  - 100 YEAR FLOOD ELEVATION 7.00 NAVD, PER BROWARD COUNTY E.P.S.M.D. SURFACE WATER MANAGEMENT DIVISION.
  - GROUNDWATER ELEVATION 1.50 NAVD, PER BROWARD COUNTY E.P.S.M.D. SURFACE WATER MANAGEMENT DIVISION.
  - CONTRACTOR SHALL CONTACT THE CITY OF HALLANDALE BEACH ENGINEERING DEPARTMENT AT (954) 457-1397 FOR N.P.D.E.S. AND FORM INSPECTIONS.
- NOTES:
- FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING. SPECIFICS ARE IDENTIFIED WITHIN THE D.P.C. RESPONSES (1st REVIEW) COMMENT NUMBER ONE (ENGINEERING DEPARTMENT COMMENTS).
  - NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS.

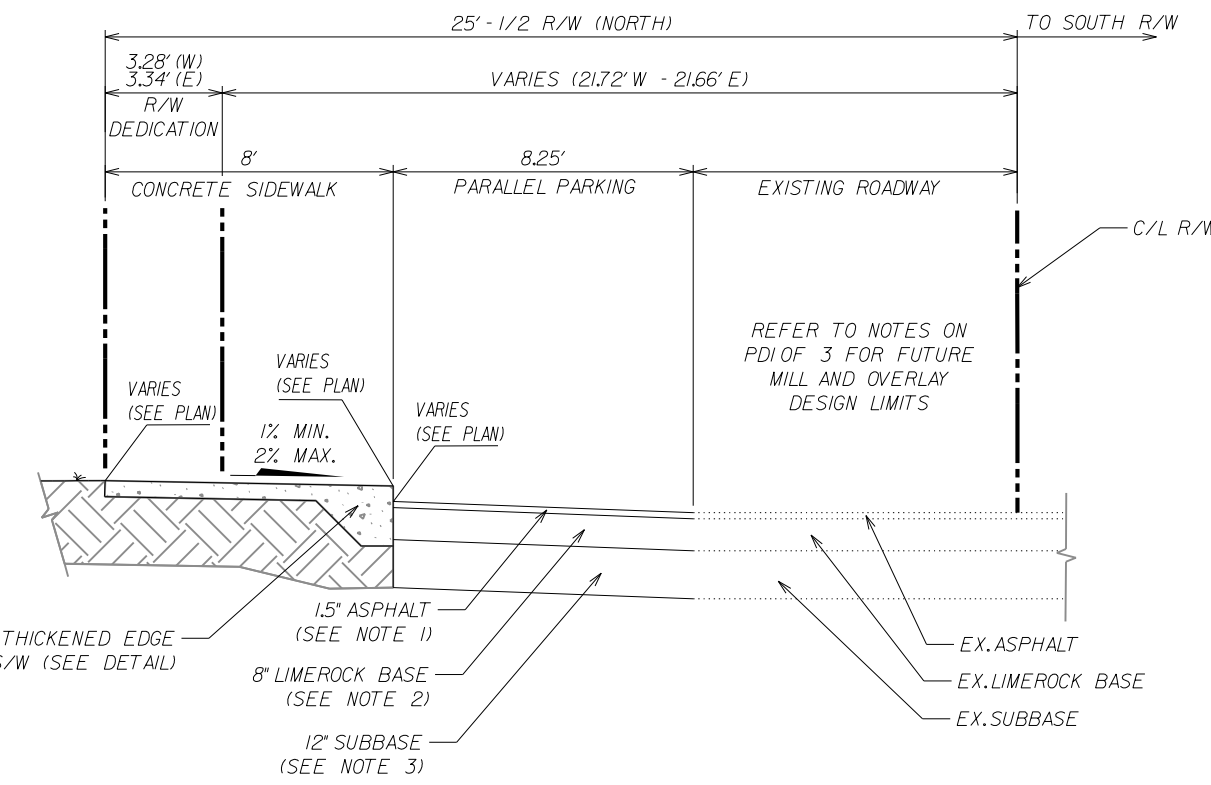
CONCEPTUAL PAVING & DRAINAGE SYSTEM PLAN

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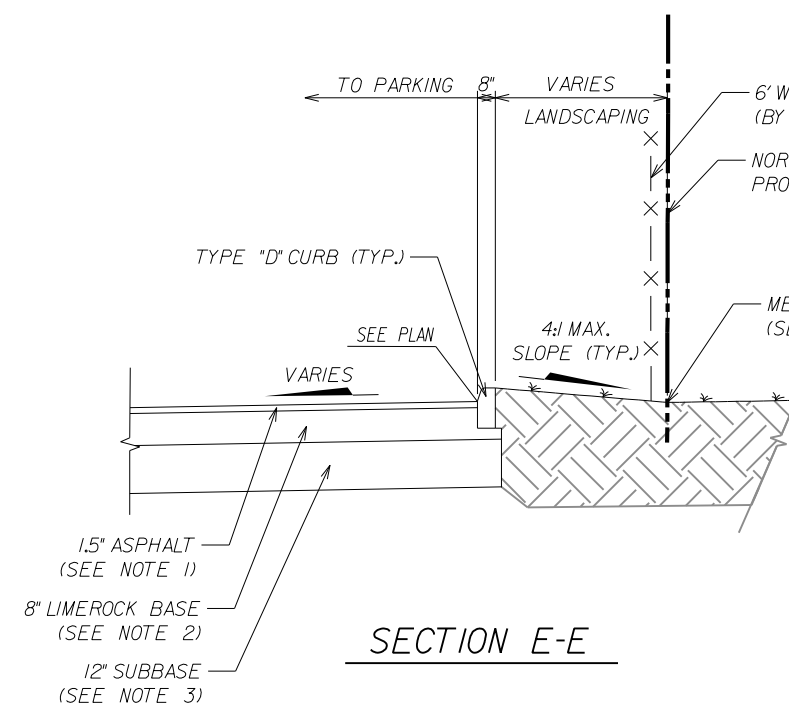
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DESIGNED: WTV	DATE: 03/2020	APPROVED:	EB-0002995
DRAWN: JAB	DATE: 03/2020		LB-0002995
CHECKED: GSB	DATE: 04/2020		
PROJECT NUMBER	19031	SHEET	PDI OF 3

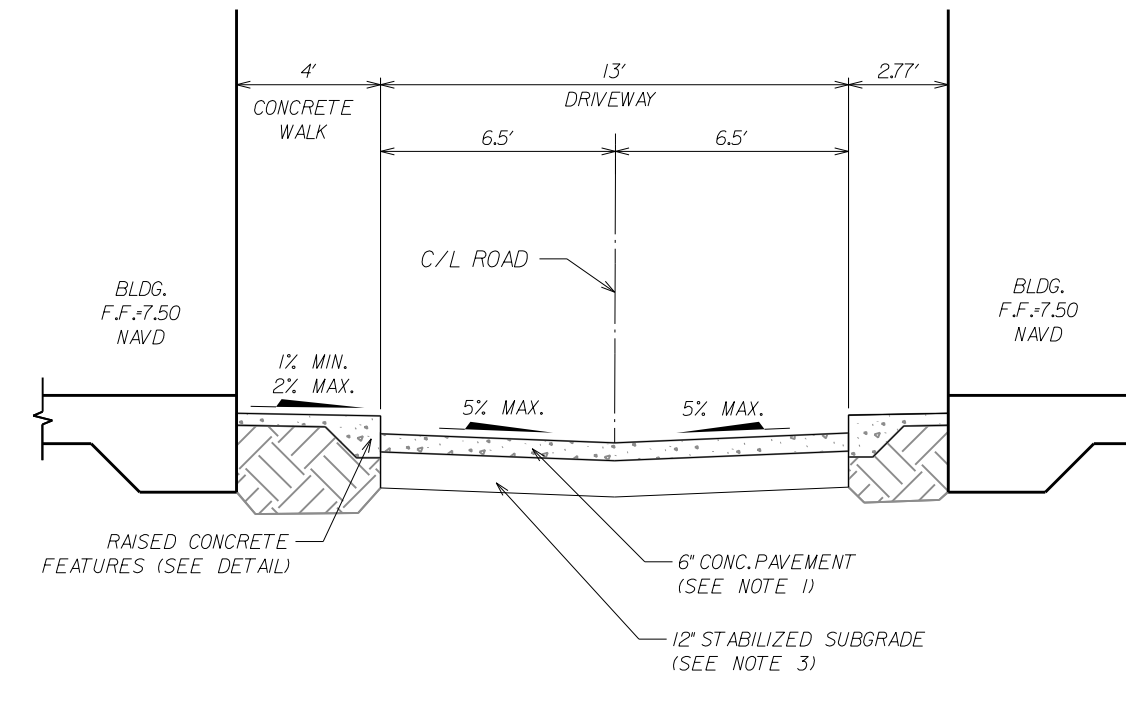




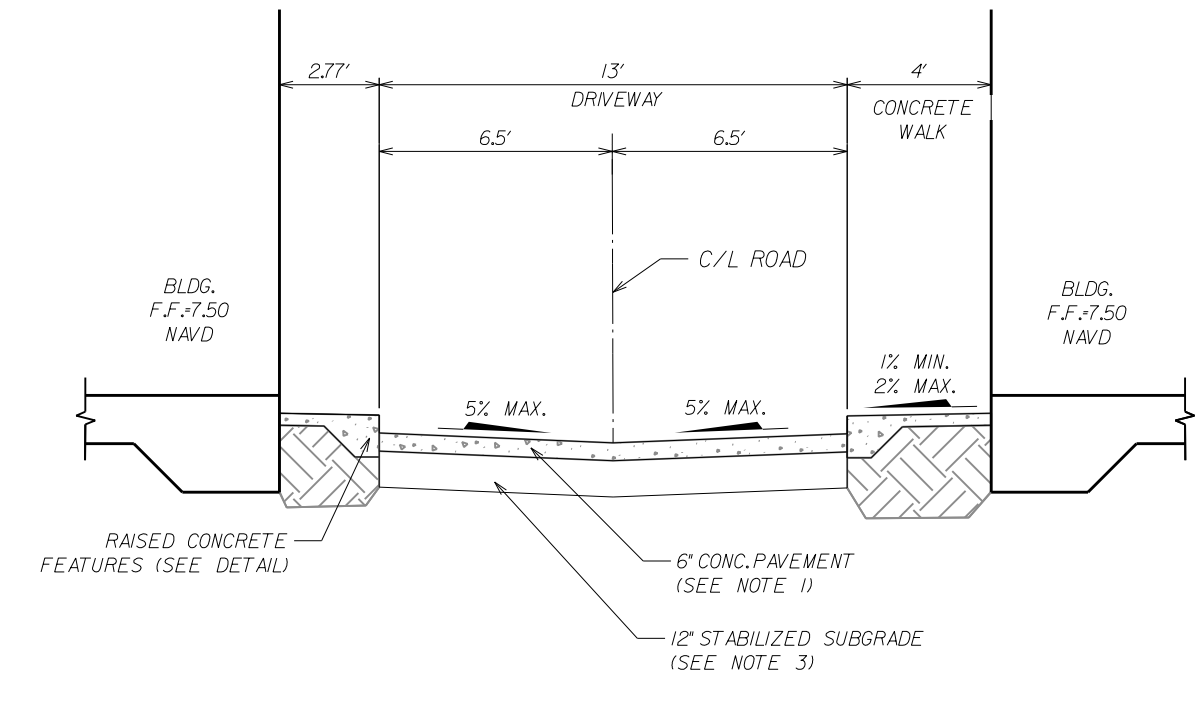
R/W FRONTAGE (SOUTH SIDE OF PROPERTY)  
SECTION A-A



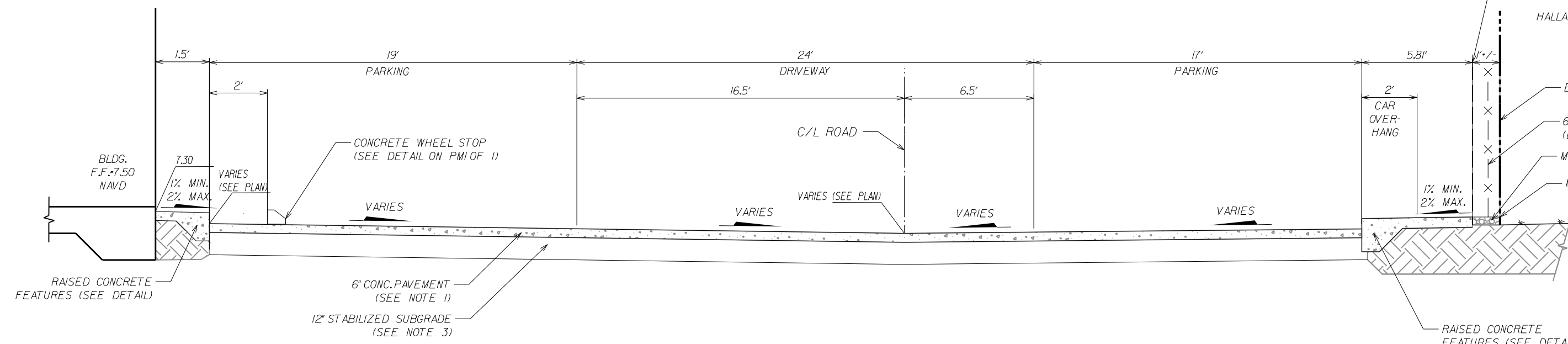
SECTION E-E



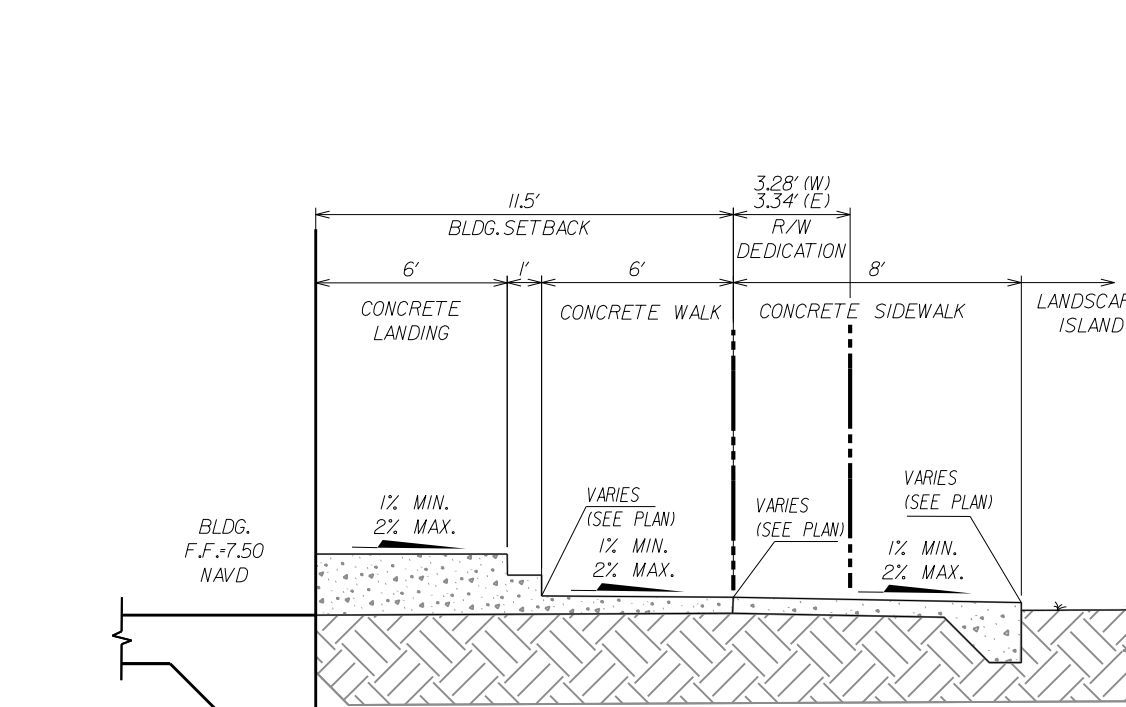
CONCRETE DRIVE (WEST SIDE OF PROPERTY)  
SECTION F-F



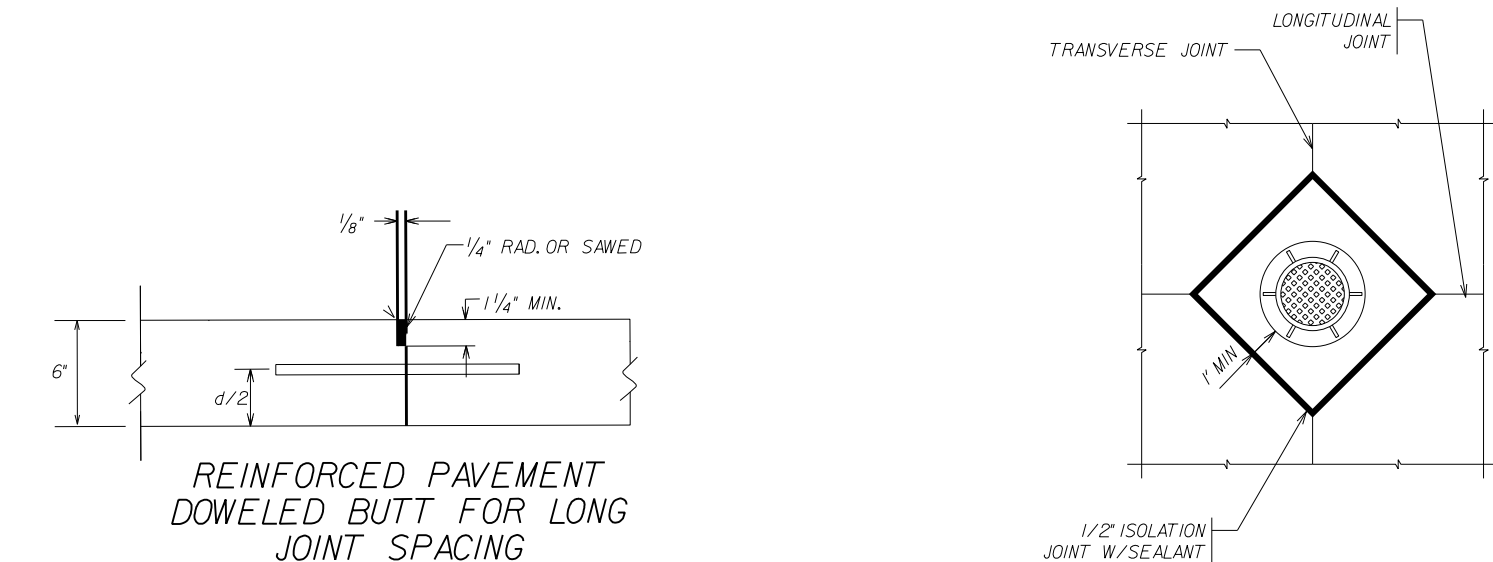
CONCRETE DRIVE (EAST SIDE OF PROPERTY)  
SECTION G-G



CONCRETE PARKING LOT & DRIVE (EAST SIDE OF PROPERTY)  
SECTION B-B

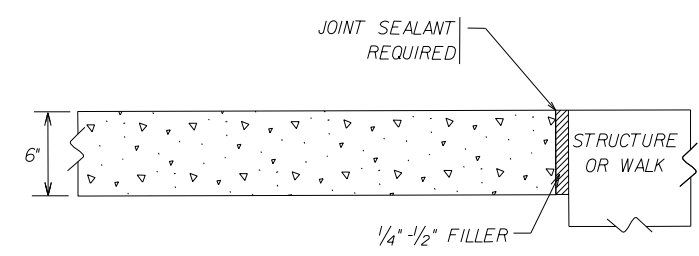


FRONTAGE (SOUTH SIDE OF PROPERTY)  
SECTION H-H

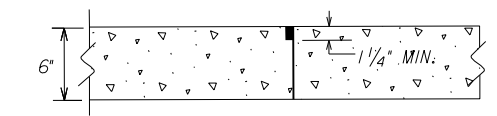


- NOTES:
1. ALL CATCH BASINS, MANHOLES OR OTHER FIXTURES SHOULD BE SEPARATED FROM THE PAVEMENT AND CURB BY BOXING OUT AS SHOWN ABOVE. JOINT MATERIAL SHOULD EXTEND COMPLETELY THROUGH CURB AND SLAB. MANHOLE CASTINGS WITHIN THE PAVEMENT LIMITS SHOULD BE BOXED IN LIKE MANNER EXCEPT WHEN TELESCOPING TYPE CASTINGS ARE USED.
  2. WHEN A JOINT FALLS WITHIN 5' 11\"/>

