







CENTER FOR COLLABORATIVE ARCHITECTURE

1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

# SITE PLAN REVIEW LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

# DRC PRESENTATION - FEBRUARY 1, 2021



OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST HALLANDALE BEACH, FL 33009 Ph: 305-814-8668

Contact: Victor E Taurizano,

ARCHITECT: CCA Design + Arch, LLC 1424 SW 23 St Miami, Florida 33145 PH: 786-487-3724

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CONTACT: Fabio Perez

Contact: Juan J. Bedoya, P.E.

MEP ENGINEERING: **B&K Engineering Group, LLC** 3601 NW 2 nd Ave. Boca Raton, FL 33431 PH: 561-716-7120

**CIVIL ENGINEERING:** Winningham & Fradley, Inc. 111 NE 44th Street Oakland Park, Florida 33334 Office: 954-771-7440

Contact: Justine Bonito, PE

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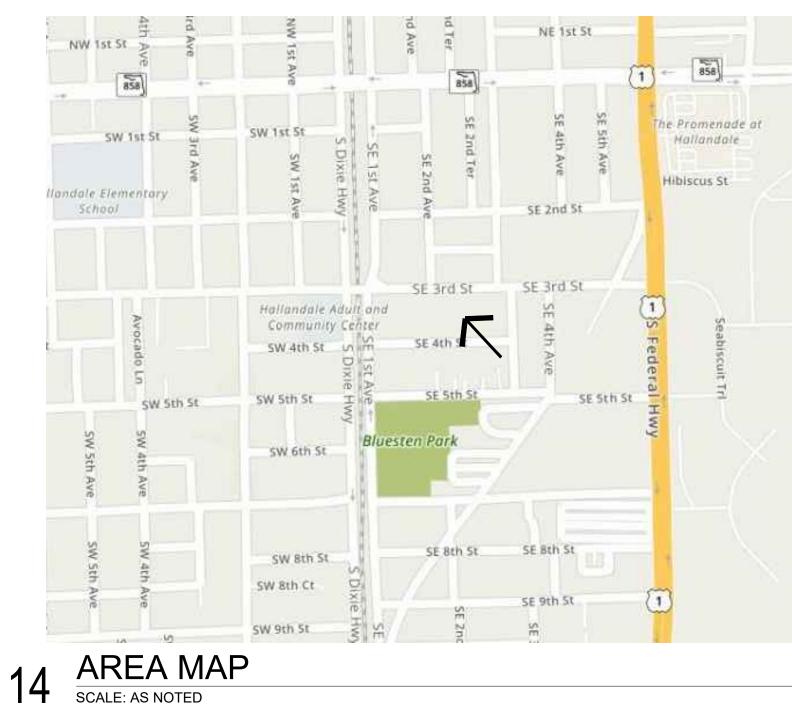
# ARCHITECTURE

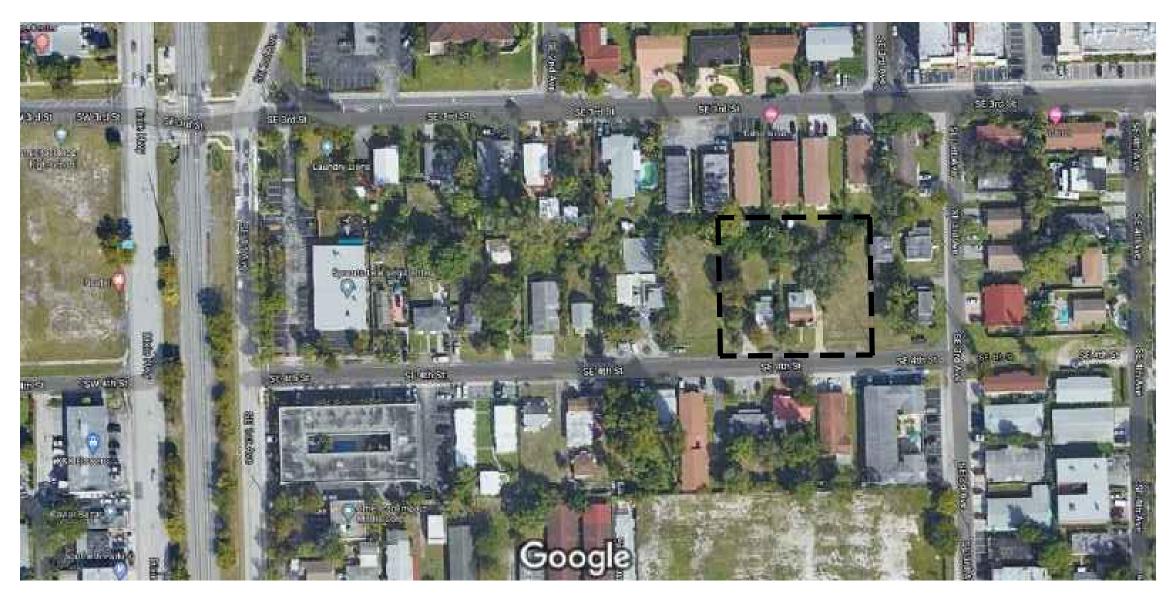
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COVER
SP-1
DP-1
PD-1
PD-2
PD-3
PM-1
WS-1
WS-2
TPPI-1
TPPI-2
TPPI-3