### FIXTURE DETAILS

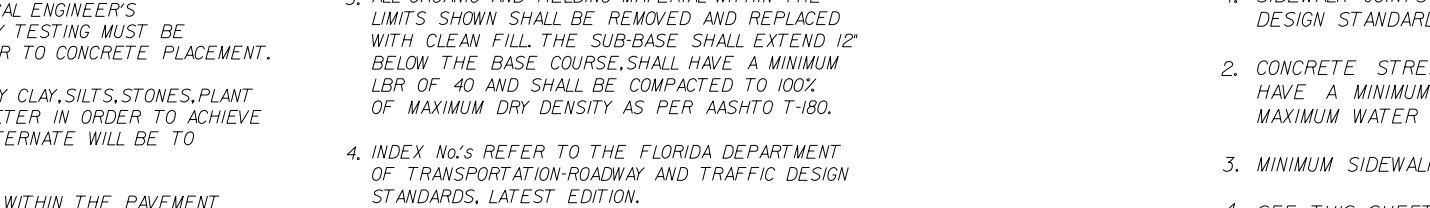
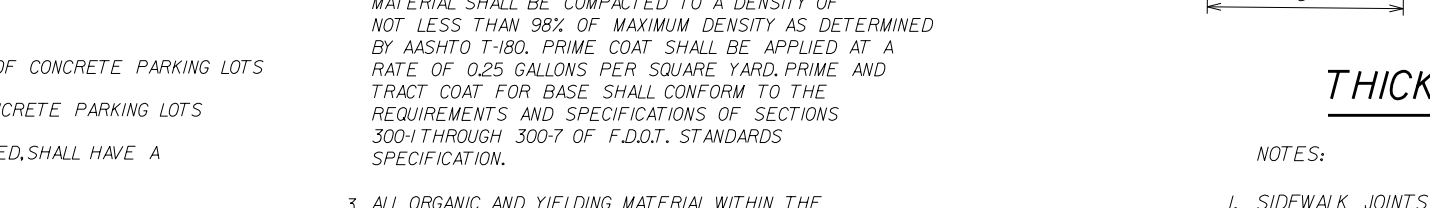
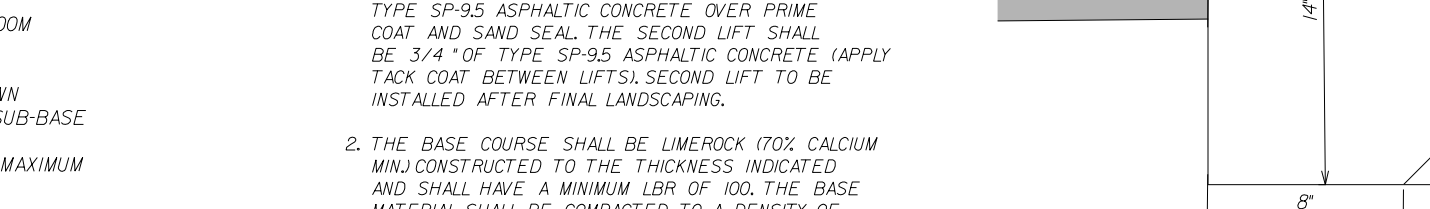
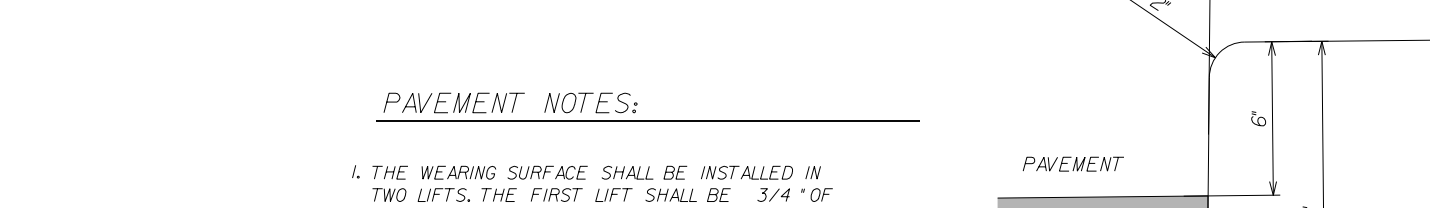
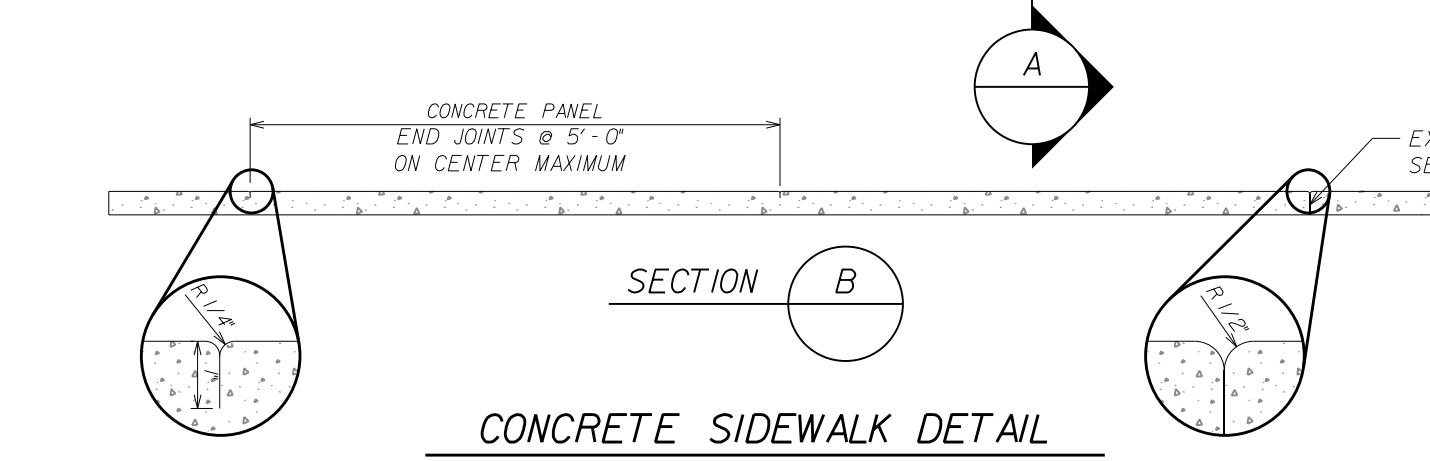
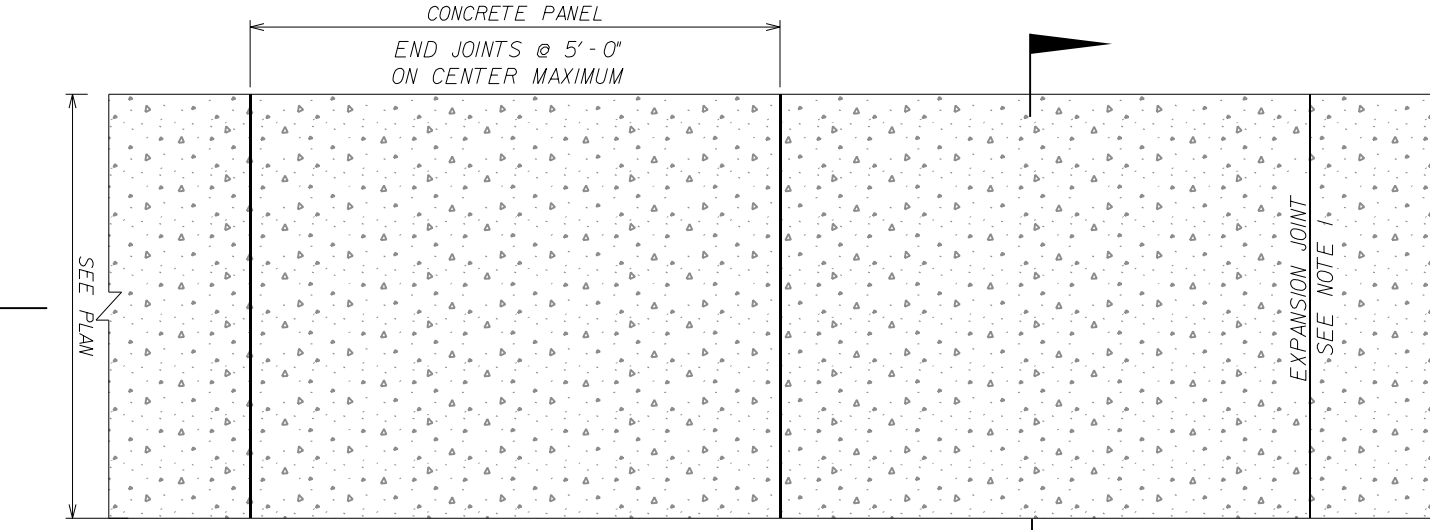


### ISOLATION JOINTS



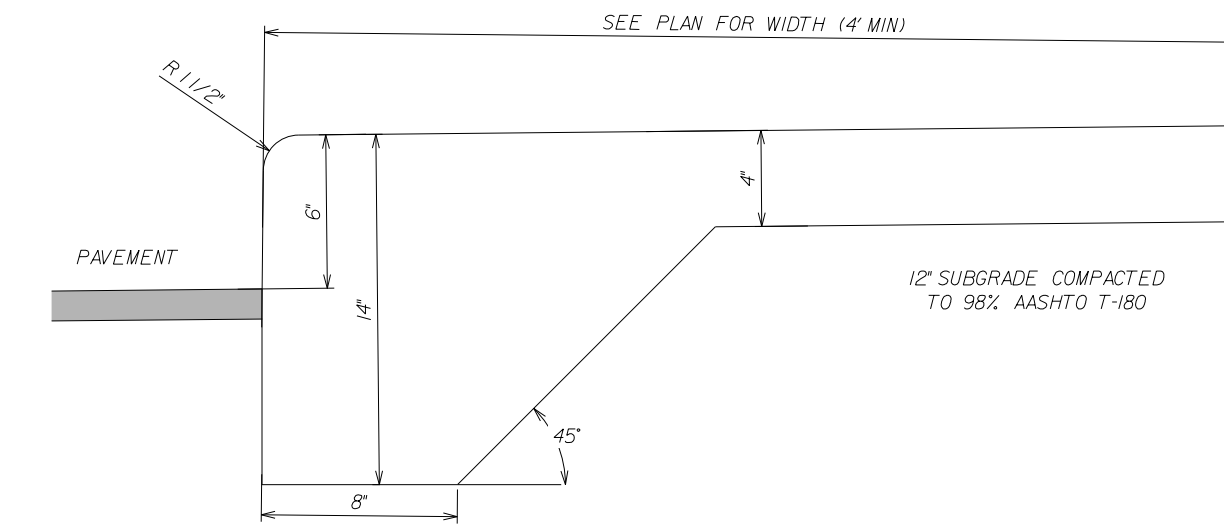
BUTT JOINT  
(FOR THINNER PAVEMENTS  
AND SHORT JOINT SPACING)

### CONTROL JOINT DETAILS



- SIDEWALK NOTES:
1. PROVIDE 1/8\"/>
  2. PROVIDE 1/2\"/>
  3. PROVIDE 6\"/>
  4. CONCRETE TO BE 3000 p.s.i. IN 28 DAYS.
  5. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE, OR OTHER APPROVED METHOD.

### THICKENED EDGE SIDEWALK DETAIL



NOTES:

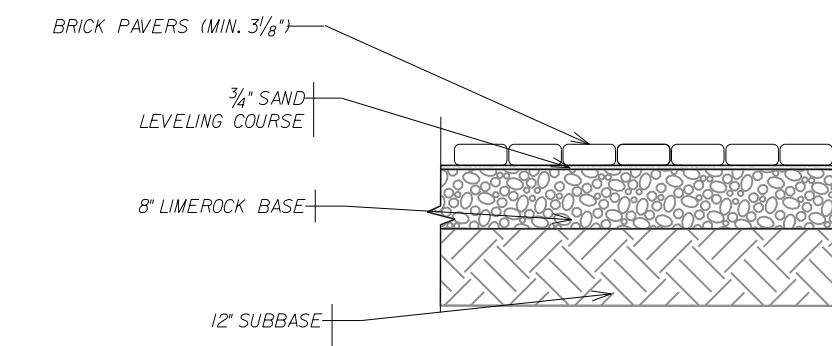
1. SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH FDOT LATEST DESIGN STANDARDS.
2. CONCRETE STRENGTH SHALL BE 3000 PSI MINIMUM AND SHALL HAVE A MINIMUM 470 LB/CY OF PORTLAND CEMENT AND A MAXIMUM WATER TO CEMENT RATIO OF 0.55 LBS/LB.
3. MINIMUM SIDEWALK THICKNESS SHALL BE 4 INCHES.
4. SEE THIS SHEET FOR ADDITIONAL STANDARD SIDEWALK DETAILS.

- CONCRETE PAVEMENT NOTES:
1. CONSTRUCTION SHALL CONFORM TO ALL REQUIREMENTS OF ACI 330 UNLESS OTHERWISE NOTED.
  2. CONCRETE SHALL BE 4000 PSI AT 28 DAYS AND HAVE A BROOM FINISH.
  3. ALL ORGANIC AND YIELDING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL. THE SUB-BASE SHALL EXTEND 12\"/>
  4. USE ACI OR FCPCA CERTIFIED FLATWORK FINISHER
  5. REFERENCE ACI 330R-08 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS
  6. REFERENCE ACI 330I-94 STANDARD SPECIFICATION FOR PLAIN CONCRETE PARKING LOTS
  7. ALL CONCRETE USED IN PARKING LOT UNLESS OTHERWISE INDICATED SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  8. PREPARE THE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR RIGID PAVEMENTS. SUBGRADE SOIL DENSITY TESTING MUST BE COMPLETED AND VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.
  9. IMPORTED SOIL USED FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL GREATER THAN 1/2\"/>
  10. LAY OUT CONTROL JOINTS BY STARTING WITH ANY DRAINAGE INLET WITHIN THE PAVEMENT SECTION AND WORK TOWARD EDGE OF PAVEMENT. KEEP ALL JOINTS CONTINUOUS.
  11. CONTROL JOINTS SHALL BE FORMED OR SAWED WITHIN 4 TO 12 HOURS FROM TIME OF PLACEMENT. MAXIMUM SPACING SHALL BE 12 1/2 FEET APART.
  12. CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER-PIGMENTED WATER-BASED CURING COMPOUND OR VISQUEEN AND BURLAP.
  13. ALL CONTRACTION & ISOLATION JOINTS EXPECTING VEHICLE TRAFFIC SHALL HAVE THICKENED EDGES.
  14. ALL EXPANSION/ISOLATION TYPE JOINTS SHALL USE A SOLUBLE/BOUNDED EXPANSION JOINT FILLER AND SEALANT OR EQUIVALENT. PREFORMED NEOPRENE RUBBER COMPRESSION SEALS MAY ALSO BE USED.

### PAVEMENT NOTES:

1. THE WEARING SURFACE SHALL BE INSTALLED IN TWO LIFTS. THE FIRST LIFT SHALL BE 3/4\"/>
2. THE BASE COURSE SHALL BE LIMEROCK (100% CALCIUM MIN.) CONSTRUCTED TO THE THICKNESS INDICATED AND SHALL HAVE A MINIMUM LBR OF 100. THE BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD. PRIME AND TRACT COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTIONS 300 THROUGH 300T OF FDOT STANDARD SPECIFICATION.
3. ALL ORGANIC AND YIELDING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL. THE SUB-BASE SHALL EXTEND 12\"/>
4. INDEX NO.'S REFER TO THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION.

### PAVER SECTION DETAIL

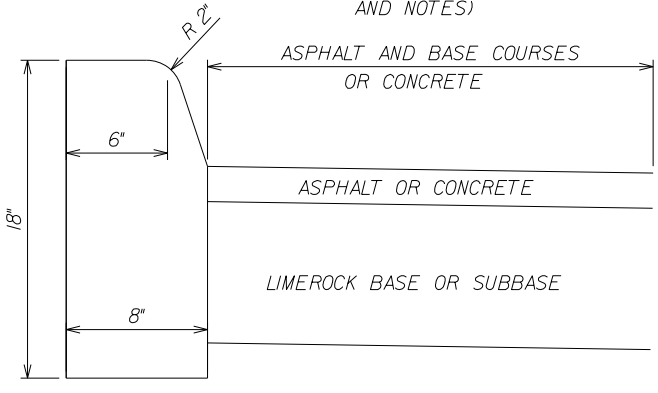


### NOTES:

1. 8' LIMEROCK BASE SHALL BE PLACED IN TWO 4 INCH LIFTS. THE BOTTOM AND TOP LIFTS SHALL BE DOT APPROVED BASE ROCK WITH A MINIMUM LBR OF 100. BASE ROCK SHALL BE PRIMED IN ACCORDANCE WITH SECTION 300 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS. ALL BASE ROCK SHALL BE COMPACTED TO NOT LESS THAN 98% MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99.
2. SUBGRADE MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 160 OF THE FDOT STANDARD SPECIFICATIONS. ALL SUBGRADE SHALL HAVE A MINIMUM LBR OF 40 AND SHALL BE COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99.

- GENERAL NOTES:
1. FOR CURB, HEADER CURB AND CURB & GUTTER PROVIDE 1/4\"/>
  2. ENDS OF TYPE 'D' CURB SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN 3'.
  3. REFER TO FDOT INDEX NO. 300 FOR ADDITIONAL INFORMATION.
  4. ALL CURB CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

### CONCRETE CURB DETAILS



### TYPE 'D' CURB

### CONCRETE CURB DETAILS

### CONCEPTUAL PAVING & DRAINAGE SYSTEM SECTIONS - DETAILS

### LEISURE APARTMENTS LEISURE APARTMENTS, INC.

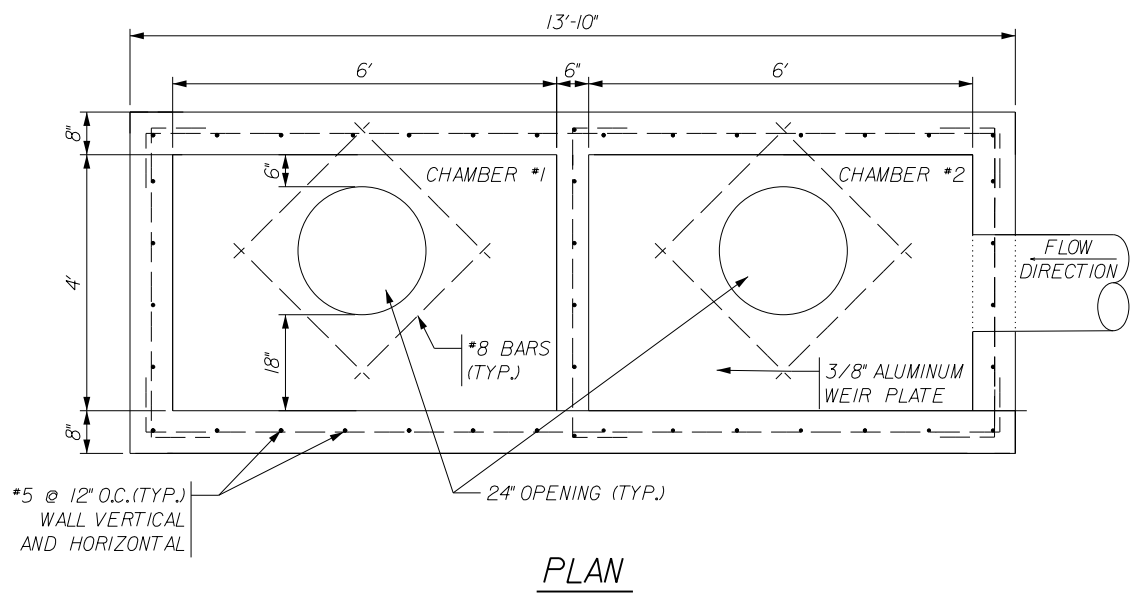
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DRAWN: JAB	DATE: 03/2020	CHECKED: GSB	DATE: 04/2020
PROJECT NUMBER: 19031	SHEET: PD2 OF 3		

NO.	REVISIONS	DATE	PUBLISHED: 2/1/2020, 12:42:20 PM
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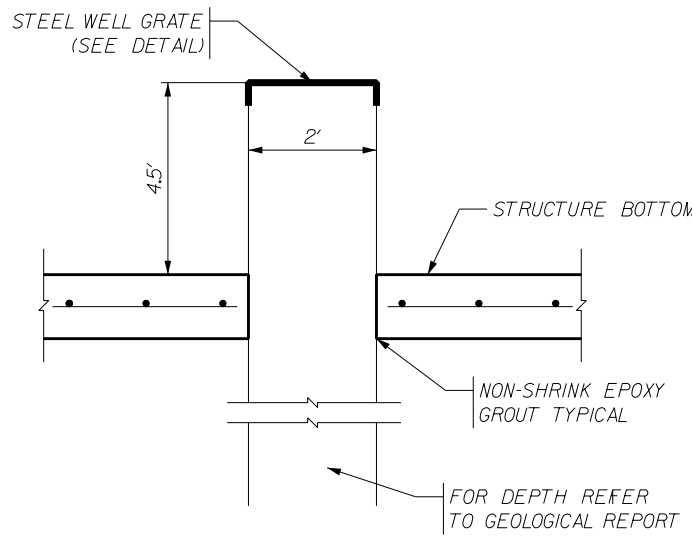
Werner T. Vaughan FL P.E. 45415  
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Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



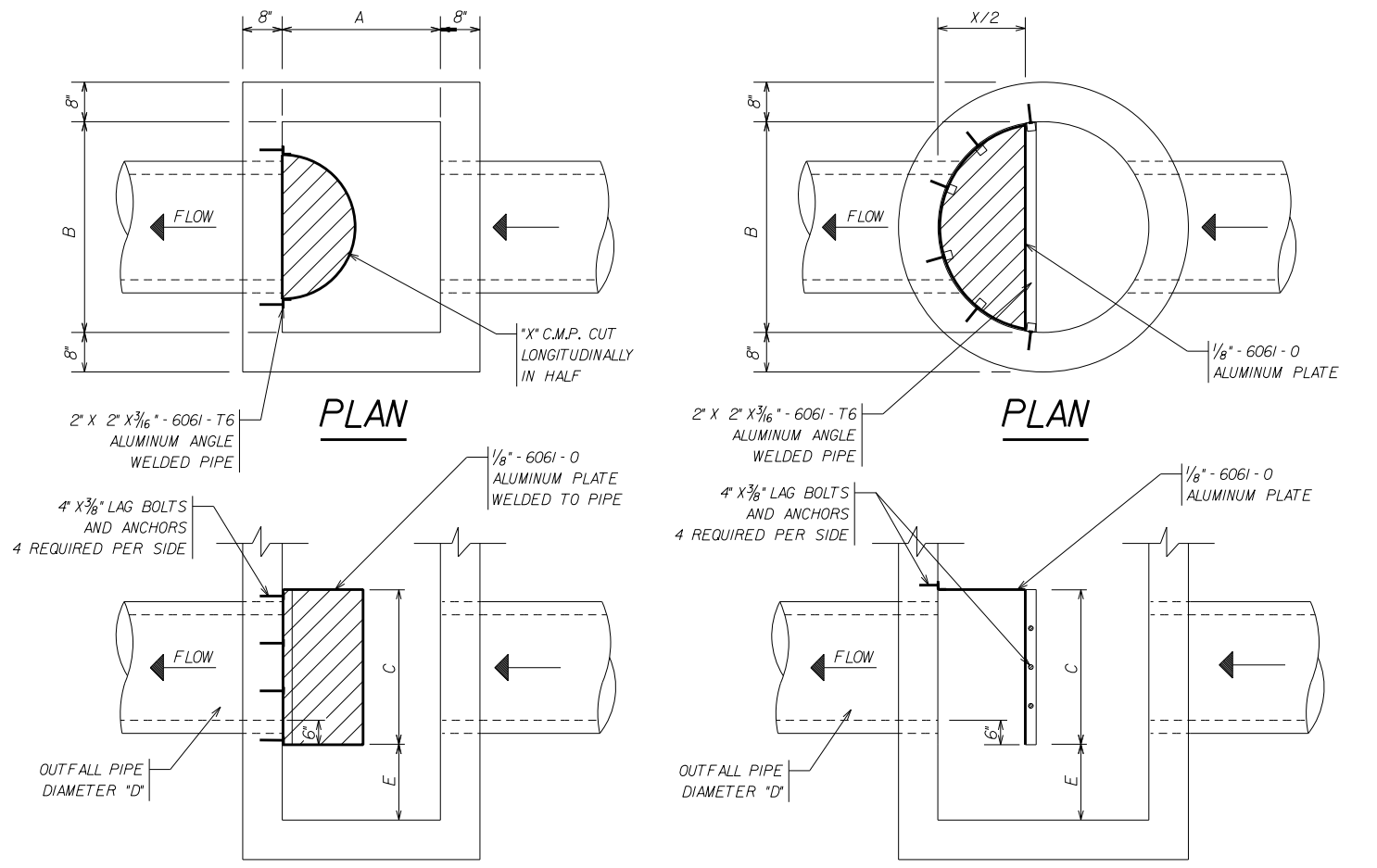


#### DRAINAGE WELL NOTES:

1. DRAINAGE WELL SHALL HAVE A MIN CAPACITY OF 300 GPM PER FOOT OF AVAILABLE HEAD.
2. WELL DRILLER SHALL OBTAIN AN FDEP PERMIT AND PROVIDE BCPED AND THE ENGINEER OF RECORD WITH CERTIFICATION OF CONSTRUCTION COMPLETION REPORT AS REQUIRED BY PERMIT.
3. WELL GRATE TO BE HOT DIP GALVANIZED AFTER FABRICATION.
4. THE CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH WHERE THE GROUND WATER CONTAINS A MIN OF 10,000 PPM OF TOTAL DISSOLVED SOLIDS AND 1500 PPM OF CHLORIDES.
5. CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH, PROVIDED BY WELL DRILLER, WITH AN ADD/ DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID THE FINAL WELL DEPTH SHALL BE WITHIN 25% OF THE BASE BID PRICE.



DRAINAGE WELL GRATE DETAIL

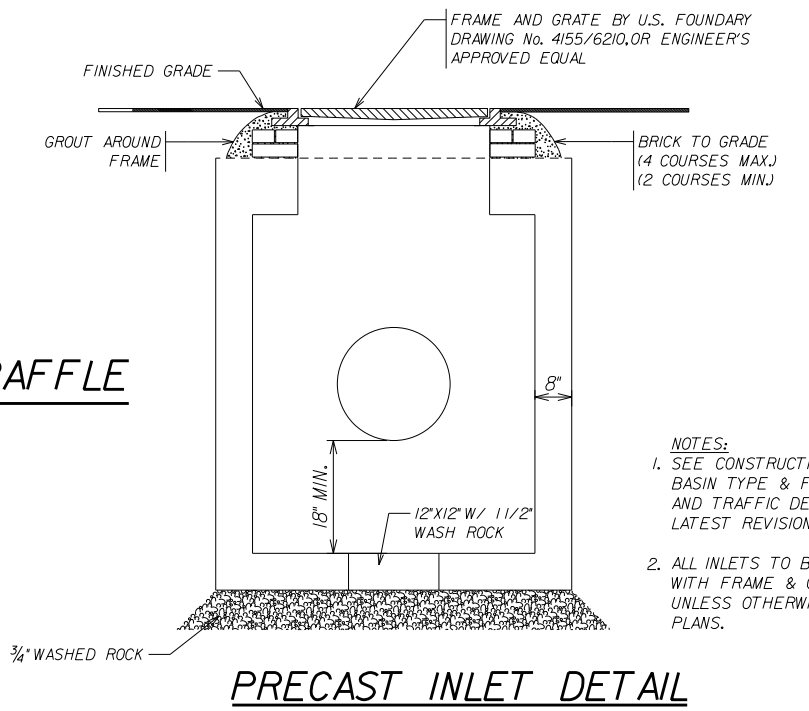


SECTION  
RECTANGULAR STRUCTURE

SECTION  
CIRCULAR STRUCTURE

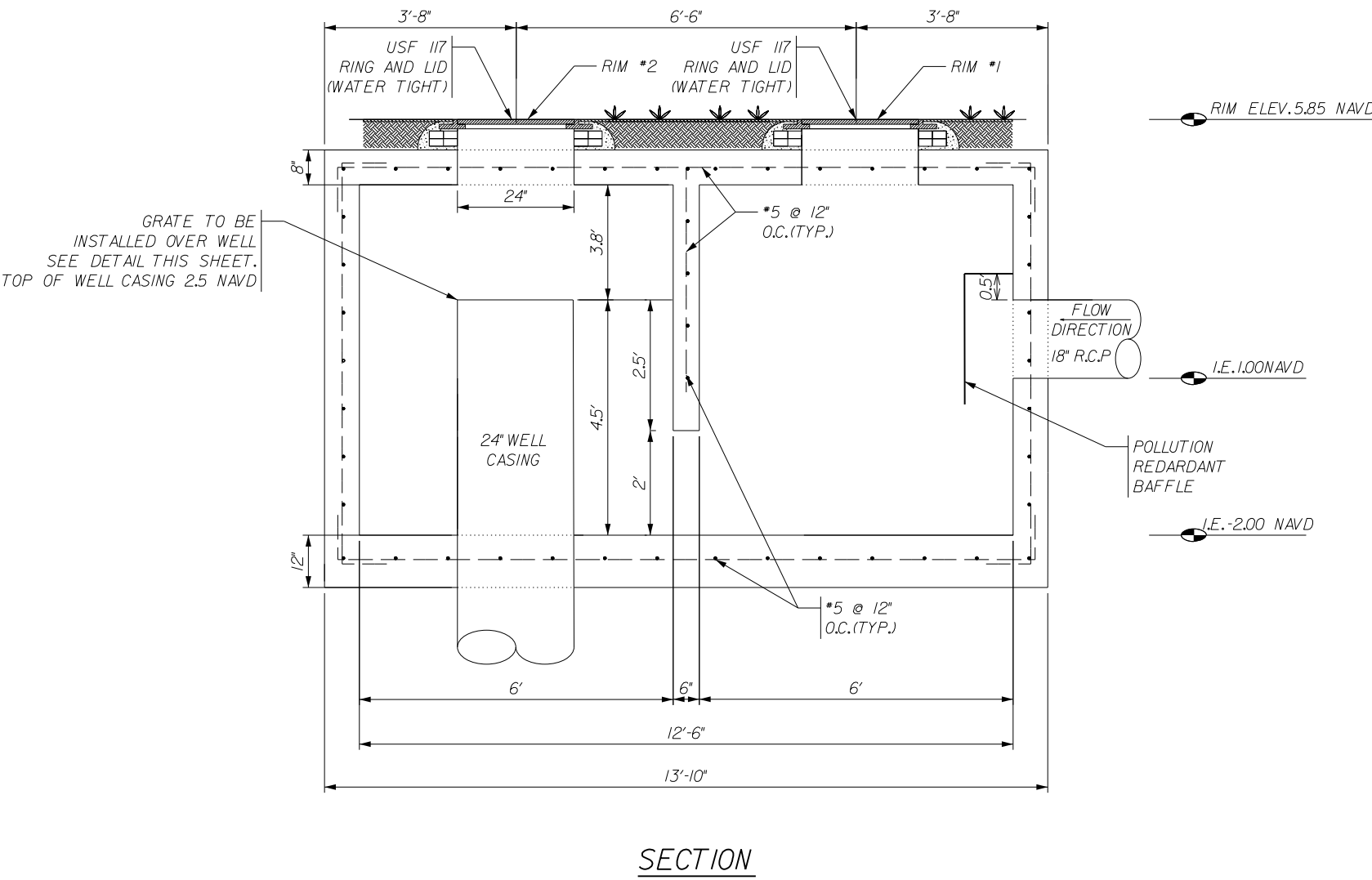
BAFFLE SCHEDULE					
D	A	B	C	E	X
15'	24"	37"	2'-3"	1'-6"	18"
18'	24"	37"	2'-6"	1'-6"	24"
21'	36"	36"	2'-9"	1'-6"	27"
24'	36"	36"	3'-0"	1'-6"	30"
30'	36"	42"	3'-6"	1'-7"	36"
36'	42"	54"	4'-0"	2'-2"	48"
42'	48"	60"	4'-8"	2'-6"	54"
48'	48"	66"	5'-0"	2'-10"	60"

POLLUTION RETARDANT  
BASIN DETAIL

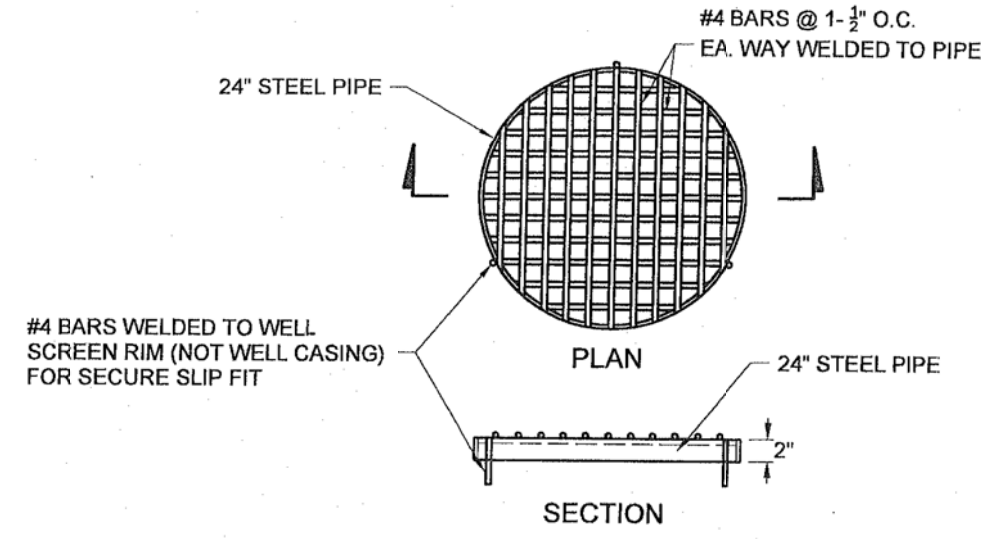


- NOTES:
1. SEE CONSTRUCTION PLANS FOR BASIN TYPE & F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS; LATEST REVISION FOR DETAIL.
  2. ALL INLETS TO BE CONSTRUCTED WITH FRAME & GRATE AS SHOWN UNLESS OTHERWISE SPECIFIED IN PLANS.

TWO CHAMBER DRAINAGE WELL STRUCTURE DETAILS

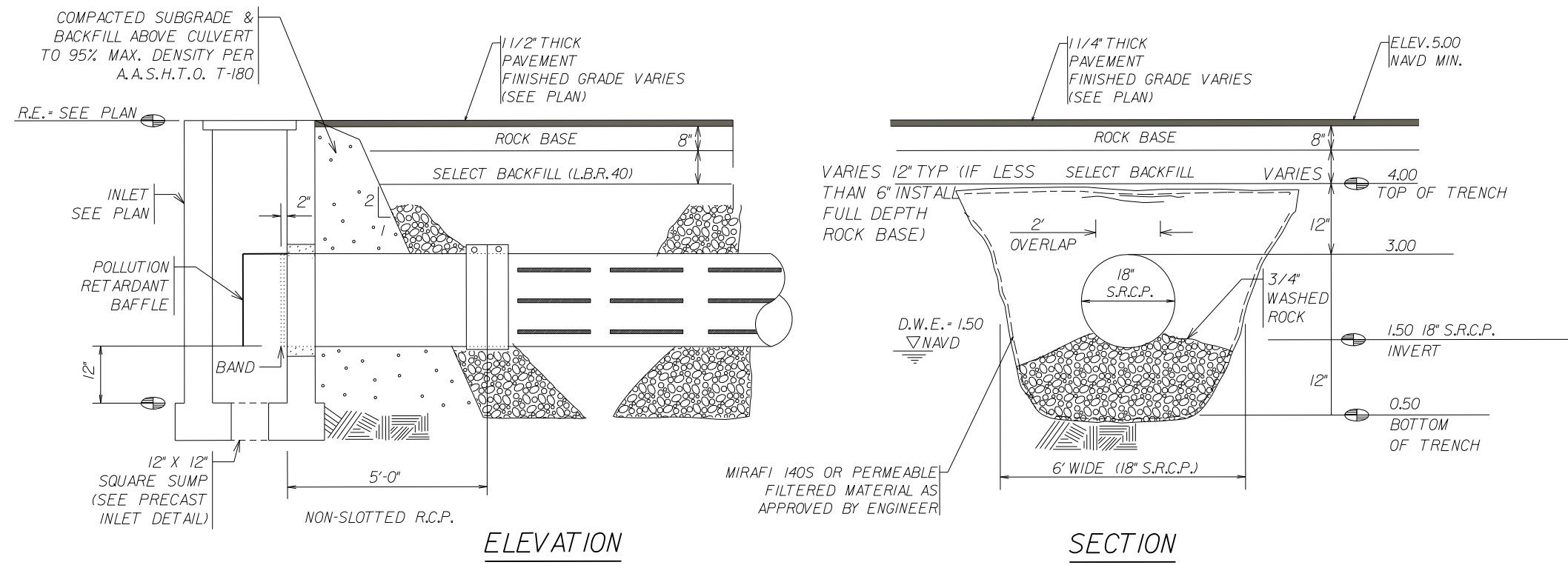


SECTION



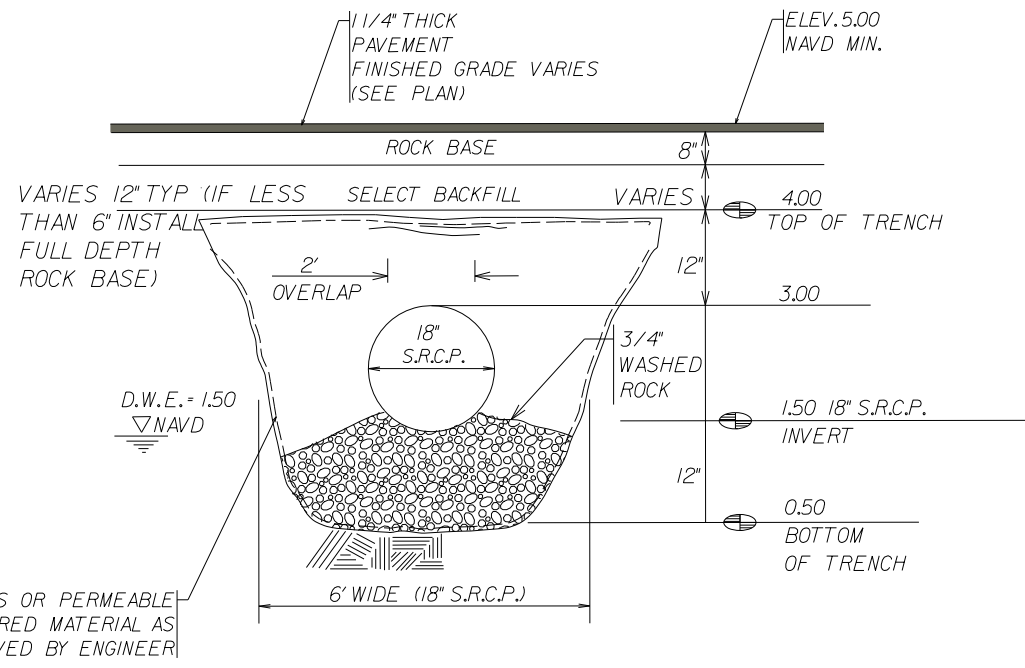
STEEL WELL GRATE DETAIL

Hot Dip Galvanized  
after Fabrication

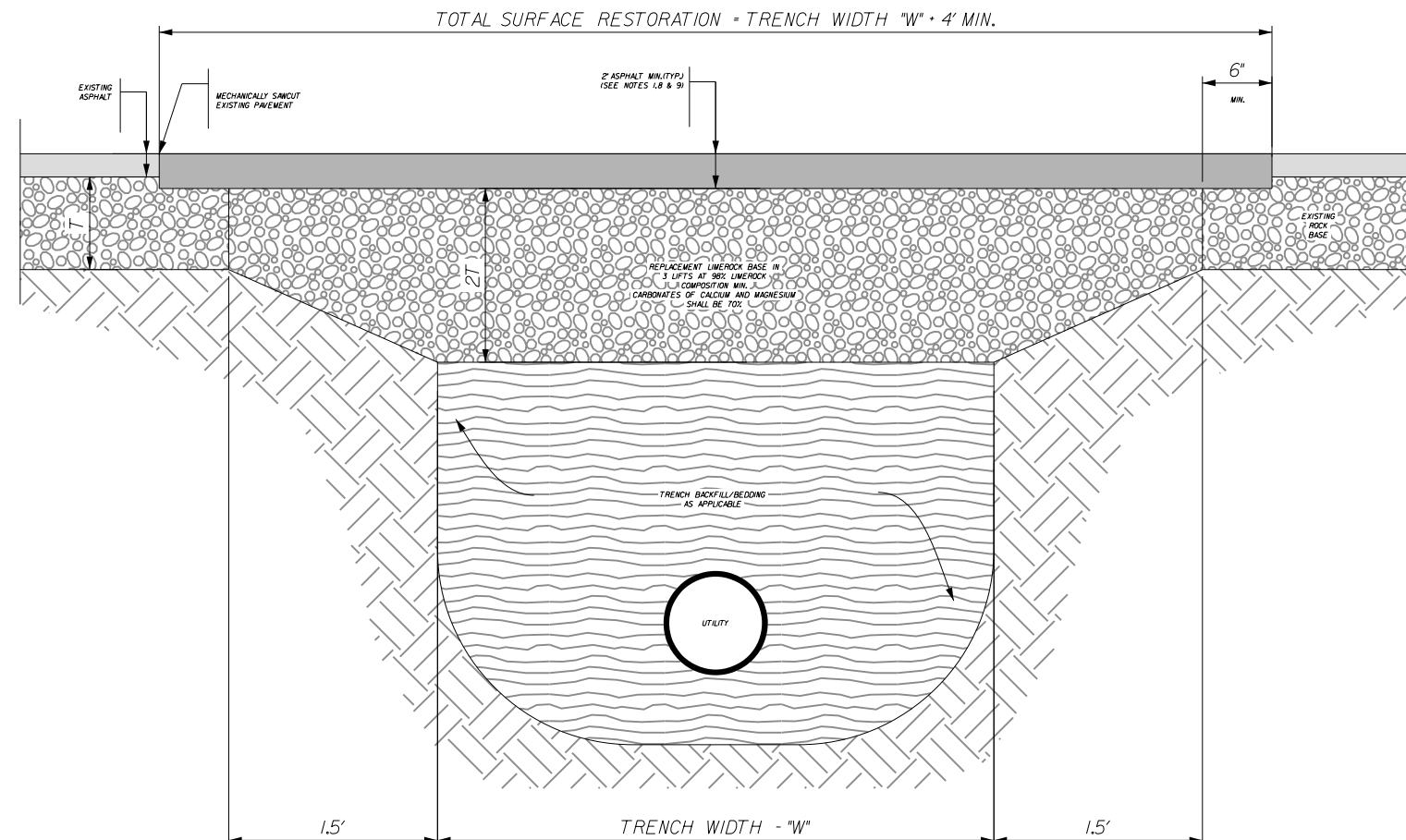


ELEVATION

EXFILTRATION TRENCH DETAIL



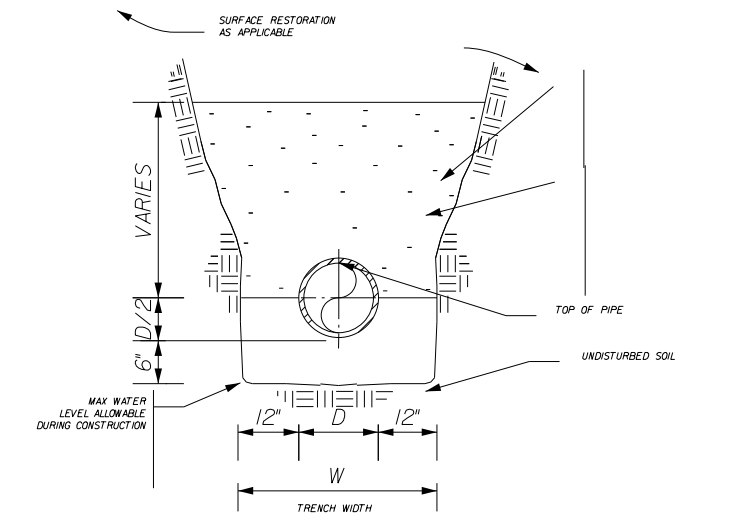
SECTION



#### PAVEMENT RESTORATION NOTES:

1. THE WEARING SURFACE SHALL BE INSTALLED IN TWO LIFTS. THE FIRST LIFT SHALL BE 1\"/>

PAVEMENT RESTORATION DETAIL



TYPICAL TRENCH BACKFILL/BEDDING

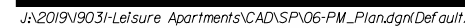
#### CONCEPTUAL PAVING & DRAINAGE SYSTEM DETAILS