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INDEX OF DRAWINGS
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PROPERTY AERIAL PHOTO SCALE: AS NOTED



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Ø	AR97469
OWNER:	LEISURE APARTMENTS INC

215 SE 4TH ST HALLANDALE, FL 33009

NO.	DRAWING ISSUE	DATE
	DRC MEETING	04-20-20
<u>_1</u>	DRC COMMENTS	06-29-20
2	DRC COMMENTS	10-06-20
3	DRC COMMENTS	12-16-20
$\Delta$		02_01_21



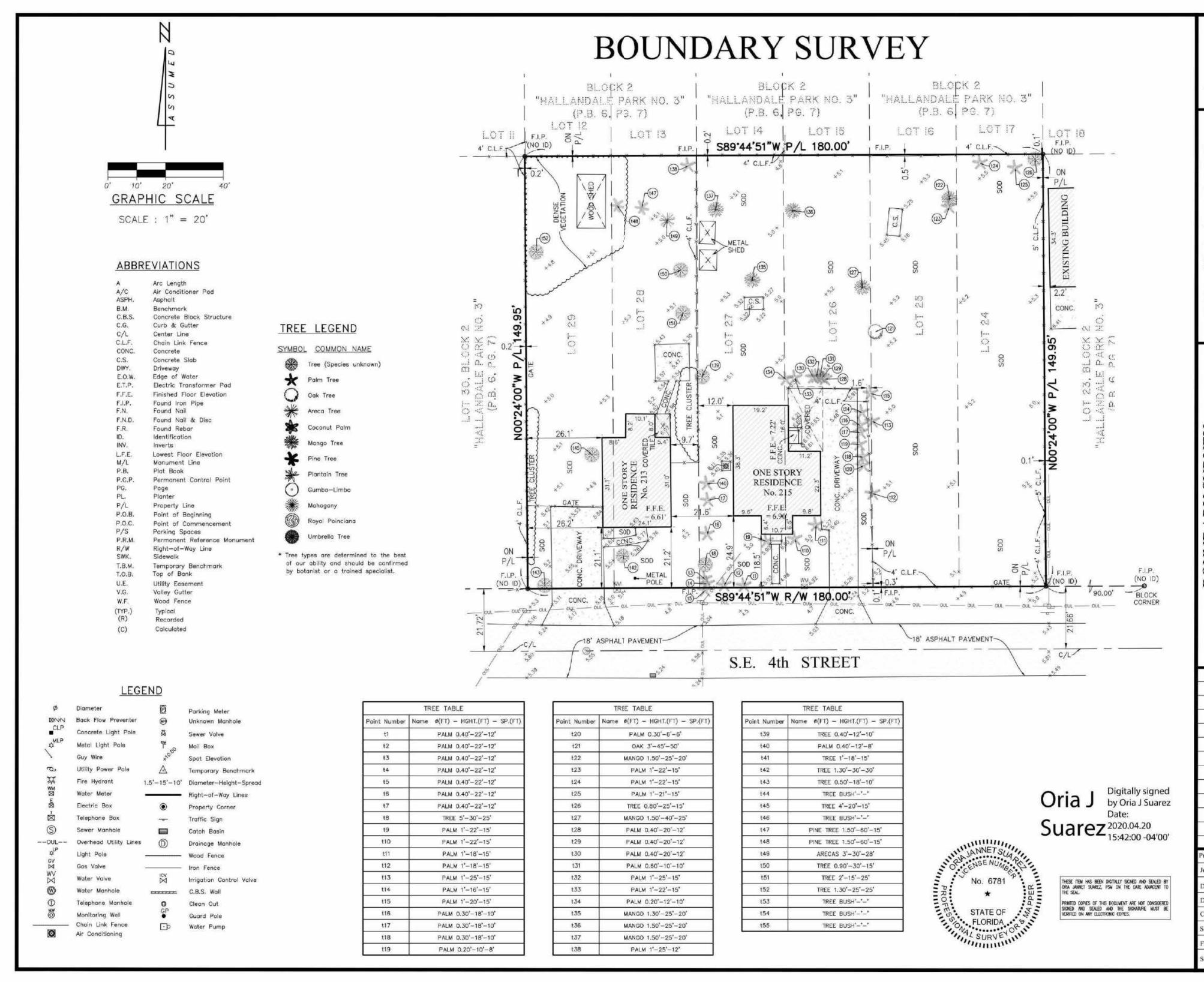
LEISURE **APARTMENTS** 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009