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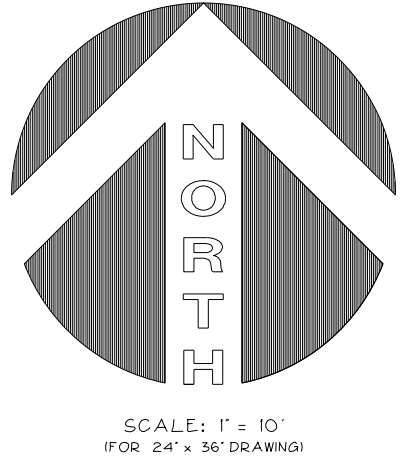
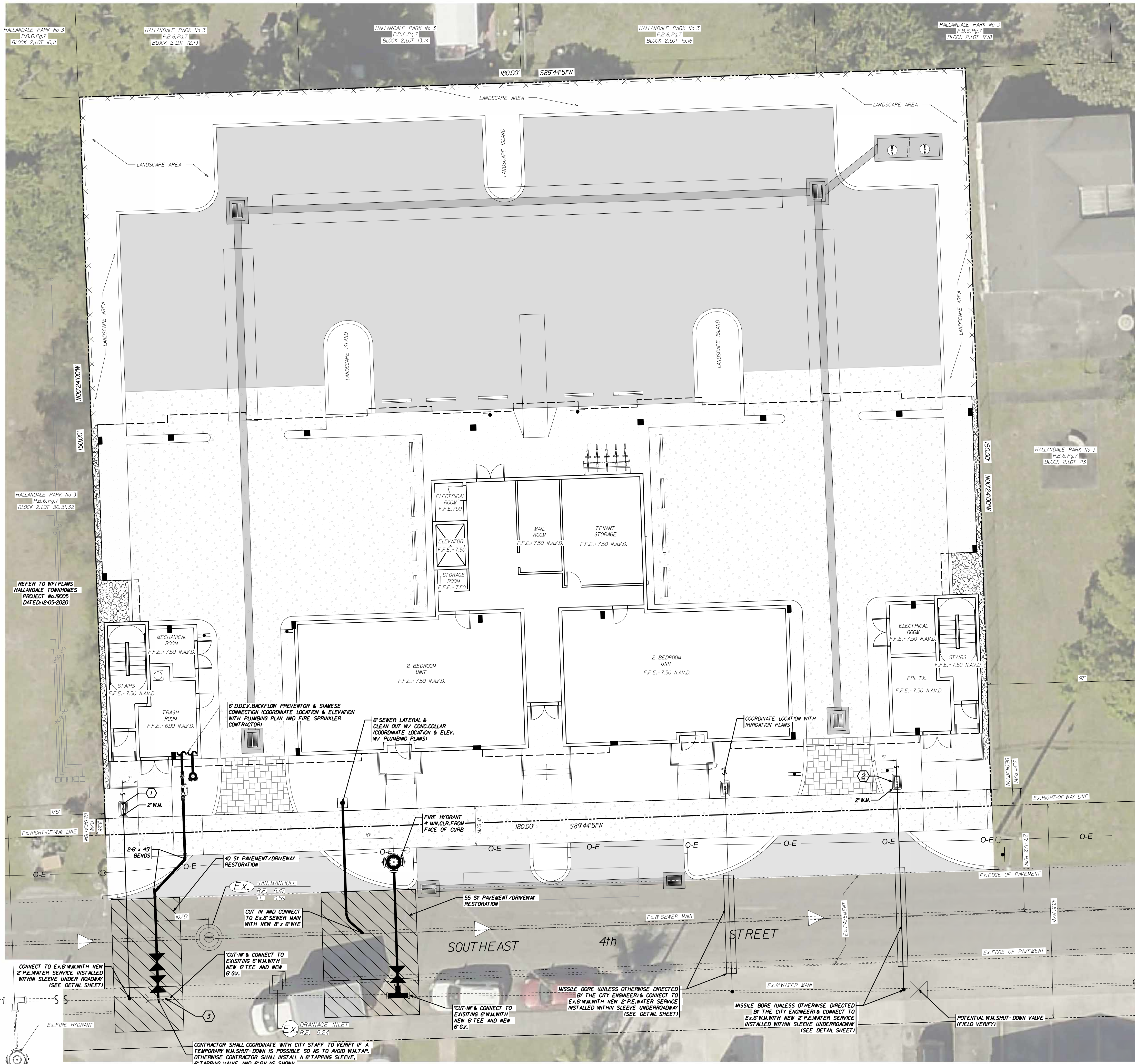
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PUBLISHED: 2/11/2020, 12:45:50 PM			
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	PROPOSED PAVERS
	CONCRETE HARDSCAPE SURFACES
	MULCH OR RIVER ROCK
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	PROPOSED ROOF OVERHANG
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	EXISTING DRAINAGE PIPE
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	PROPOSED EXFILTRATION TRENCH
	WATER METER BOX/METERS & BACKFLOW PREVENTOR
	PROPOSED SANITARY CLEAN OUT
	PROPOSED DCCV
	PROPOSED SIAMESE CONNECTION
	PROPOSED GATE VALVE
	PROPOSED 45° BEND
	PROPOSED TEE
	PROPOSED FIRE HYDRANT

CONCEPTUAL FIRE MAIN, WATER AND SEWER SERVICES PLAN

LEISURE APARTMENTS  
LEISURE APARTMENTS, INC.

WINNINGHAM & FRADLEY, INC.  
ENGINEERS - PLANNERS - SURVEYORS  
111 N.E. 44th STREET, CHANDLER, FL 33554 • 800-771-7440 • FAX: 800-771-7440

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4	REVISED PER DPC COMMENTS - 3RD SUBMITTAL - BLDG. ELEVATIONS	02/01/2020	
2	REVISED FRONT ENTRANCE OF BLDG. PER ARCHITECTURAL PLANS	09/03/2020	
1	REVISED PER DPC COMMENTS - 1ST SUBMITTAL	06/09/2020	

Werner T. Vaughan FL P.E. 45415  
This item has been digitally signed and sealed by Werner T. Vaughan on the date indicated here.  
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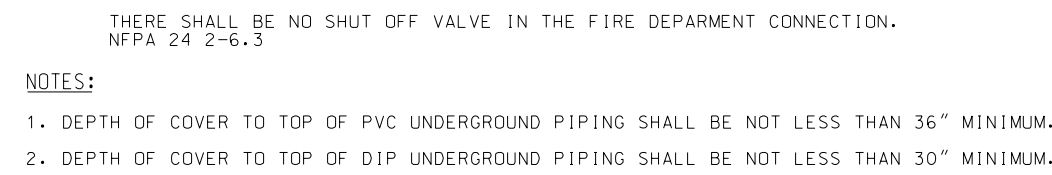






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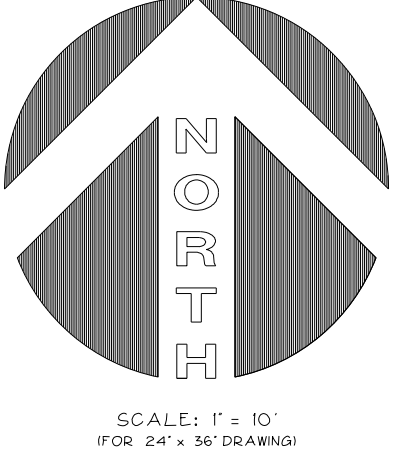
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STANDARD FIRE DEPARTMENT  
CONNECTION DETAIL

				 <b>WINNINGHAM &amp; FRADLEY, INC.</b> <b>ENGINEERS - PLANNERS - SURVEYORS</b> <small>111 N.E. 44th STREET, OAKLAND PARK, FL 33304    (954-771-7440) FAX: (954-771-0298)    <a href="http://www.winfred.com">www.winfred.com</a></small>	
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ABBREVIATIONS	
ADA	AMERICAN DISABILITIES ACT
P.B.	PLAT BOOK
Pg.	PAGE
R/W	RIGHT-OF-WAY
F.F.E.	FINISHED FLOOR ELEVATION
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
S/W	SIDEWALK
O.H.	OVER HANG
B.C.R.	BROWARD COUNTY RECORDS
R.	RADIUS
D.I.P.	DUCTILE IRON PIPE
TYP.	TYPICAL
R.C.P.	REINFORCED CONCRETE PIPE
S.R.C.P.	SLOTTED REINFORCED CONCRETE PIPE
O-E	OVERHEAD ELECTRICAL
V.C.R.	VEHICULAR CONTROL RADIUS
CLF.	CHAINLINK FENCE

LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PAVERS
	CONCRETE HARDSCAPE SURFACES
	MULCH OR RIVER ROCK
	PROPOSED TYPE 'D' CURB
	PROPOSED ROOF OVERHANG
	PROPOSED VEHICLE OVERHANG
	EXISTING PAVEMENT
	EXISTING DRAINAGE PIPE
	EXISTING CURB
	EXISTING CURB & GUTTER
	PROPERTY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EASEMENT LINE
	EASEMENT LINE
	NUMBER OF PARKING SPACES
	EXISTING UTILITY STRUCTURES
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	PROPOSED FINISH GRADE
	PROPOSED DIRECTION OF OVERLAND FLOW
	PROPOSED DRAINAGE INLET / MANHOLE
	PROPOSED EXFILTRATION TRENCH
	WATER METER BOX, METERS & BACKFLOW PREVENTOR
	PROPOSED SANITARY CLEAN OUT
	PROPOSED DGV
	PROPOSED SIAMESE CONNECTION
	PROPOSED GATE VALVE
	PROPOSED 45 BEND

TEMPORARY POLLUTION PREVENTION PLAN

LEISURE APARTMENTS

LEISURE APARTMENTS, INC.

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2	REVISED FRONT ENTRANCE OF BUILDING ARCHITECTURAL PLANS	09/03/2020	
1	REVISED PER DRC COMMENTS 10/15/2020	06/25/2020	

PROJECT NUMBER	19031	SHEET	TPP1 OF 3
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Know what's below.  
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2025-9633 Leisure Apartments C&S Plan Pollution Prevention General Notes and Details

COUNTY REQUIREMENTS

**CONTROLS**

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF, AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTORS RESPONSIBILITY FOR A VERBAL DESCRIPTION OF CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY S.F.W.M.D.

STORM WATER RUNOFF WILL BE COLLECTED BY SWALE SYSTEM AND DISCHARGED INTO MASTER STORM WATER SYSTEM VIA OVERLAND FLOW.

**TIMING OF CONTROLS/MEASURES**

REFER TO CONTRACTORS RESPONSIBILITY FOR THE TIMING OF CONTROLS/MEASURES

**CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS**

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE PERMITS ARE SHOWN ON THE COVER PAGE OF THESE CONSTRUCTION PLANS.

DEP. PERMIT

**POLLUTION PREVENTION PLAN CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SITE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: \_\_\_\_\_

(SEE SIGNATURE BLOCK AT BOTTOM OF PAGE)

CONTRACTOR'S REQUIREMENTS

**GENERAL**

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS, DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION. THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANT TO RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

**SEQUENCE OF MAJOR ACTIVITIES**

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN.
4. CONSTRUCT SEDIMENTATION BASIN.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCK PILE TOP SOIL IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS
10. APPLY BASE TO PROJECT.
12. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
13. REMOVE ACCUMULATED SEDIMENT FROM BASINS.
14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALE/DIKES AND RESEED/SOD AS REQUIRED.

**TIMING OF CONTROLS/MEASURES**

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.

**CONTROLS**

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

1. HAY BALE BARRIERS: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:

- A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
- B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
- C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
- D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE.
- E. BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.

2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:

- A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
- B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH REMOTE MATERIAL IS AVAILABLE ON SITE.

4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.

5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW, ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREA WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDDED OR SEEDDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER TEMPORARY GRASSING IN THE CONTRACT SPECIFICATIONS.

11. TEMPORARY REGASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 15 PERCENT GOOD GRASS COVER, THE AREA WILL BE RE-SEEDDED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL AS A MINIMUM BE SEEDDED. THE SEEDDED MAY MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROUND SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SODDED.

**STRUCTURAL PRACTICES**

1. TEMPORARY DIVERSION DIKES: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.

2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.

THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:

- A. BLOCK & GRAVEL SEDIMENT FILTER: THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
- B. GRAVEL SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURE & UNPROTECTED AREAS.
- C. DROP INLET SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE 1:10) AND WHERE SHEET OR OVERLAND FLOW (AS OPPOSED TO CONCENTRATED FLOWS) IS TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES AND HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS OR TEMPORARY PONDS WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASIN. THESE SEDIMENT BASIN MUST PROVIDE A MINIMUM OF 3600 CUBIC FEET OF STORAGE PER ACRE DRAINAGE UNTIL FINAL STABILIZATION OF THE SITE. THE 3600 CUBIC FEET OF STORAGE AREA PER DRAINAGE DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND DURING THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASIN CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

**OTHER CONTROLS**

**WASTE DISPOSAL**

**WASTE MATERIALS**

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LOCKED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE POSTED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

**SANITARY WASTE**

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER SYSTEMS.

**OFF-SITE VEHICLE TRACKING**

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE WILL BE COVERED WITH A TARPULIN. (SEE DETAILS THIS SHEET)

**INVENT. FOR POLLUTION PREVENTION PLAN**

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON-SITE DURING CONSTRUCTION:

- ☐ CONCRETE
- ☐ ASPHALT
- ☐ TAR
- ☐ DETERGENTS
- ☐ FERTILIZER
- ☐ WOOD
- ☐ PETROLEUM BASED PRODUCTS
- ☐ MASONRY BLOCKS
- ☐ CLEANING SOLVENTS
- ☐ PAINTS
- ☐ ROOFING MATERIALS
- ☐ METAL STUDS
- ☐
- ☐
- ☐
- ☐
- ☐

**SPILL PREVENTION**

**MATERIAL MANAGEMENT PRACTICES**

THE FOLLOWING ARE THE MATERIAL PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

**GOOD HOUSEKEEPING**

THE FOLLOWING HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PERIOD.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

ALL MATERIALS STORED ON-SITE WILL BE IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND/OR POSSIBLY UNDER A ROOF OR OTHER ENCLOSURE.

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.

**HAZARDOUS PRODUCTS**

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED IF THEY CONTAIN IMPORTANT PROTECTION INFORMATION.

IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

**PRODUCT SPECIFIC PRACTICES**

THE FOLLOWING PRODUCT SPECIFIC WILL BE FOLLOWED ON-SITE:

**PETROLEUM PRODUCTS**

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

**PAINTS**

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE, OR GROUT WASH ON THE SITE.

**SPILL CONTROL PRACTICES**

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL BE INCLUDED BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (KATYTY LITTER OR EQUIVALENT), SANDWICH, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

TEMPORARY POLLUTION PREVENTION GENERAL NOTES & DETAILS

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TEMPORARY POLLUTION PREVENTION GENERAL NOTES & DETAILS

LEISURE APARTMENTS, INC.

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WINNINGHAM & FRADLEY, INC.  
ENGINEERS PLANNERS SURVEYORS  
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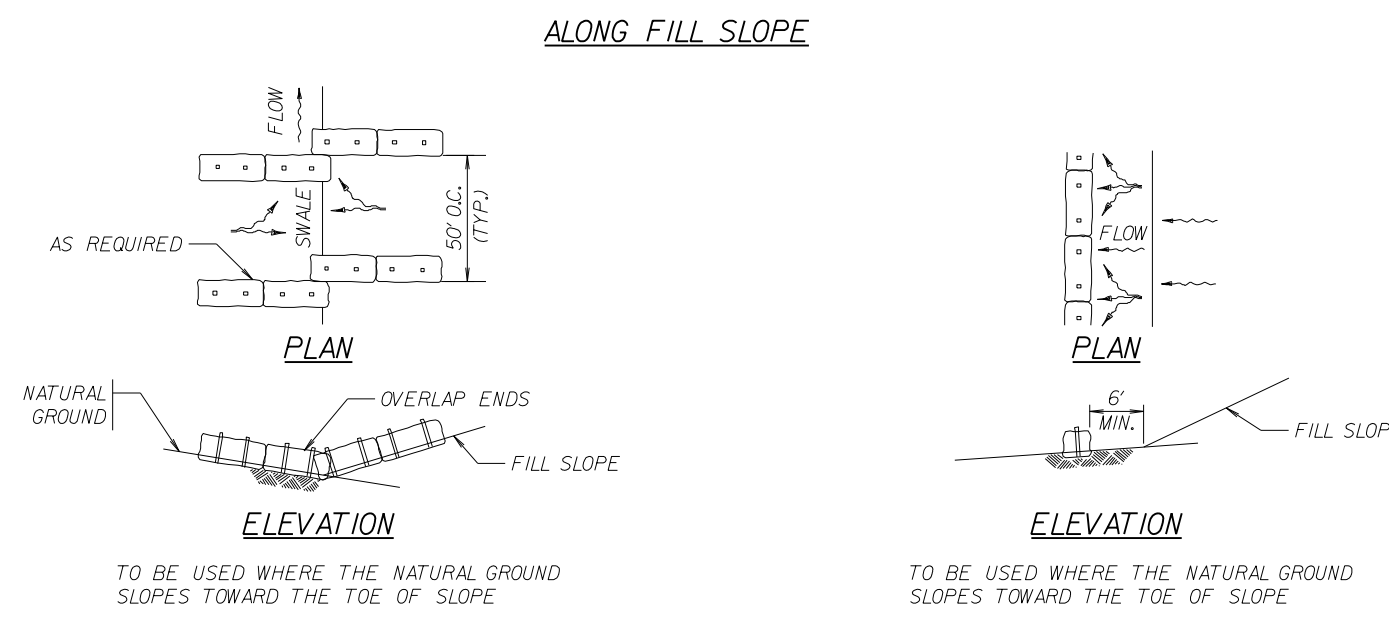
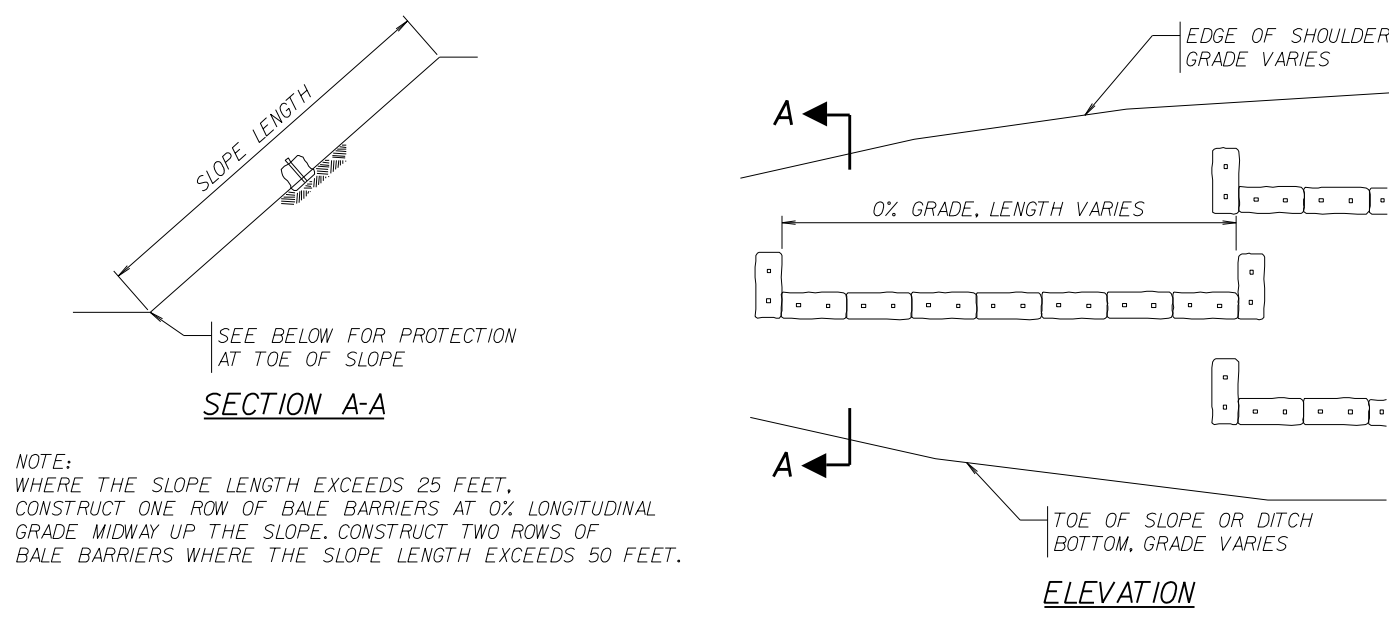
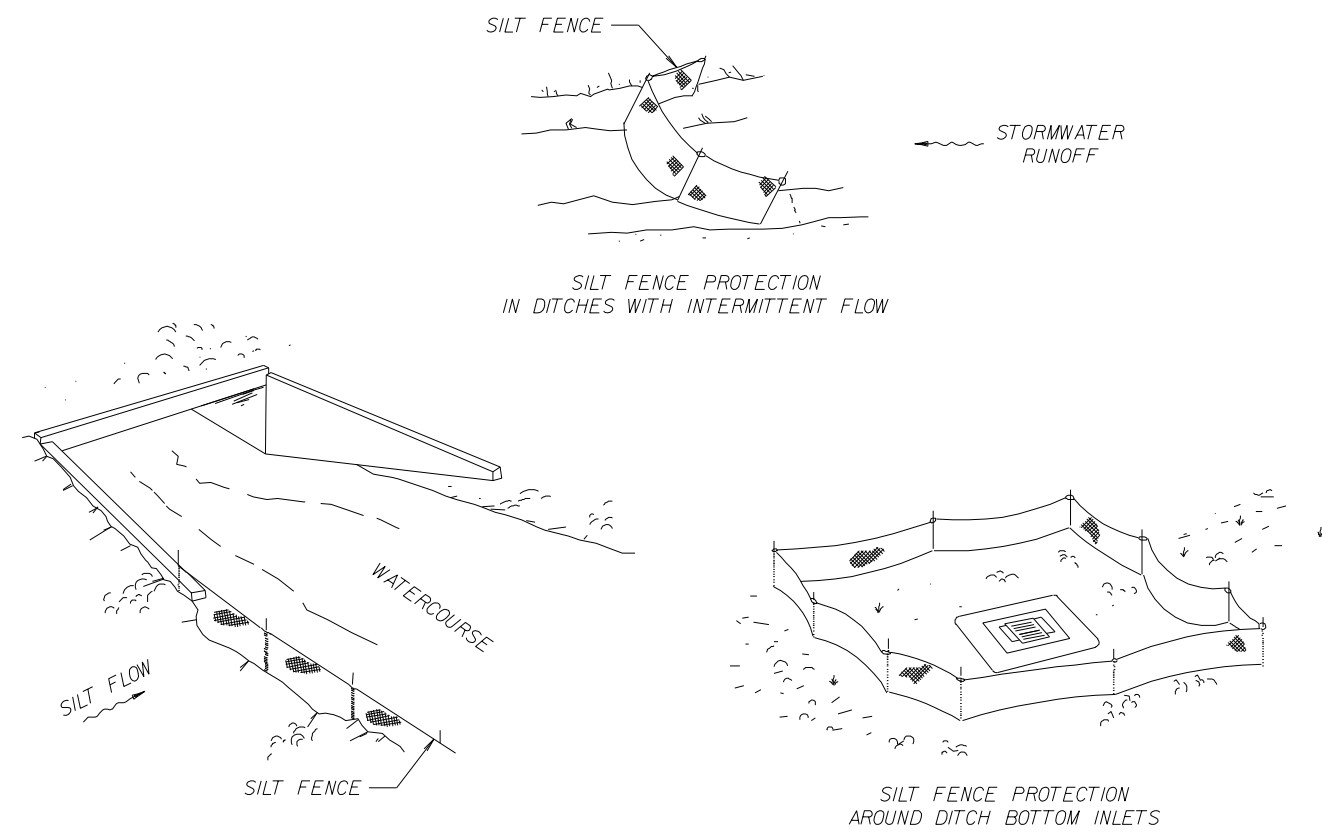
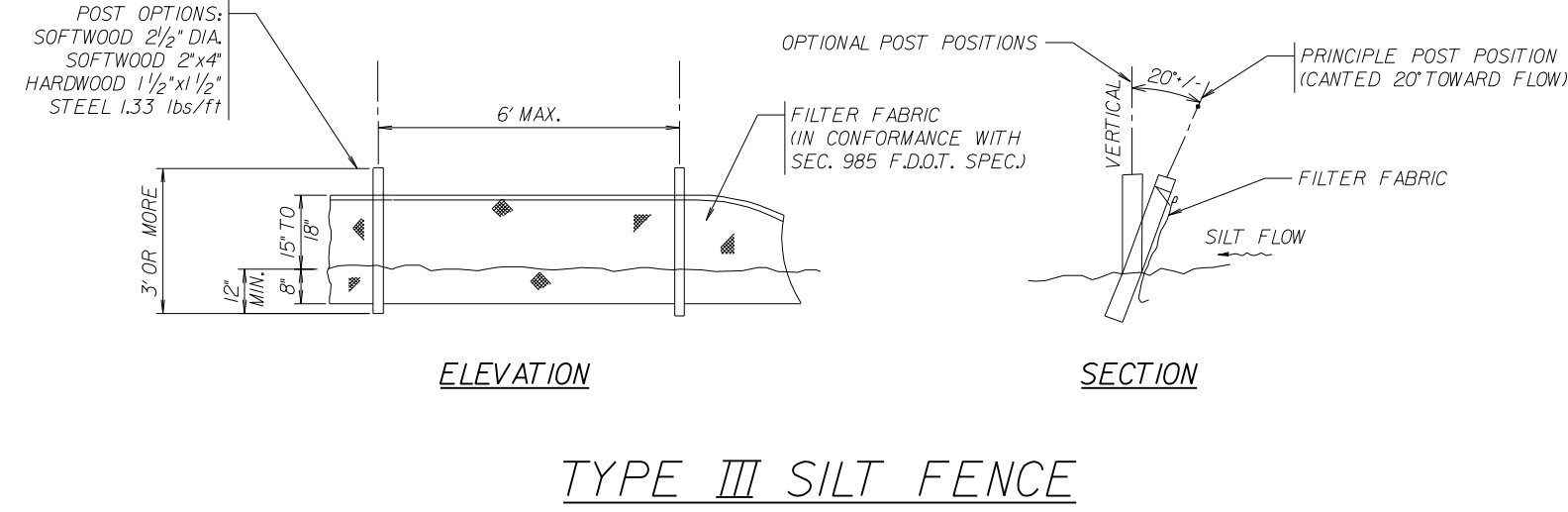
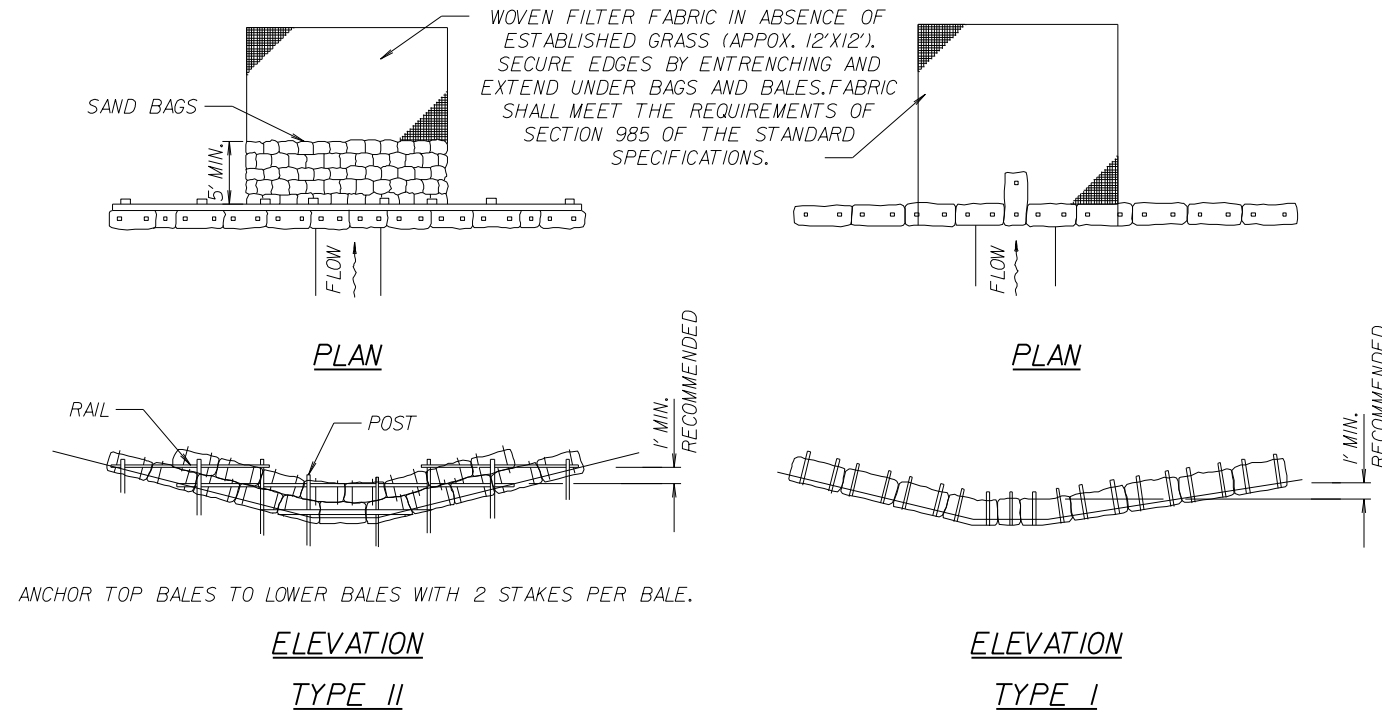
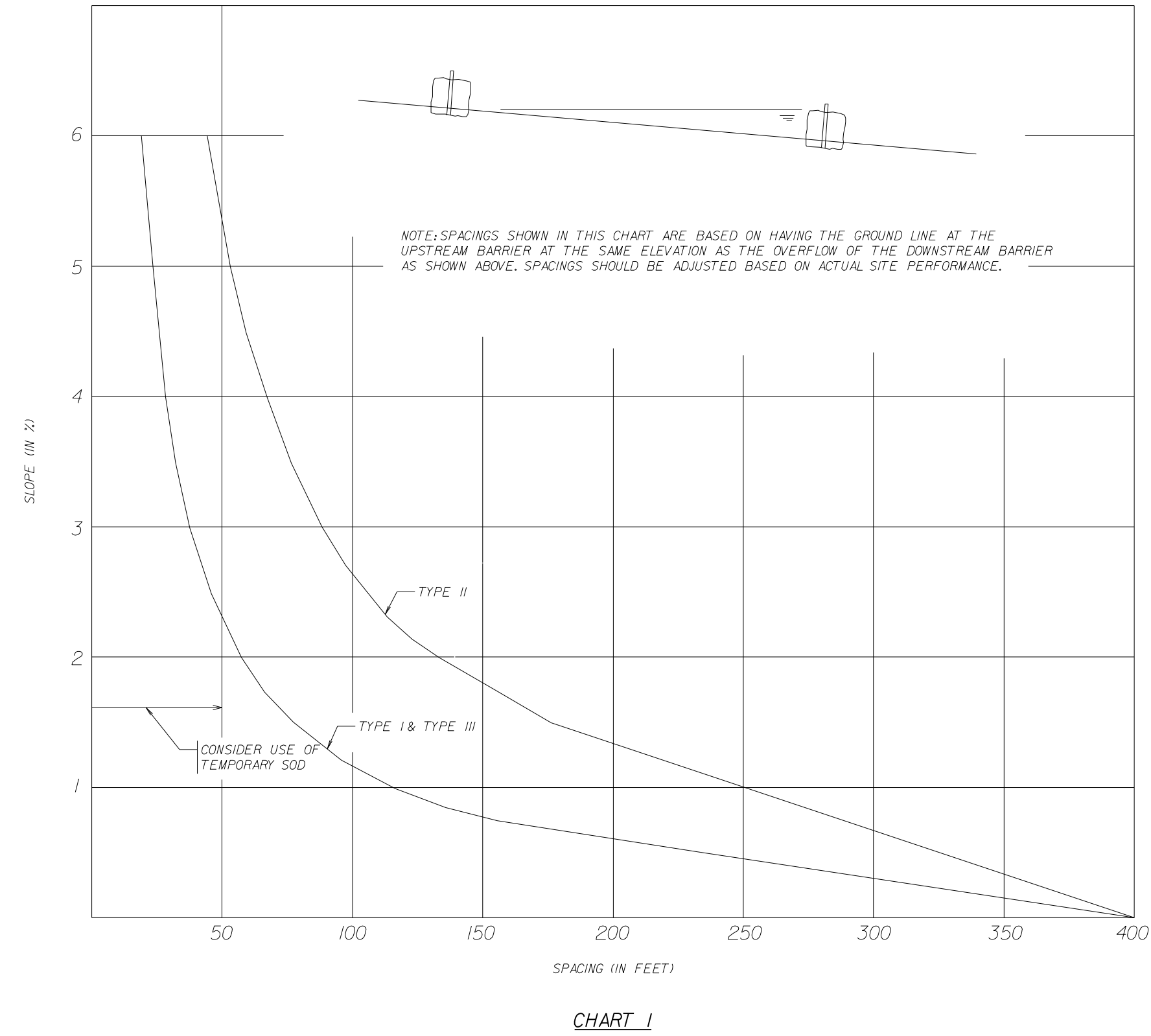
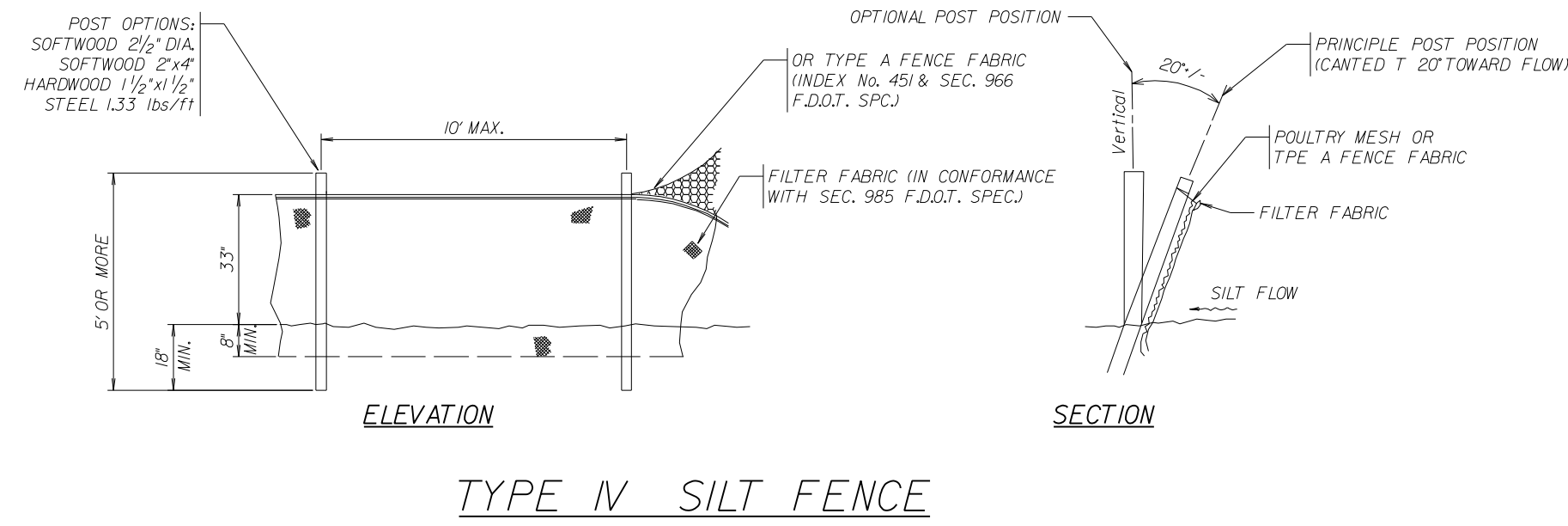
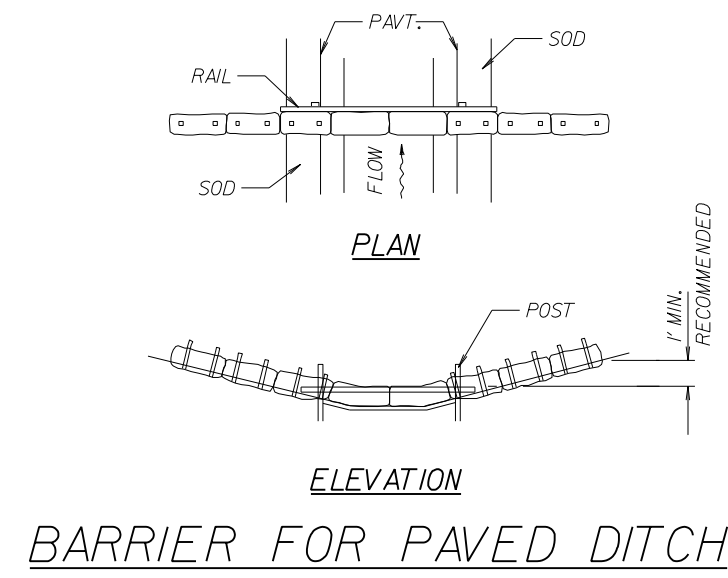
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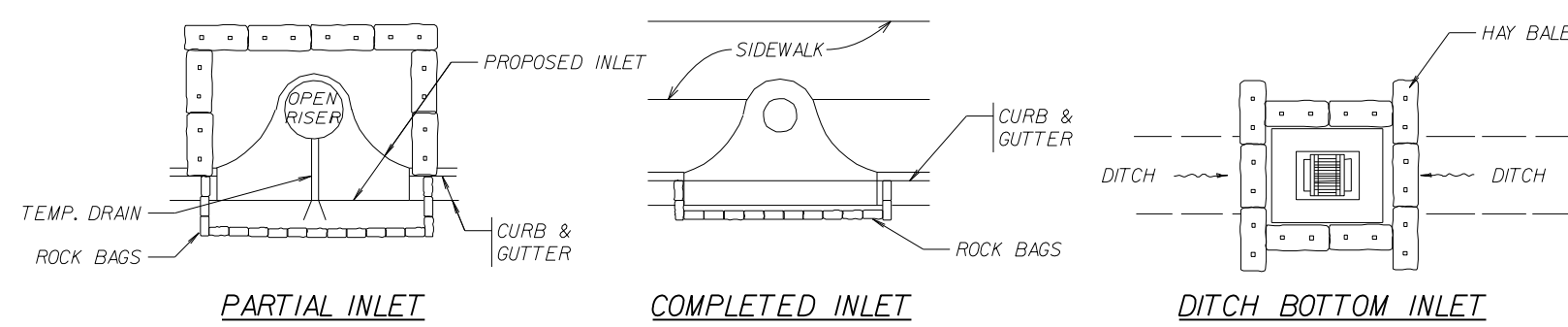
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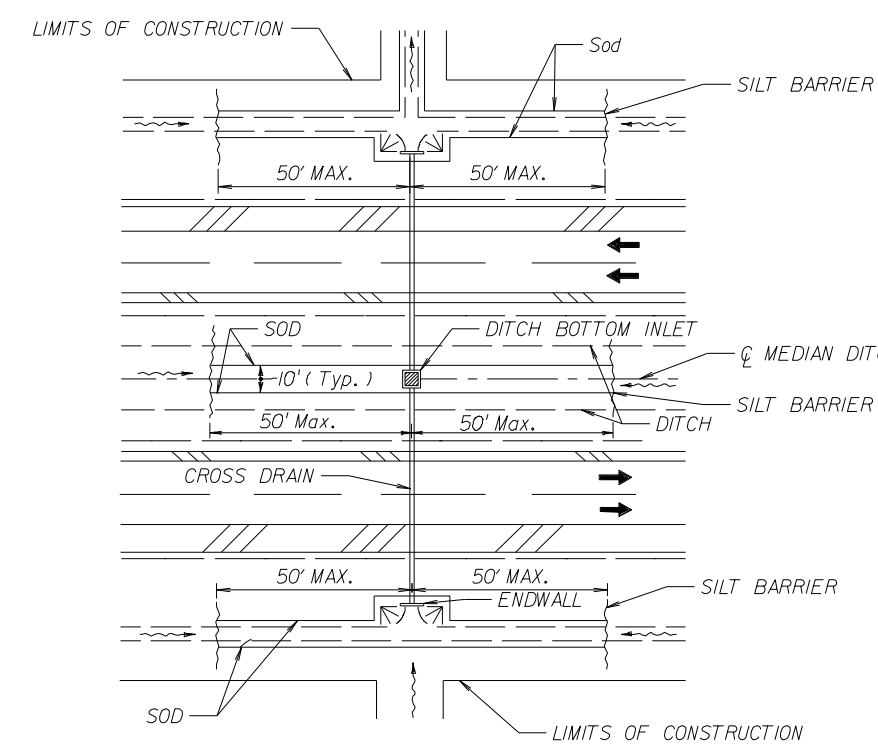


### BARRIERS FOR FILL SLOPES



### PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

### DITCH INSTALLATIONS AT DRAINAGE STRUCTURES



#### NOTES FOR SILT FENCES

1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES. THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART I.
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 12 OF STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
5. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, (LF).