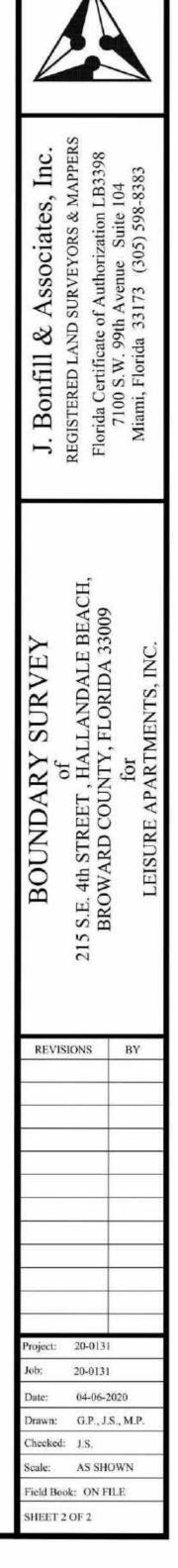
COVER SHEET AREA MAP & AERIAL PHOTO

# DRAWING INFO:

PROJECT INFO:

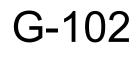
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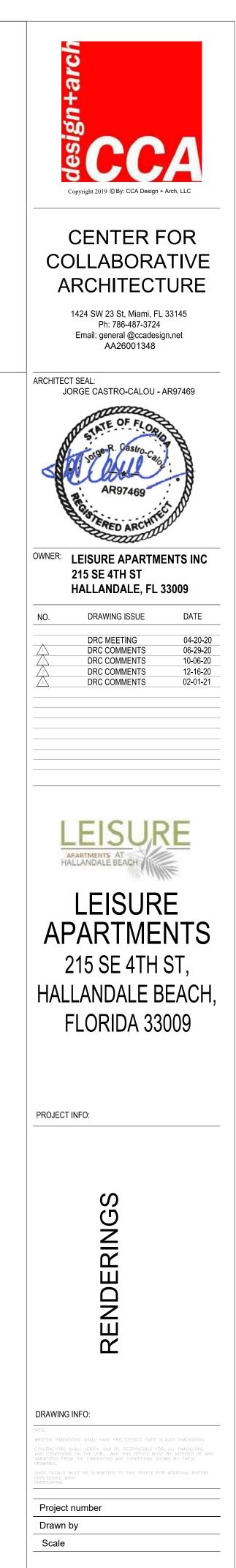


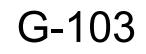


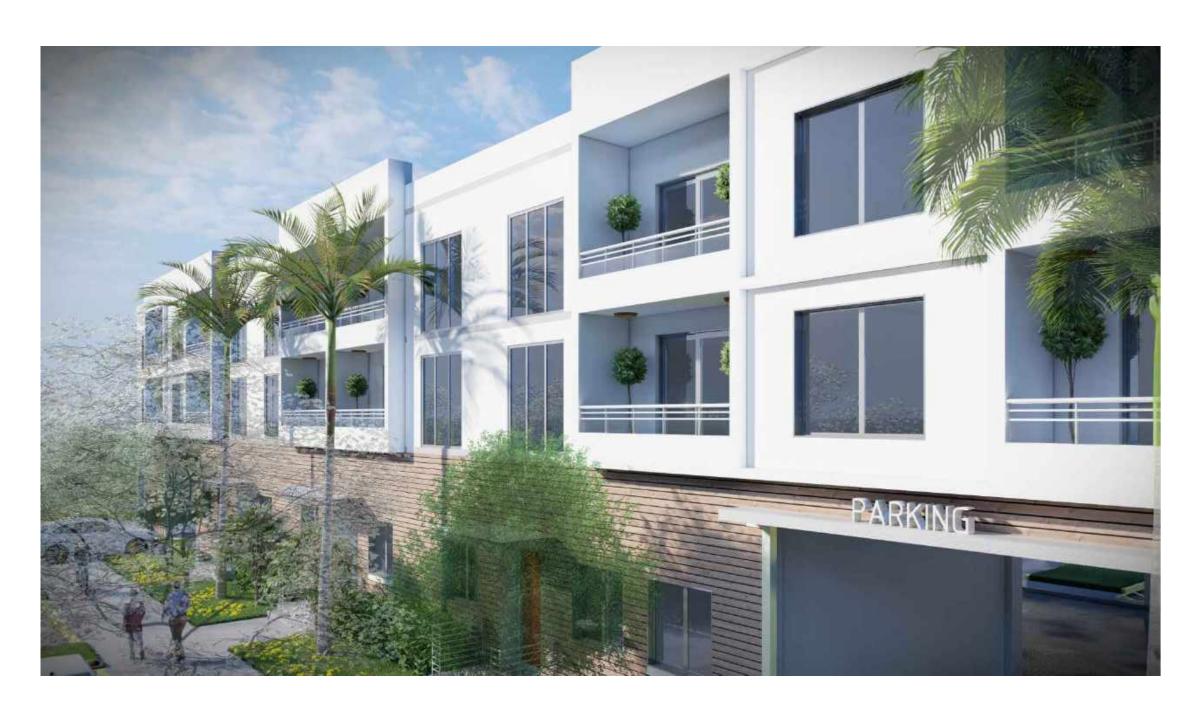




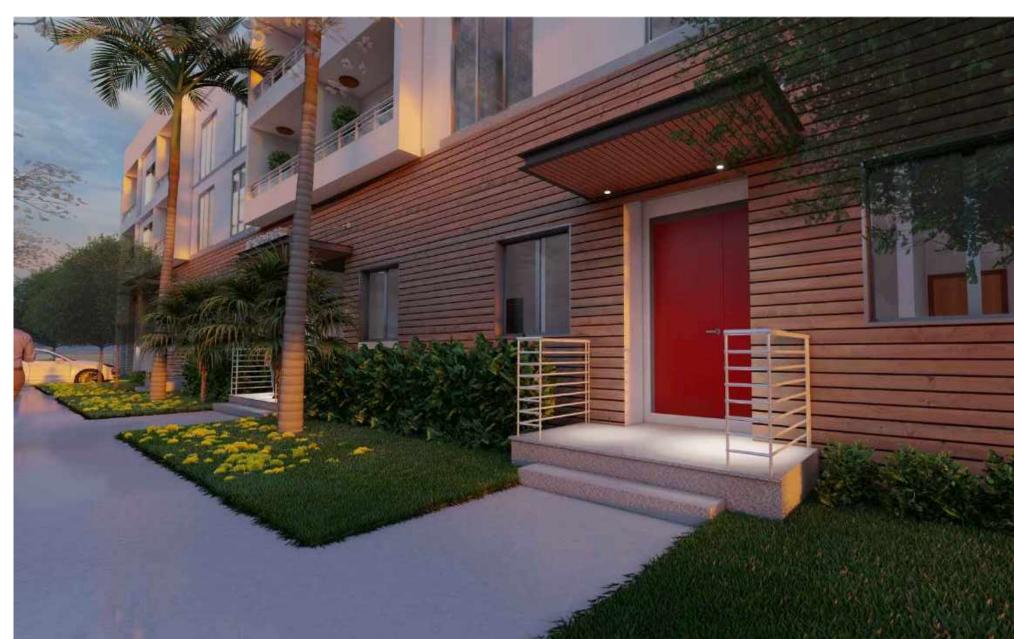