#### NOTES FOR BALED HAY OR STRAW BARRIERS

1. TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH CHART I. HAY BALES SHALL BE UTILIZED AT ALL DRAINAGE INLETS UNTIL INSTALLATION OF ROAD ROCK.
2. HAY BALES SHALL BE TRENCHED 2" TO 4" AND ANCHORED WITH 2" X 2" OR 1" DIA X 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
3. RAILS AND POSTS SHALL BE 2" X 4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
4. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
5. WHERE USED IN CONJUNCTION WITH SILT FENCE, HAY BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.
6. BALES TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW. EA. THE UNIT PRICE SHALL INCLUDE THE COST OF FILTER FABRIC FOR TYPE I AND II BARRIERS. SAND BAGS SHALL BE PAID FOR UNDER THE UNIT PRICE FOR SANDBAGGING. CY. ROCK BAGS TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ROCK BAGS, EA.



Know what's below.  
Call before you dig.

TEMPORARY POLLUTION PREVENTION DETAILS			
LEISURE APARTMENTS			
LEISURE APARTMENT, INC.			
WINNINGHAM & FRADLEY, INC. ENGINEERS • PLANNERS • SURVEYORS			
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			PROJECT NUMBER: 19031
			SHEET: TYP3 OF 3

Werner T. Vaughan FL P.E. 45415

This item has been digitally signed and sealed by Werner T. Vaughan on the date indicated here.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



**IMPACT ANALYSIS**  
**for**  
**LEISURE APARTMENTS**  
**City of Hallandale Beach**  
**Broward County, Florida**  
**Sections 27/T51S/R42E**  
**PROJECT NUMBER 19031**  
**October, 2019**

FOR:  
**LEISURE APARTMENTS, INC.**  
1825 Main Street, Suite 8  
Weston, FL 33326

PREPARED BY:  
**WINNINGHAM & FRADLEY, INC.**  
111 N.E. 44<sup>th</sup> STREET  
OAKLAND PARK, FLORIDA 33334  
954-771-7440  
954-771-0298 (fax)



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IMPACT ANALYSIS  
FOR  
**LEISURE APARTMENTS**  
City of Hallandale Beach, Broward County, Florida

**1 INTRODUCTION**

The owners of the properties located at 213 through 221 S.E. 4<sup>th</sup> Street, Hallandale Beach, FL 33009 are Leisure Apartments INC. These properties are also described as Lots 24 through 29, Block 2, Hallandale Park No.3, according to the plat thereof as recorded in plat book 6, page 7, of the public records of Broward County. These lots are currently three (3) residential parcels. One parcel is vacant. The two other parcels have one single family house with a driveway located on each parcel. The remainder of the existing properties are low-lying with sod and a number of trees. The developers of this project propose to remove the existing structures and clear the site to construct a new, 3 story, multifamily residential development. This new development will be comprised of twenty four (24) units on a 0.62 acre parcel.

The properties' current land use and zoning designations are Central Regional Activity Center (R.A.C.), Transitional Mixed Use sub-district. The combined lots have an approximate area of 27,000 square feet or 0.62 acres. The proposed development is in conformance with the existing zoning and land use.

The following Impact Analysis describes how this application addresses the design and planning requirements set forth by the City of Hallandale Beach. Furthermore this analysis shows that the proposed development meets the requirements of the land use, zoning and land development code of the City of Hallandale Beach, Florida. All section numbers referenced herein refer to the Section of Article V of the City of Hallandale Beach, Florida.



**A            REQUIRED INFORMATION**

**B            OWNERSHIP**

The owner of the properties is LEISURE APARTMENTS, INC. Attached to this application are copies of the deeds for the subject properties.

**C            MORTGAGES, LIENS AND JUDGEMENT**

Attached to this application are the Mortgage and Title Insurance Commitment in reference to the subject property and property owner.

**D            EXPERIENCE**

The Developer has experience working on residential developments in the City of Hallandale Beach. They have already achieved success on site plan approval for the adjacent property to the west.

**E            FINANCIAL CAPABILITY**

The Developer has the financial capability to develop this project as demonstrated by previous residential and commercial developments in Broward County; Hallandale and the City of Miramar respectively.

**F            BURDEN OF PROOF OF APPLICANT**

The Applicant shall work with the City's development review staff to provide any professional planning, engineering or other supporting documentation which will demonstrate compliance with the City code and development regulations.



**3 PROFESSIONAL ASSISTANCE - SECTION 32-785**

**Civil Engineer:**                      Winningham & Fradley, Inc.  
111 N.E. 44<sup>th</sup> Street  
Oakland Park, FL 33334  
Phone:    (954) 771-7440  
Fax:        (954) 771-0298

**Architect:**                              Center for Collaborative Architecture  
1424 SW 23<sup>rd</sup> Street  
Miami, FL 33145  
Phone:    (786) 787-3724

**Landscape Architect:**              FP Design, LLC.  
15438 SW 25<sup>th</sup> Terrace  
Miami, FL 33185  
Phone: (305) 778-7136

**Surveyor:**                                J. Bonfill & Associates  
7100 SW 99<sup>th</sup> Avenue, Suite 104  
Miami, FL 33173  
Phone: (305) 598-8383

**Traffic Engineer:**                    Traf Tech Engineering, Inc.  
8400 N University Drive, Suite 307  
Tamarac, FL 33321  
Phone: (954) 582-0988



**A SCOPE**

Please refer to the attached Site Plan, details and supporting documentation for the evaluation of the internal design quality and the physical capacity of the site to accommodate the proposed development.

**B GENERAL INFORMATION**

The number of required site plan copies and the appropriate filing and review fees have been submitted with the site plan application. The site plan includes all the submittal requirements per Section 32-786 (b)(1 through 4) of the City code.

**C CERTIFIED PROPERTY SURVEY**

Attached to this application is a Certified Property Survey prepared and certified by J. Bonfill & Associates.

**D EXISTING SITE CHARACTERISTICS MAP**

Attached to this application is a Site Characteristics Map prepared and certified by J. Bonfill & Associates. For additional information regarding existing utilities and zoning information, please refer to the Site Plan and Conceptual Engineering Plans.

**E PROPOSED SITE DEVELOPMENT PLAN****1 Finished Grade:**

Please refer to the Conceptual Paving & Drainage Plan for the grading plan.

**2 Erosion & Sedimentation, permanent & temporary:**

The Temporary Pollution Prevention Plan, Details & Notes which indicate the provisions for adequate control of erosion and sedimentation has been provided within the Site Plan package.

**3 Drainage & Storm Water:**

Please refer to the Conceptual Paving & Drainage Plan which indicates the provisions for adequate drainage and disposition of natural water and storm water in accordance with the adopted design standards of the City and the County. The plan illustrates the location, size, type and grade of swales, catch basins, pipes and on-site storm water retention systems including proposed drainage wells.

**4 Utility Services:**

Please refer to the Conceptual Water Distribution & Sewage Collection Plan for the applicable details of the water and wastewater lines and sizes and fire hydrant



locations. The solid waste receptacle locations and capacities are shown on the Site Plan and Site Plan Detail sheets.

5 Proposed Structures:

Please refer to the Site Plan and architectural details regarding the location, use, height, gross floor area, density, number, size and type of residential dwelling units. The total amount and percentage of site area to be utilized for structural coverage has been indicated within the General Site Data Table located on the Site Plan.

6 Vehicular Use Areas:

On-site parking facility and driveways (ingress-egress) have been illustrated on the Site Plan.

7 Proposed Fences, Walls, Screen Planting and Hedges:

Please refer to the Site Plan for locations of the proposed fences & walls. The Screen Planting and hedges are shown on the Landscape Plans.

8 Pedestrian Walkways:

Please refer to the Site Plan for locations of the pedestrian walkways, their type, width and material composition.

9 Open Space & Recreational Areas:

The total amount of area provided for pervious and impervious areas has been tabulated on the Site Plan, Site Data sheet. All additional and required landscaping and details are shown on the Landscape Plans.

10 Signage:

Site signage has been shown on the Site Plan. The site development plans include the location, dimension, height and type of all proposed signage. The proposed signage will be in compliance with Division 17 of the City of Hallandale Beach Code known as the "Sign Code of the City of Hallandale Beach, Florida." All signage within the site will be properly placed and maintained, promoting traffic and pedestrian safety and aesthetics.

11 Handicapped Design Features:

Please refer to the Site and Architectural Plans for the details of the handicapped design features including ramps & parking spaces. This project will comply with ADA and Fair Housing Accessibility Guidelines.



## **F OTHER REQUIREMENTS**

### **1 Description of Future Residents**

Based upon the average occupancy for a multi-family residential project having 2.5 persons per unit with 24 units, we anticipate that the total population of the proposed development will be 60 people.

### **2 Architectural Description**

The proposed development is a three-story multi-family residential project with 24 units. This project has been designed to maximize the frontage along S.E. 4<sup>th</sup> Street. By maximizing street frontage, the developer hopes to promote pedestrian traffic along the right-of-way and beautify the street scape. The street scape will be improved by providing green space and landscape material adjacent to and along the right-of-way. Parking facilities are located around the building (North, East, West sides) which allows the building to be located along the street, which assists in screening the parking lot from public view.

### **3 Energy Consumption**

Energy consumption will be minimized with the use of high efficiency appliances and building materials. In utilizing current building materials, methodology and combined with the small footprint of the proposed structure, a minimum amount of energy will be required to provide adequate amenities to the future 60 residents. Also, the landscaping will assist in shading portions of the building. The developer is proposing high efficiency A/C units and well insulated roof and wall material.

### **4 Public Mass Transportation Routes and Schedules**

Broward County Transit bus route 1 and the US1 Breeze provides service along Federal Highway, located just east of the proposed project. Also, the planned construction of the Tri-rail Coastal Link and proposed location of the station located south of Hallandale Beach Boulevard lies directly west of the proposed project. With these mass transit modes of transportation available to the future residents of this development, the developers are hopeful that the residents will utilize these modes of transportation to reduce carbon emissions that would otherwise result from using their vehicles.

The following pages contain the bus routes and schedules for Broward County Transit and US1 Breeze:







## Customer Service

Monday - Friday.....7 am - 7:45 pm  
Saturday, Sunday and Holidays.....8:30 am - 4:45 pm

Transit Operations Agents help with:

- Trip planning
- Routes, times and transfer information
- Identifying Bus Pass sales locations
- Special event information

Lost and Found: 954-357-6414, Monday - Friday,  
8:30 am - 4:30 pm

## Holiday Bus Service

There is no service on the following observed holidays:

New Year's Day	Labor Day	Memorial Day
Independence Day	Thanksgiving Day	Christmas Day

## Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/Medicare.\* Children (under 40 inches ride FREE)

## Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

**10 Ride Pass:** 10 Rides any time, any day. Expires after the tenth ride is taken.

**7 Day Pass:** Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

**31 Day Adult Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

**31 Day Reduced Pass:** Youth\*, Seniors\*, Disabled\*, Medicare\*, College Student\*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

**\*\*Premium Express 10 Ride Pass:** 10 rides any time, any day. Expires after tenth ride is taken.

**\*\*Premium Express 31 Day Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

\*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

\*\* Premium Bus Pass can be purchased online at [broward.org/bct](http://broward.org/bct) and at select Broward County library locations.

# TIMETABLE

**ROUTE**  
*U.S. 1*  
**Breeze**

**Monday - Friday  
Limited Service**

Aventura Mall to  
Broward Central Terminal

via U.S. 1

Effective 1/19/15

**BROWARD  
COUNTY**  
*Transit*  
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Wheelchair Accessible

Bike Racks



## NORTHBOUND

To Broward Central Terminal/Aventura Mall

AVENTURA MALL	HALLANDALE BCH BLVD & US 1	YOUNG CIRCLE	DANIA BEACH BLVD & US	SE 17 ST & US 1	BROWARD CENTRAL TERMINAL
1	2	3	4	5	6
6:01a	6:12a	6:21a	6:32a	6:41a	6:51a
6:21a	6:32a	6:41a	6:52a	7:01a	7:12a
6:41a	6:52a	7:01a	7:13a	7:23a	7:34a
7:01a	7:13a	7:23a	7:35a	7:46a	7:58a
7:21a	7:33a	7:43a	7:56a	8:07a	8:19a
7:41a	7:53a	8:03a	8:16a	8:27a	8:39a
8:01a	8:13a	8:23a	8:36a	8:47a	8:59a
8:21a	8:33a	8:43a	8:56a	9:07a	9:19a
8:41a	8:53a	9:03a	9:16a	9:27a	9:38a
9:01a	9:13a	9:23a	9:36a	9:46a	9:57a
9:21a	9:33a	9:43a	9:55a	10:05a	10:16a
9:41a	9:53a	10:03a	10:15a	10:25a	10:36a
10:01a	10:13a	10:23a	10:35a	10:45a	10:56a
10:21a	10:33a	10:43a	10:55a	11:05a	11:16a
10:41a	10:53a	11:03a	11:15a	11:25a	11:36a
11:01a	11:13a	11:23a	11:35a	11:45a	11:56a
11:21a	11:33a	11:43a	11:55a	12:05p	12:16p
11:41a	11:53a	12:03p	12:15p	12:25p	12:36p
12:01p	12:13p	12:23p	12:35p	12:45p	12:56p
12:21p	12:33p	12:43p	12:55p	1:05p	1:16p
12:41p	12:53p	1:03p	1:15p	1:25p	1:36p
1:01p	1:13p	1:23p	1:35p	1:45p	1:56p
1:21p	1:33p	1:43p	1:55p	2:05p	2:16p
1:41p	1:53p	2:03p	2:15p	2:25p	2:36p
2:01p	2:13p	2:23p	2:35p	2:45p	2:56p
2:21p	2:33p	2:43p	2:55p	3:05p	3:16p
2:41p	2:53p	3:03p	3:15p	3:25p	3:37p
3:01p	3:13p	3:23p	3:35p	3:45p	3:57p
3:21p	3:34p	3:44p	3:56p	4:06p	4:18p
3:41p	3:55p	4:05p	4:17p	4:27p	4:40p
4:01p	4:15p	4:25p	4:37p	4:48p	5:01p
4:21p	4:36p	4:47p	4:59p	5:10p	5:23p
4:41p	4:57p	5:08p	5:20p	5:30p	5:43p
5:01p	5:17p	5:28p	5:40p	5:50p	6:03p
5:21p	5:37p	5:48p	6:00p	6:10p	6:22p
5:41p	5:57p	6:07p	6:19p	6:29p	6:40p G
6:01p	6:15p	6:25p	6:37p	6:47p	6:58p G
6:21p	6:34p	6:44p	6:56p	7:06p	7:17p G

Times with the letter "G" before them indicate bus returns to garage.

## SOUTHBOUND

From Broward Central Terminal/Aventura Mall

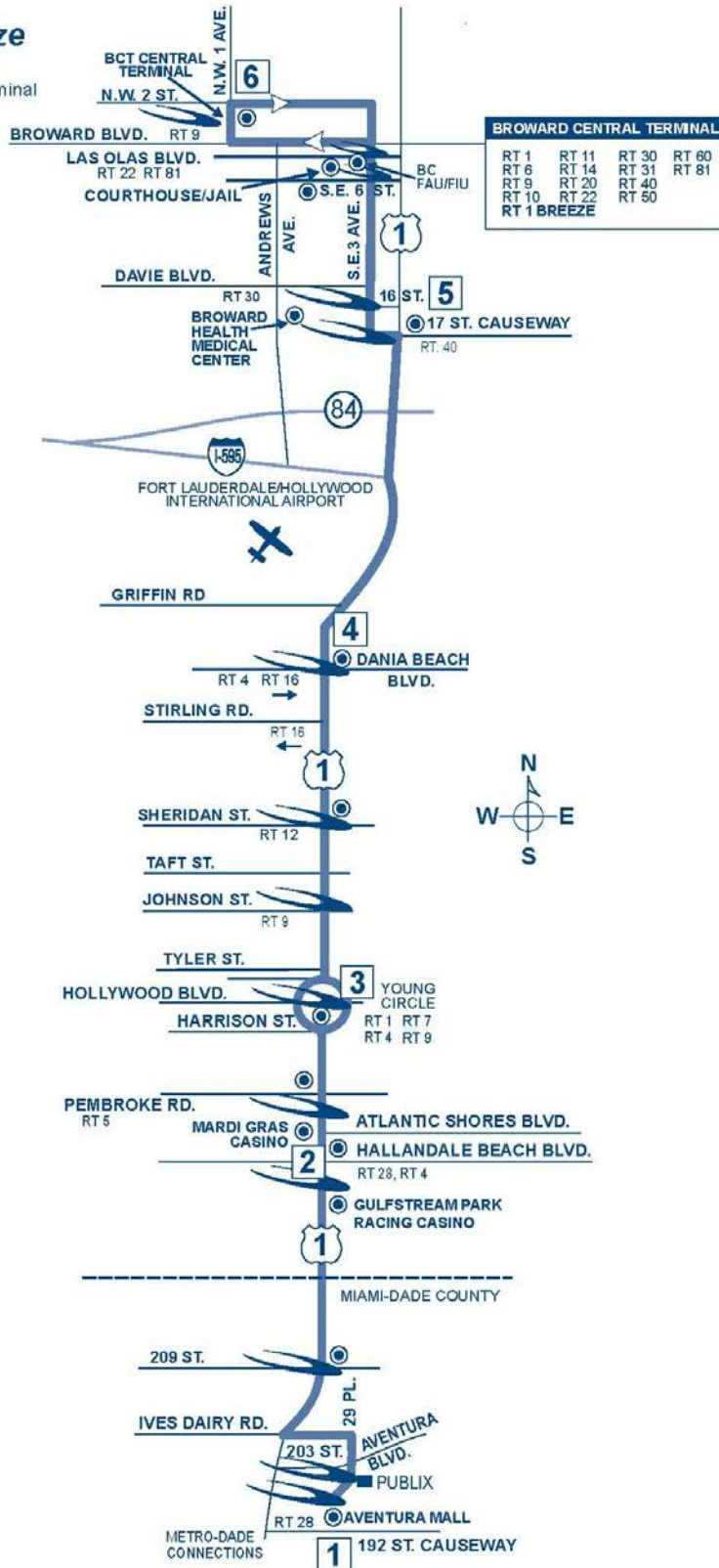
BROWARD CENTRAL TERMINAL	SE 17 ST & US 1	DANIA BEACH BLVD & US 1	YOUNG CIRCLE	HALLANDALE BCH BLVD & US 1	AVENTURA MALL
6	5	4	3	2	1
6:10a	6:20a	6:29a	6:41a	6:51a	7:02a
6:30a	6:40a	6:49a	7:01a	7:12a	7:24a
6:50a	7:00a	7:10a	7:23a	7:35a	7:48a
7:10a	7:21a	7:31a	7:44a	7:57a	8:10a
7:30a	7:41a	7:51a	8:04a	8:17a	8:30a
7:50a	8:01a	8:11a	8:24a	8:37a	8:50a
8:10a	8:21a	8:31a	8:44a	8:57a	9:10a
8:30a	8:41a	8:51a	9:04a	9:17a	9:30a
8:50a	9:01a	9:11a	9:24a	9:36a	9:48a
9:10a	9:21a	9:31a	9:44a	9:55a	10:07a
9:30a	9:41a	9:51a	10:04a	10:15a	10:27a
9:50a	10:01a	10:11a	10:24a	10:35a	10:47a
10:10a	10:21a	10:31a	10:44a	10:55a	11:07a
10:30a	10:41a	10:51a	11:04a	11:15a	11:27a
10:50a	11:01a	11:11a	11:24a	11:35a	11:47a
11:10a	11:21a	11:31a	11:44a	11:55a	12:07p
11:30a	11:41a	11:51a	12:04p	12:15p	12:27p
11:50a	12:01p	12:11p	12:24p	12:35p	12:47p
12:10p	12:21p	12:31p	12:44p	12:55p	1:07p
12:30p	12:41p	12:51p	1:04p	1:15p	1:27p
12:50p	1:01p	1:11p	1:24p	1:35p	1:47p
1:10p	1:21p	1:31p	1:44p	1:55p	2:07p
1:30p	1:41p	1:51p	2:04p	2:15p	2:27p
1:50p	2:01p	2:11p	2:24p	2:35p	2:47p
2:10p	2:21p	2:31p	2:44p	2:55p	3:07p
2:30p	2:41p	2:51p	3:04p	3:15p	3:27p
2:50p	3:01p	3:11p	3:24p	3:35p	3:47p
3:10p	3:21p	3:31p	3:45p	3:56p	4:08p
3:30p	3:42p	3:53p	4:07p	4:18p	4:30p
3:50p	4:02p	4:13p	4:27p	4:39p	4:51p
4:10p	4:22p	4:34p	4:48p	5:00p	5:12p
4:30p	4:42p	4:55p	5:09p	5:21p	5:33p
4:50p	5:02p	5:15p	5:29p	5:41p	5:53p
5:10p	5:22p	5:35p	5:49p	6:01p	6:13p
5:30p	5:42p	5:55p	6:09p	6:20p	6:32p G
5:50p	6:02p	6:13p	6:27p	6:38p	6:50p G
6:10p	6:22p	6:33p	6:46p	6:57p	7:09p G
6:30p	6:41p	6:51p	7:04p	7:15p	7:27p G



# **ROUTE US 1 Breeze** *Monday - Friday Limited Service* Aventura Mall to Broward Central Terminal via US 1




- POINTS OF INTEREST**
- Aventura Mall
  - Gulfstream Park, Racing Casino
  - Mardi Gras Casino
  - Broward Health Medical Center
  - Courthouse/Jail
  - BC/FAU/FIU





For more details on our fares please  
visit our web site at  
[broward.org/BCT/FaresAndPasses/  
Pages/FaresPasses.aspx](http://broward.org/BCT/FaresAndPasses/Pages/FaresPasses.aspx)  
or call customer service: 954.357.8400.