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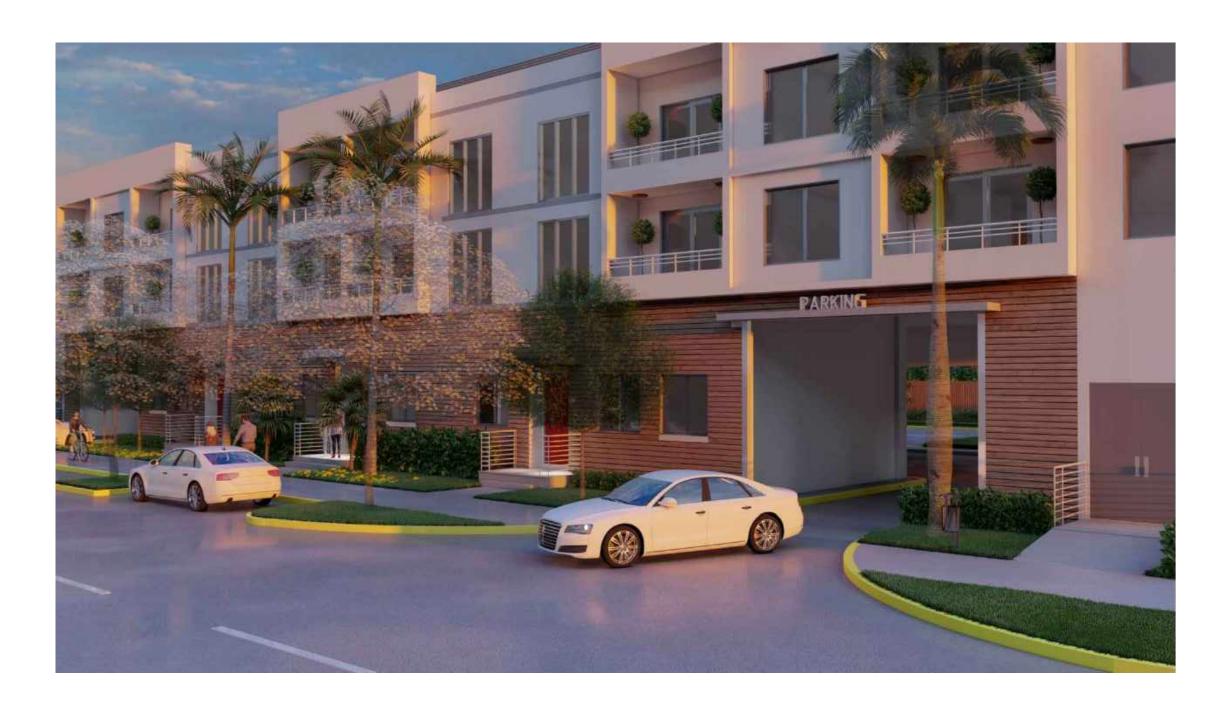