#### Reading A Timetable - It's Easy

1. The map shows the exact bus route.
2. Major route intersections are called time points. Time points are shown with the symbol .
3. The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
4. Reading from left to right, indicates the time for each bus trip.
5. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Information: 954.357.8400

Hearing-speech impaired/TTY:  
954.357.8302

This publication can be made  
available in large print, tape cassette,  
or Braille, by request.



This symbol is used on  
bus stop signs to indicate  
accessible bus stops.



**BROWARD COUNTY**  
**BOARD OF COUNTY COMMISSIONERS**  
*An equal opportunity employer and provider of services.*

20,000 copies of this public document were promulgated at a gross cost of \$780., or \$0.99 per copy to inform the public about the Transit Division's schedule and route information. Reprinted 1/15

#### PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.

#### TRANSFER POLICY 7/10/11

##### TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

##### TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

##### TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

##### TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.



#### TRANSIT WATCH

**WHEN IT COMES TO OUR SAFETY,  
WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS.  
BE ALERT.  
CALL 954-357-LOOK (5665). TELL US.**



## Customer Service

Monday - Friday..... 7 am - 7:45 pm  
Saturday, Sunday and Holidays..... 8:30 am - 4:45 pm

Transit Operations Agents help with:

- Trip planning
- Routes, times and transfer information
- Identifying Bus Pass sales locations
- Special event information

Lost and Found: 954-357-6414, Monday - Friday,  
9:00 am - 4:00 pm

## Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day	Labor Day	Memorial Day
Independence Day	Thanksgiving Day	Christmas Day

## Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/Medicare.\* Children (under 40 inches ride FREE)

## Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

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\*\* Premium Bus Pass can be purchased online at Broward.org/BCT and at select Broward County library locations.

# TIMETABLE

## ROUTE

# 1

## Monday - Friday

Effective 1/19/15

Aventura Mall to  
Broward Central Terminal  
via Federal Highway/US 1



**BROWARD**  
COUNTY  
*Transit*

A service of the  
Broward County Commission

facebook

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Download & Print at Broward.org/BCT  
Wheelchair Accessible  
Bike Racks



# MONDAY-FRIDAY

There are additional bus stops in between those listed.

## NORTHBOUND

To Broward Central Terminal

AVENTURA MALL	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD INTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL
1	2	3	4	5
5:18a	5:30a	5:11a	5:29a	5:51a
5:38a	5:51a	5:41a	6:01a	6:25a
5:53a	6:06a	6:18a	6:24a	6:48a
6:13a	6:27a	6:39a	6:40a	7:04a
6:33a	6:47a	6:59a	7:01a	7:26a
6:53a	7:08a	7:21a	7:22a	7:48a
7:13a	7:28a	7:42a	7:45a	8:11a
7:33a	7:49a	8:03a	8:06a	8:32a
7:53a	8:09a	8:23a	8:27a	8:52a
8:13a	8:29a	8:42a	8:46a	9:11a
8:33a	8:48a	9:01a	9:05a	9:29a
8:53a	9:07a	9:19a	9:23a	9:47a
9:13a	9:27a	9:39a	9:41a	10:05a
9:33a	9:47a	9:59a	10:01a	10:25a
9:53a	10:07a	10:19a	10:21a	10:45a
10:13a	10:27a	10:39a	10:41a	11:05a
10:33a	10:47a	10:59a	11:01a	11:25a
10:53a	11:07a	11:19a	11:21a	11:45a
11:13a	11:27a	11:39a	11:41a	12:05p
11:33a	11:47a	11:59a	12:01p	12:25p
11:53a	12:07p	12:19p	12:21p	12:45p
12:13p	12:27p	12:39p	12:41p	1:05p
12:33p	12:47p	12:59p	1:01p	1:25p
12:53p	1:07p	1:19p	1:21p	1:45p
1:13p	1:27p	1:39p	1:41p	2:05p
1:33p	1:47p	1:59p	2:01p	2:25p
1:53p	2:07p	2:19p	2:21p	2:45p
2:13p	2:27p	2:39p	2:41p	3:05p
2:33p	2:47p	2:59p	3:01p	3:26p
2:53p	3:08p	3:21p	3:22p	3:47p
3:13p	3:28p	3:41p	3:44p	4:09p
3:33p	3:48p	4:01p	4:04p	4:30p
3:53p	4:09p	4:23p	4:25p	4:51p
4:13p	4:29p	4:43p	4:47p	5:13p
4:33p	4:49p	5:03p	5:07p	5:33p
4:53p	5:09p	5:23p	5:27p	5:53p
5:13p	5:29p	5:43p	5:47p	6:13p
5:33p	5:49p	6:03p	6:07p	6:32p
5:53p	6:08p	6:21p	6:26p	6:51p
6:13p	6:28p	6:41p	6:44p	7:09p
6:33p	6:48p	6:51p	7:04p	7:28p
6:53p	7:07p	7:19p	7:23p	7:47p
7:13p	7:27p	7:39p	7:41p	8:05p
7:33p	7:47p	7:59p	8:01p	8:25p
7:53p	8:07p	8:18p	8:19p	8:41p G
8:13p	8:26p	8:37p	8:38p	9:00p
8:33p	8:46p	8:57p	8:57p	9:17p G
9:03p	9:15p	9:25p	9:15p	9:35p
9:33p	9:45p	9:55p	9:43p	10:03p
10:03p	10:15p	10:25p	10:13p	10:33p
10:33p	10:45p	10:55p	10:43p	11:03p
11:03p	11:15p	11:25p	11:13p	11:33p G
			11:43p	12:03a G

## SOUTHBOUND

To Aventura Mall

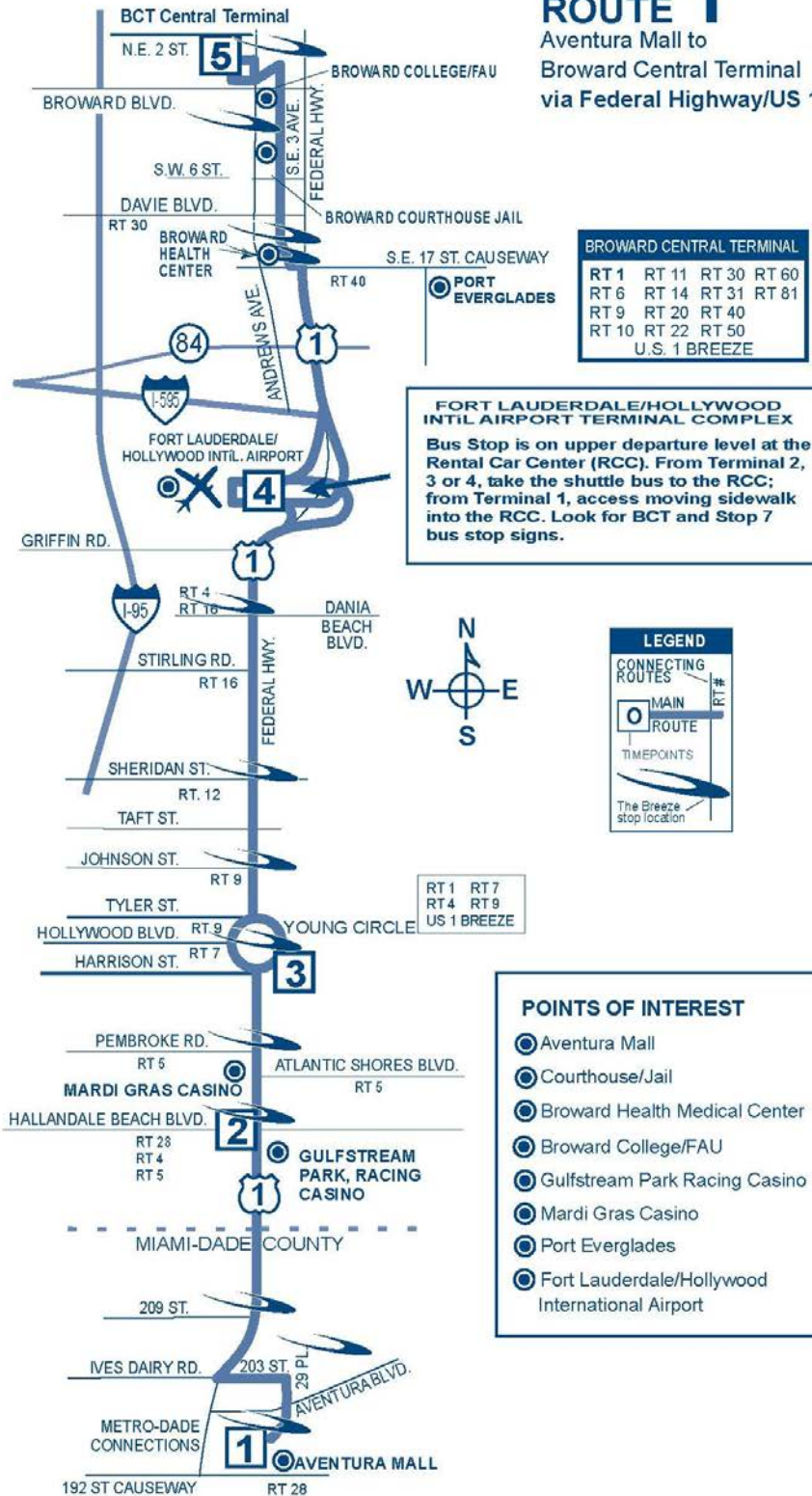
BROWARD CENTRAL TERMINAL	FTL/HWD INTERNATIONAL AIRPORT	YOUNG CIRCLE	HALLANDALE BCH BLV & US 1	AVENTURA MALL
5	4	3	2	1
		5:18a	5:29a	5:42a
5:05a	5:23a	5:48a	6:00a	6:14a
5:25a	5:44a	6:11a	6:24a	6:38a
5:40a	6:00a	6:28a	6:41a	6:55a
6:00a	6:22a	6:50a	7:03a	7:18a
6:20a	6:42a	7:10a	7:24a	7:40a
6:40a	7:02a	7:31a	7:46a	8:02a
7:00a	7:24a	7:54a	8:09a	8:25a
7:20a	7:45a	8:15a	8:30a	8:45a
7:40a	8:05a	8:35a	8:49a	9:04a
8:00a	8:25a	8:54a	9:07a	9:21a
8:20a	8:44a	9:13a	9:26a	9:40a
8:40a	9:04a	9:32a	9:45a	9:59a
9:00a	9:23a	9:51a	10:04a	10:18a
9:20a	9:43a	10:11a	10:24a	10:38a
9:40a	10:03a	10:31a	10:44a	10:58a
10:00a	10:23a	10:51a	11:04a	11:18a
10:20a	10:43a	11:11a	11:24a	11:38a
10:40a	11:03a	11:31a	11:44a	11:58a
11:00a	11:23a	11:51a	12:04p	12:18p
11:20a	11:43a	12:11p	12:24p	12:38p
11:40a	12:03p	12:31p	12:44p	12:58p
12:00p	12:23p	12:51p	1:04p	1:18p
12:20p	12:43p	1:11p	1:24p	1:38p
12:40p	1:03p	1:31p	1:44p	1:58p
1:00p	1:23p	1:51p	2:04p	2:18p
1:20p	1:43p	2:11p	2:24p	2:38p
1:40p	2:03p	2:31p	2:44p	2:58p
2:00p	2:23p	2:51p	3:04p	3:19p
2:20p	2:43p	3:11p	3:25p	3:40p
2:40p	3:03p	3:32p	3:46p	4:01p
3:00p	3:24p	3:53p	4:08p	4:24p
3:20p	3:44p	4:13p	4:28p	4:44p
3:40p	4:04p	4:34p	4:49p	5:05p
4:00p	4:25p	4:55p	5:10p	5:26p
4:20p	4:45p	5:15p	5:30p	5:46p
4:40p	5:05p	5:35p	5:50p	6:06p
5:00p	5:25p	5:55p	6:09p	6:24p
5:20p	5:45p	6:15p	6:29p	6:44p
5:40p	6:05p	6:34p	6:48p	7:03p
6:00p	6:24p	6:53p	7:07p	7:21p
6:20p	6:44p	7:13p	7:26p	7:40p
6:40p	7:04p	7:32p	7:45p	7:59p
7:00p	7:22p	7:50p	8:03p	8:16p
7:20p	7:42p	8:09p	8:21p	8:34p G
7:40p	8:02p	8:28p	8:40p	8:53p
8:00p	8:22p	8:48p	9:00p	9:13p
8:20p	8:40p	9:06p	9:17p	9:29p
8:45p	9:05p	9:29p	9:40p	9:52p
9:15p	9:33p	9:57p	10:08p	10:20p
9:45p	10:03p	10:27p	10:38p	10:50p
10:15p	10:33p	10:57p	11:08p	11:20p G
10:45p	11:03p	11:27p	11:38p	11:50p G
11:15p	11:33p	11:57p	12:08a	12:20a G

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP  
Times with the letter "G" before them indicate bus returns to garage.



# ROUTE 1

Aventura Mall to  
Broward Central Terminal  
via Federal Highway/US 1





For more details on our fares please  
visit our web site at  
**Broward.org/BCT** or call  
customer service: **954.357.8400**.

#### **Reading A Timetable - It's Easy**

1. The map shows the exact bus route.
2. Major route intersections are called time points. Time points are shown with the symbol □.
3. The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
4. Reading from left to right, indicates the time for each bus trip.
5. The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
6. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

**Not paying your fare is a crime per  
Florida Statute 812.015.  
Violation constitutes a misdemeanor,  
punishable by jail time and/or a fine.**

**Information: 954.357.8400**

**Hearing-speech impaired/TTY:  
954.357.8302**

This publication can be made  
available in large print, tape cassette,  
or Braille, by request.



This symbol is used on bus stop signs  
to indicate accessible bus stops.



**BOARD OF COUNTY COMMISSIONERS**  
*An equal opportunity employer and provider of services.*

21,000 copies of this public document were promulgated at a gross cost of \$819., or \$.039 per copy to inform the public about the Transit Division's schedule and route information. Reprinted 1/15

#### **TRANSFER POLICY 7/10/11**

##### **TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE**

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

##### **TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS**

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

##### **TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS**

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

##### **TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE**

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

#### **PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED**

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.



**TRANSIT WATCH**

**WHEN IT COMES TO OUR SAFETY,  
WE CAN ALWAYS USE AN EXTRA  
PAIR OF EYES AND EARS.  
BE ALERT.  
CALL 954-357-LOOK (5665).  
TELL US.**



## Customer Service

Monday - Friday ..... 7 am - 7:45 pm  
Saturday, Sunday and Holidays ..... 8:30 am - 4:45 pm

Transit Operations Agents help with:

- Trip planning
- Routes, times and transfer information
- Identifying Bus Pass sales locations
- Special event information

Lost and Found: 954-357-6414, Monday - Friday,  
9:00 am - 4:00 pm

## Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day	Labor Day	Memorial Day
Independence Day	Thanksgiving Day	Christmas Day

## Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/Medicare.\* Children (under 40 inches ride FREE)

## Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

**10 Ride Pass:** 10 Rides any time, any day. Expires after the tenth ride is taken.

**7 Day Pass:** Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

**31 Day Adult Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

**31 Day Reduced Pass:** Youth\*, Seniors\*, Disabled\*, Medicare\*, College Student\*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

**\*\*Premium Express 10 Ride Pass:** 10 rides any time, any day. Expires after tenth ride is taken.

**\*\*Premium Express 31 Day Pass:** Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

\*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

\*\* Premium Bus Pass can be purchased online at Broward.org/BCT and at select Broward County library locations.

# TIMETABLE

## ROUTE 1

**Saturday - Sunday**

Effective 1/18/15

Aventura Mall to  
Broward Central Terminal  
via Federal Highway/US 1

**BROWARD  
COUNTY  
Transit**

A service of the  
Broward County Commission

facebook

YouTube

Download & Print at [Broward.org/BCT](http://Broward.org/BCT)  
Wheelchair Accessible  
Bike Racks



Aventura Mall to  
Broward Central Terminal  
via Federal Highway/US 1

## SATURDAY

There are additional bus stops in between those listed.

### NORTHBOUND To Broward Central Terminal

AVENTURA MALL	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD INTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL
1	2	3	4	5
5:23a	5:35a	5:45a	6:04a	6:24a
5:43a	5:55a	6:05a	6:24a	6:44a
6:03a	6:15a	6:25a	6:44a	7:04a
6:23a	6:35a	6:45a	7:04a	7:26a
6:43a	6:55a	7:06a	7:27a	7:49a
7:03a	7:16a	7:27a	7:48a	8:10a
7:18a	7:31a	7:42a	8:03a	8:25a
7:33a	7:46a	7:57a	8:18a	8:40a
7:48a	8:01a	8:12a	8:33a	8:55a
8:03a	8:16a	8:27a	8:48a	9:10a
8:18a	8:31a	8:42a	9:03a	9:26a
8:33a	8:46a	8:57a	9:19a	9:42a
8:48a	9:01a	9:13a	9:35a	9:58a
9:03a	9:18a	9:30a	9:52a	10:15a
9:18a	9:33a	9:45a	10:07a	10:30a
9:33a	9:48a	10:00a	10:22a	10:45a
9:48a	10:03a	10:15a	10:37a	11:00a
10:03a	10:18a	10:30a	10:52a	11:15a
10:18a	10:33a	10:45a	11:07a	11:30a
10:33a	10:48a	11:00a	11:22a	11:45a
10:48a	11:03a	11:15a	11:37a	12:00p
11:03a	11:18a	11:30a	11:52a	12:16p
11:18a	11:33a	11:45a	12:07p	12:31p
11:33a	11:48a	12:00p	12:23p	12:47p
11:48a	12:03p	12:16p	12:39p	1:03p
12:03p	12:19p	12:32p	12:55p	1:19p
12:18p	12:34p	12:47p	1:10p	1:34p
12:33p	12:49p	1:02p	1:25p	1:49p
12:48p	1:04p	1:17p	1:40p	2:04p
1:03p	1:19p	1:32p	1:55p	2:19p
1:18p	1:34p	1:47p	2:10p	2:34p
1:33p	1:49p	2:02p	2:25p	2:49p
1:48p	2:04p	2:17p	2:40p	3:04p
2:03p	2:19p	2:32p	2:55p	3:19p
2:18p	2:34p	2:47p	3:10p	3:34p
2:33p	2:49p	3:02p	3:25p	3:49p
2:48p	3:04p	3:17p	3:40p	4:04p
3:03p	3:19p	3:32p	3:55p	4:19p
3:18p	3:34p	3:47p	4:10p	4:34p
3:33p	3:49p	4:02p	4:25p	4:49p
3:48p	4:04p	4:17p	4:40p	5:04p
4:03p	4:19p	4:32p	4:55p	5:19p
4:18p	4:34p	4:47p	5:10p	5:34p
4:33p	4:49p	5:02p	5:25p	5:49p
4:48p	5:04p	5:17p	5:40p	6:04p
5:03p	5:19p	5:32p	5:55p	6:18p
5:18p	5:34p	5:47p	6:10p	6:33p
5:33p	5:49p	6:02p	6:24p	6:47p
5:48p	6:04p	6:16p	6:38p	7:01p
6:03p	6:18p	6:30p	6:52p	7:15p G
6:18p	6:33p	6:45p	7:07p	7:30p
6:33p	6:48p	7:00p	7:22p	7:45p

NUMBERS IN BOXES REFER TO TIME POINTS ON MAP Times with the letter "G" after them indicate bus returns to garage.

### SOUTHBOUND To Aventura Mall

BROWARD CENTRAL TERMINAL	FTL/HWD INTERNATIONAL AIRPORT	YOUNG CIRCLE	HALLANDALE BCH BLV & US 1	AVENTURA MALL
5	4	3	2	1
5:20a	5:38a	6:02a	6:13a	6:25a
5:40a	5:58a	6:22a	6:33a	6:45a
6:00a	6:18a	6:42a	6:53a	7:05a
6:20a	6:38a	7:03a	7:15a	7:28a
6:40a	6:58a	7:24a	7:36a	7:49a
7:00a	7:20a	7:46a	7:58a	8:11a
7:15a	7:35a	8:01a	8:13a	8:26a
7:30a	7:50a	8:16a	8:28a	8:41a
7:45a	8:05a	8:31a	8:43a	8:56a
8:00a	8:20a	8:46a	8:59a	9:13a
8:15a	8:35a	9:01a	9:15a	9:29a
8:30a	8:50a	9:17a	9:31a	9:45a
8:45a	9:06a	9:34a	9:48a	10:02a
9:00a	9:22a	9:50a	10:04a	10:18a
9:15a	9:37a	10:05a	10:19a	10:33a
9:30a	9:52a	10:20a	10:34a	10:48a
9:45a	10:07a	10:35a	10:49a	11:03a
10:00a	10:22a	10:50a	11:04a	11:18a
10:15a	10:37a	11:05a	11:19a	11:33a
10:30a	10:52a	11:20a	11:34a	11:48a
10:45a	11:07a	11:35a	11:49a	12:03p
11:00a	11:22a	11:50a	12:04p	12:18p
11:15a	11:37a	12:05p	12:19p	12:33p
11:30a	11:52a	12:21p	12:35p	12:49p
11:45a	12:08p	12:38p	12:52p	1:06p
12:00p	12:24p	12:54p	1:08p	1:22p
12:15p	12:39p	1:09p	1:23p	1:37p
12:30p	12:54p	1:24p	1:38p	1:52p
12:45p	1:09p	1:39p	1:53p	2:07p
1:00p	1:24p	1:54p	2:08p	2:22p
1:15p	1:39p	2:09p	2:23p	2:37p
1:30p	1:54p	2:24p	2:38p	2:52p
1:45p	2:09p	2:39p	2:53p	3:07p
2:00p	2:24p	2:54p	3:08p	3:22p
2:15p	2:39p	3:09p	3:23p	3:37p
2:30p	2:54p	3:24p	3:38p	3:52p
2:45p	3:09p	3:39p	3:53p	4:07p
3:00p	3:24p	3:54p	4:08p	4:22p
3:15p	3:39p	4:09p	4:23p	4:37p
3:30p	3:54p	4:24p	4:38p	4:52p
3:45p	4:09p	4:39p	4:53p	5:07p
4:00p	4:24p	4:54p	5:08p	5:22p
4:15p	4:39p	5:09p	5:23p	5:37p
4:30p	4:54p	5:24p	5:38p	5:52p
4:45p	5:09p	5:39p	5:53p	6:07p
5:00p	5:24p	5:54p	6:08p	6:22p
5:15p	5:39p	6:08p	6:22p	6:36p
5:30p	5:54p	6:22p	6:36p	6:50p G
5:45p	6:08p	6:36p	6:50p	7:04p
6:00p	6:22p	6:50p	7:04p	7:18p
6:15p	6:37p	7:05p	7:19p	7:33p
6:30p	6:52p	7:20p	7:34p	7:48p G

SATURDAY Continued on next page



**NORTHBOUND To Broward Central Terminal**

6:53p	7:08p	7:20p	7:42p	8:05p
7:13p	7:28p	7:40p	8:02p	8:25p
7:33p	7:48p	8:00p	8:22p	8:45p G
7:53p	8:08p	8:20p	8:42p	9:05p
8:13p	8:28p	8:40p	9:02p	9:25p
8:33p	8:48p	9:00p	9:21p	9:43p G
9:03p	9:16p	9:27p	9:47p	10:08p
9:33p	9:46p	9:57p	10:16p	10:36p
10:03p	10:15p	10:25p	10:44p	11:04p
10:33p	10:45p	10:55p	11:14p	11:34p G
11:03p	11:15p	11:25p	11:44p	12:04a G

**SOUTHBOUND To Aventura Mall**

6:45p	7:07p	7:35p	7:49p	8:03p
7:00p	7:22p	7:50p	8:04p	8:18p
7:20p	7:42p	8:10p	8:24p	8:38p G
7:40p	8:02p	8:30p	8:43p	8:56p
8:00p	8:22p	8:50p	9:03p	9:16p
8:20p	8:42p	9:09p	9:21p	9:34p G
8:45p	9:05p	9:31p	9:43p	9:56p
9:15p	9:35p	10:01p	10:12p	10:24p
9:45p	10:05p	10:29p	10:40p	10:52p
10:15p	10:33p	10:57p	11:08p	11:20p G
10:45p	11:03p	11:27p	11:38p	11:50p G
11:15p	11:33p	11:57p	12:08a	12:20a G

**SUNDAY****NORTHBOUND To Broward Central Terminal**

AVENTURA MALL	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD INTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL
1	2	3	4	5
6:03a	6:16a	6:25a	6:44a	7:03a
6:23a	6:36a	6:45a	7:04a	7:23a
6:43a	6:56a	7:05a	7:24a	7:43a
7:03a	7:16a	7:25a	7:44a	8:03a
7:23a	7:36a	7:45a	8:04a	8:23a
7:43a	7:56a	8:05a	8:24a	8:43a
8:03a	8:16a	8:25a	8:44a	9:03a
8:23a	8:36a	8:45a	9:04a	9:24a
8:43a	8:56a	9:06a	9:26a	9:46a
9:03a	9:17a	9:27a	9:47a	10:07a
9:23a	9:37a	9:47a	10:07a	10:28a
9:43a	9:57a	10:08a	10:29a	10:50a
10:03a	10:18a	10:29a	10:50a	11:11a
10:23a	10:38a	10:49a	11:10a	11:31a
10:43a	10:58a	11:09a	11:30a	11:51a
11:03a	11:18a	11:29a	11:50a	12:11p
11:23a	11:38a	11:49a	12:10p	12:31p
11:43a	11:58a	12:09p	12:30p	12:51p
12:03p	12:18p	12:29p	12:50p	1:11p
12:23p	12:38p	12:49p	1:10p	1:31p
12:43p	12:58p	1:09p	1:30p	1:51p
1:03p	1:18p	1:29p	1:50p	2:11p
1:23p	1:38p	1:49p	2:10p	2:31p
1:43p	1:58p	2:09p	2:30p	2:51p
2:03p	2:18p	2:29p	2:50p	3:11p
2:23p	2:38p	2:49p	3:10p	3:31p
2:43p	2:58p	3:09p	3:30p	3:51p
3:03p	3:18p	3:29p	3:50p	4:11p
3:23p	3:38p	3:49p	4:10p	4:31p
3:43p	3:58p	4:09p	4:30p	4:51p
4:03p	4:18p	4:29p	4:50p	5:11p
4:23p	4:38p	4:49p	5:10p	5:31p
4:43p	4:58p	5:09p	5:30p	5:51p
5:03p	5:18p	5:29p	5:50p	6:11p
5:23p	5:38p	5:49p	6:10p	6:31p
5:43p	5:58p	6:09p	6:30p	6:51p G
6:03p	6:18p	6:29p	6:48p	7:08p
6:33p	6:48p	6:59p	7:18p	7:38p
7:03p	7:17p	7:27p	7:47p	8:07p
7:33p	7:47p	7:57p	8:17p	8:37p
8:03p	8:17p	8:27p	8:47p	9:07p
8:33p	8:47p	8:57p	9:16p	9:35p G
9:03p	9:16p	9:25p	9:44p	10:03p G

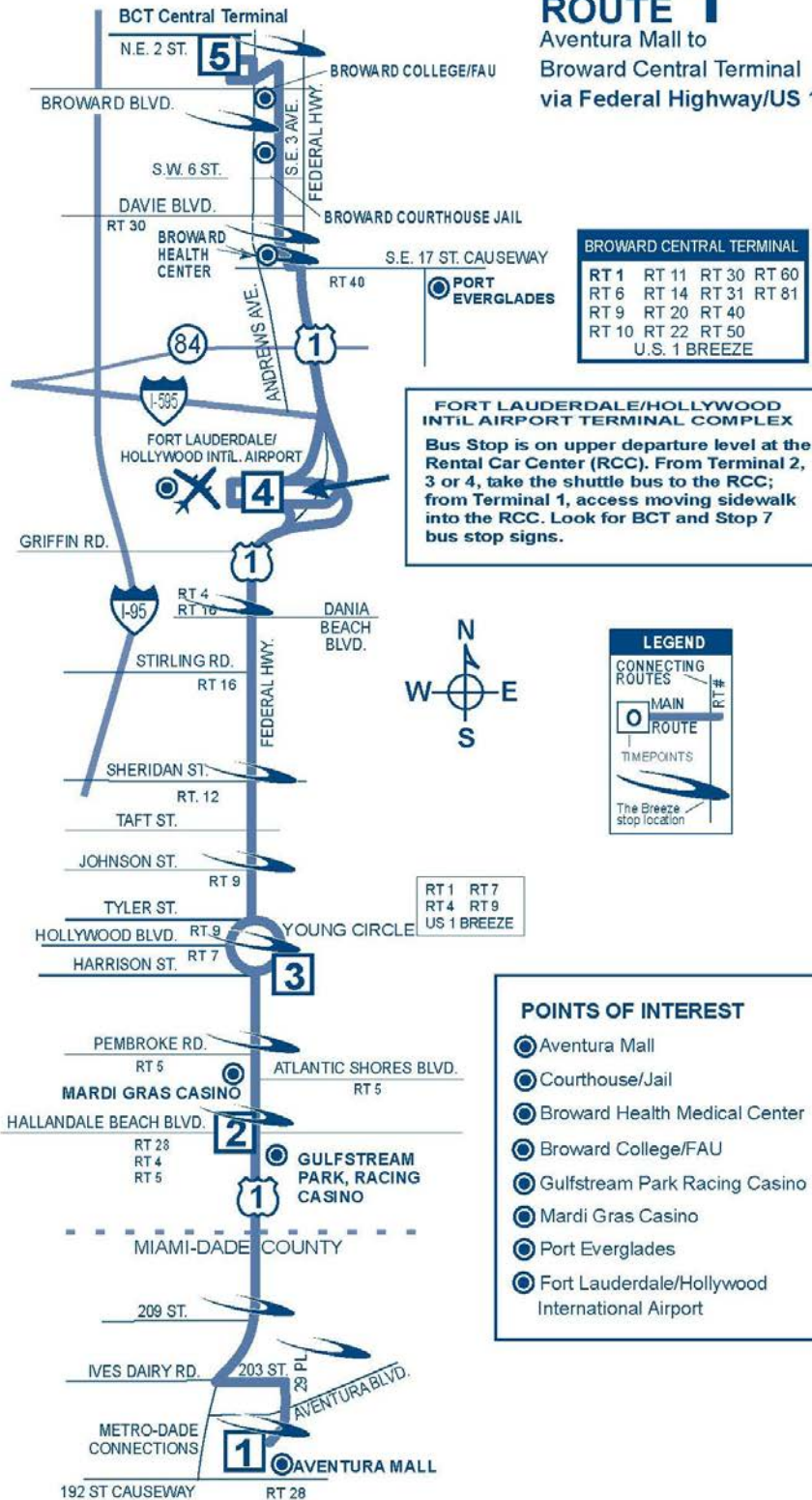
**SOUTHBOUND To Aventura Mall**

BROWARD CENTRAL TERMINAL	FTL/HWD INTERNATIONAL AIRPORT	YOUNG CIRCLE	HALLANDALE BCH BLV & US 1	AVENTURA MALL
5	4	3	2	1
6:00a	6:19a	6:44a	6:55a	7:06a
6:20a	6:39a	7:04a	7:15a	7:26a
6:40a	6:59a	7:24a	7:35a	7:46a
7:00a	7:19a	7:44a	7:55a	8:06a
7:20a	7:39a	8:04a	8:15a	8:26a
7:40a	7:59a	8:24a	8:35a	8:46a
8:00a	8:19a	8:44a	8:55a	9:07a
8:20a	8:39a	9:04a	9:16a	9:28a
8:40a	8:59a	9:25a	9:37a	9:49a
9:00a	9:20a	9:46a	9:58a	10:11a
9:20a	9:40a	10:06a	10:19a	10:32a
9:40a	10:00a	10:27a	10:40a	10:53a
10:00a	10:21a	10:48a	11:01a	11:14a
10:20a	10:41a	11:08a	11:21a	11:34a
10:40a	11:01a	11:28a	11:41a	11:54a
11:00a	11:21a	11:48a	12:01p	12:14p
11:20a	11:41a	12:08p	12:21p	12:34p
11:40a	12:01p	12:28p	12:41p	12:54p
12:00p	12:21p	12:48p	1:01p	1:14p
12:20p	12:41p	1:08p	1:21p	1:34p
12:40p	1:01p	1:28p	1:41p	1:54p
1:00p	1:21p	1:48p	2:01p	2:14p
1:20p	1:41p	2:08p	2:21p	2:34p
1:40p	2:01p	2:28p	2:41p	2:54p
2:00p	2:21p	2:48p	3:01p	3:14p
2:20p	2:41p	3:08p	3:21p	3:34p
2:40p	3:01p	3:28p	3:41p	3:54p
3:00p	3:21p	3:48p	4:01p	4:14p
3:20p	3:41p	4:08p	4:21p	4:34p
3:40p	4:01p	4:28p	4:41p	4:54p
4:00p	4:21p	4:48p	5:01p	5:14p
4:20p	4:41p	5:08p	5:21p	5:34p
4:40p	5:01p	5:28p	5:41p	5:54p
5:00p	5:21p	5:48p	6:01p	6:14p
5:20p	5:41p	6:08p	6:21p	6:34p G
5:40p	6:01p	6:28p	6:41p	6:54p
6:00p	6:21p	6:48p	7:01p	7:13p
6:20p	6:41p	7:08p	7:20p	7:32p G
6:45p	7:06p	7:32p	7:44p	7:56p
7:15p	7:35p	8:01p	8:13p	8:25p
7:45p	8:05p	8:31p	8:43p	8:55p
8:15p	8:35p	9:01p	9:12p	9:23p G
8:45p	9:05p	9:30p	9:41p	9:52p G
9:15p	9:34p	9:59p	10:10p	10:21p G



# ROUTE 1

Aventura Mall to  
Broward Central Terminal  
via Federal Highway/US 1





#### **TRANSFER POLICY 7/10/11**

##### **TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE**

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

##### **TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS**

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

##### **TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS**

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

##### **TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE**

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$.50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

For more details on our fares please visit our web site at [broward.org/bct](http://broward.org/bct) or call customer service: 954.357.8400.

#### **Reading A Timetable - It's Easy**

1. The map shows the exact bus route.
2. Major route intersections are called time points. Time points are shown with the symbol □.
3. The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
4. Reading from left to right, indicates the time for each bus trip.
5. The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
6. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

**Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.**

Information: 954.357.8400

Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BROWARD COUNTY  
BOARD OF COUNTY COMMISSIONERS  
*An equal opportunity employer and provider of services.*



**TRANSIT WATCH**

**WHEN IT COMES TO OUR SAFETY,  
WE CAN ALWAYS USE AN EXTRA  
PAIR OF EYES AND EARS.  
BE ALERT.  
CALL 954-357-LOOK (5665).  
TELL US.**

#### **PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED**

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.



5. Conformity with Broward County Land Use Plan, City's Comprehensive Plan & Platting, Zoning Codes, Ordinances or Regulations  
This development complies with all the sections of Broward County's & the City of Hallandale Beach's Land Use Code.
  - a. City Comprehensive Plan & Land Use Designation:  
All policies under the City's Comprehensive Plan, Objective 1.1 shall be met. The applicant has submitted this pursuant to Policy 1.1.3. The development adheres to all other concurrency items listed therein.
  - b. Broward County Comprehensive and Land Use Plans:  
This site conforms with the Broward County Comprehensive and Land Use Plans
6. Coordination with Agencies having jurisdiction over the development  
All applicable permits and coordination with applicable agencies shall be accomplished prior to the commencement of construction on this property.



5. IMPACT EVALUATION SUBMISSION REQUIREMENTS - SECTION 32-788

b. SCOPE

After detailed evaluation of the project requirements and the impact to the existing public services and facilities, it was determined that the proposed development will not adversely affect any of the existing public facilities, services and the current levels of service of the City of Hallandale Beach.

c. Ground Water Quality

This project will be designed in accordance with County, State, and Federal provisions for the protection of groundwater quality. This will include provisions required for water quality treatment including on-site retention for the greater of one inch (1") of runoff from the total project area or two and a half inches (2 ½") times the percent impervious as required by Broward County Chapter 27. In addition, the Federal NPDES guidelines will be incorporated in the design for the elimination of pollutant discharges during construction. The storm water system proposed is a series of exfiltration trenches and pollution retardant devices within the catch basins with ultimate discharge to on-site drainage wells.

d. Waste Water

The City sends its wastewater to the City of Hollywood Southern Regional Wastewater Treatment Plant (WWTP) located at 1621 North 14th Avenue in Hollywood, Florida. The plant is currently permitted to treat 48.75 MGD and has a utilized capacity (existing and committed flow) of 41.94 MGD. This means that the plant is 86% committed capacity. Due to the small demand projected for this development, the City most likely will approve the additional connections required for this development.

Existing single family homes flow of 2 units x 350 gpd = 700 gpd.

New multi-family residential units flow of 24 units x 250 gpd = 6,000 gpd.

The net increase in flow is 5,300 gpd.

Proposed sewer discharge is into the existing 8-inch gravity system along S.E. 4<sup>th</sup> Street, on the south side of the project.

e. Potable Water

The City of Hallandale Beach Water plant, located at 215 NW 6<sup>th</sup> Avenue, currently has adequate potable water supply to serve this site.

Existing single family flow of 2 units x 350 gpd = 700 gpd.

New multi-family residential units flow of 24 units x 350 gpd = 8,400 gpd.

The net increase in flow demand is 7,700 gpd.



Proposed water meter connection(s) will be to the existing 8-inch water main along SE 4<sup>th</sup> Street on the south side of the project.

f. Solid Waste

As this project is a residential development, the normal amount of refuse will be generated by the population of this 24 unit development. Refuse and recyclables will be collected within the dumpster enclosures to be picked up by the sanitation division of the City of Hallandale Beach.

g. Other Utilities

Other Utility companies having franchises within this area include FP&L, AT&T, Comcast Cable TV, and TECO Gas. All of these utility companies that currently serve the immediate area, are not expected to burden the existing infrastructure of these utility companies.

h. Traffic

A traffic impact analysis is attached to this report. Please refer to the supporting documents prepared by TrafTech.

i. Public Safety

There are three fire stations within the city of Hallandale Beach available to serve the site at the following locations:

1. Fire Station #7 – 121 SW 3rd Street. Fire Station #7 houses several fire suppression and emergency medical units. From this station, Rescue #7, Engine #7, Quint #7 and Battalion Chief #7 respond to calls in their assigned zone. This station provides housing for emergency personnel 24 hours a day, 7 days a week.
2. Fire Station 60 – 2801 E. Hallandale Beach Boulevard. Fire Station #60 is located under the water tower on North Beach. From this station, Rescue #60 and Engine #60 respond to emergencies on South Ocean Drive. This station is also staffed 24 hours a day, 7 days a week.
3. Fire Station 90-101 Three Island Boulevard. Fire Station #90 houses a single rescue unit. Rescue #90 responds to medical calls in their zone, as well as fire calls and motor vehicle crashes. Station #90 is fully staffed 24 hours a day, 7 days a week.

The City of Hallandale Police Department provides police service within this service. It is not anticipated that the proposed development will provide additional demand on police service in this area, assuming that conforms with the C.P.T.E.D. criteria is adhered to.

Entrances and exits shall be clearly defined by walkways and signage. Parking areas, access



points and walkways shall be well lit.

j. School Facilities

This project contains 24 units. School facilities impacts will be offset by paying the concurrency fee to Broward County.

k. Parks and Open Spaces

This project will contribute a minimal amount of visitor traffic and is not expected to cause any significant problems to the existing infrastructure of the City's Parks and Open Spaces.

The City currently has 58.76 acres of public parks and open spaces and 106.68 acres of public waterways. Below is a listing of the parks and open spaces in the vicinity of the project.

*Peter Bluesten Park, 501 Southeast 1st Avenue*

Fifteen-acre facility consisting of a community center, tennis courts, racquet courts, outdoor basketball courts, sand volleyball courts, ball fields, in-line skating area, concession stand and a playground.

*B.F. James Park, 101 Northwest 9th Street*

Two-acre park with playground, baseball field, outdoor basketball courts and pavilion.

*Foster Park, 609 Northwest 6th Avenue*

One-acre park with playground, outdoor basketball court, pavilion and community center.

*Golden Isles and Tennis Complex, Egret Drive and Layne Boulevard*

This facility contains a tot lot, pavilion, basketball court, tennis complex and walking trail.

*Ingalls Park, 735 Southwest 1st Street*

This 4.6-acre park houses a community center, fitness trail, pavilions, gazebo and playground area.

*Oresta Blake Johnson Park, 900 Northwest 8th Avenue*

This park is a 4.5-acre facility that consists of a gymnasium, recreation rooms, tennis courts, racquetball courts, outdoor basketball courts, fields, in-line skating area, concession stand and a playground.

*Joseph Scavo Park, 900 Three Island Boulevard*

This Seven-acre facility includes a walking trail, benches and a tot lot.



I. Community Facilities

This project is not expected to have any negative impacts on the following four City's community facilities:

1. Hallandale Beach Cultural Community Center
2. Hallandale Beach YMCA Family Center
3. BF James Park and Municipal Swimming Pool
4. Broward County Library located at 300 Federal Highway

m. Historical Aspects

There are no known historical or archeological sites which currently existing on this property.

n. Scenic Vistas

There are no observable scenic vistas from the existing property.

o. Low- and Moderate-Priced Housing

This project's 24 units will contribute to the City's inventory of moderate-priced housing.

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