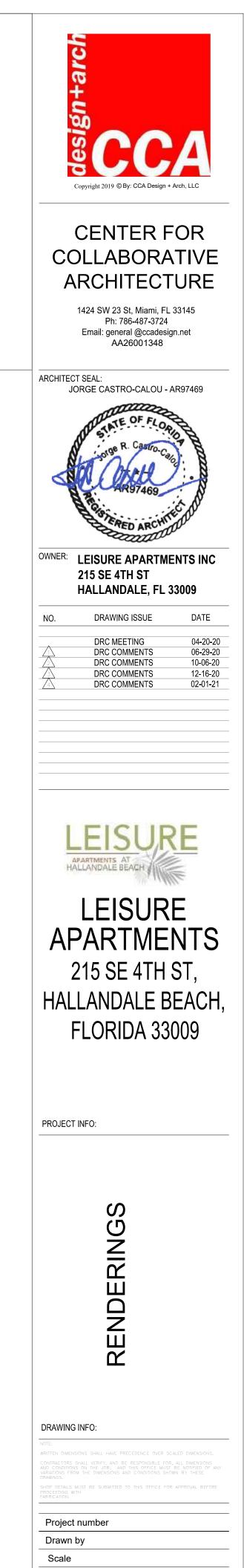
08 RENDERING



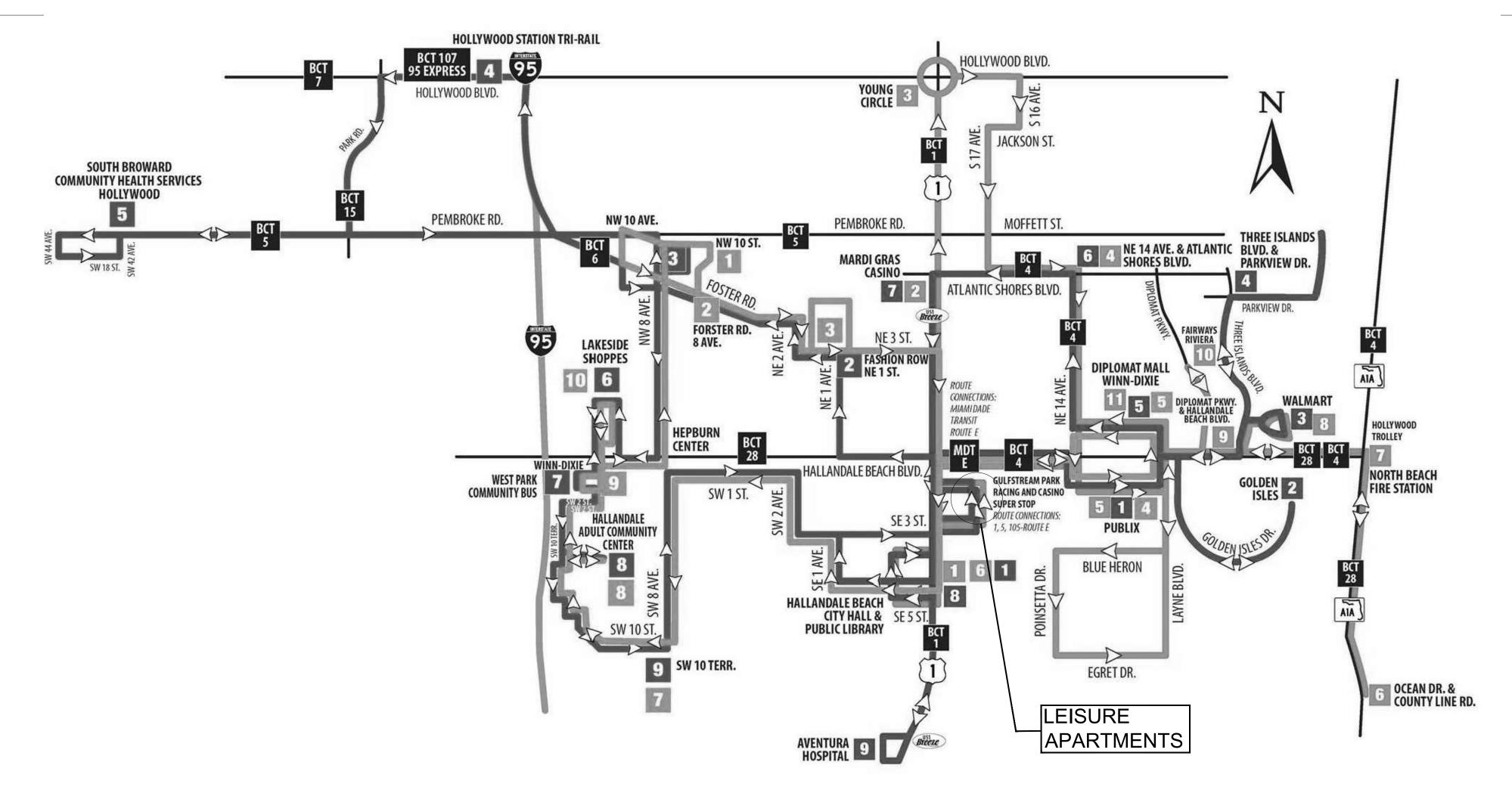




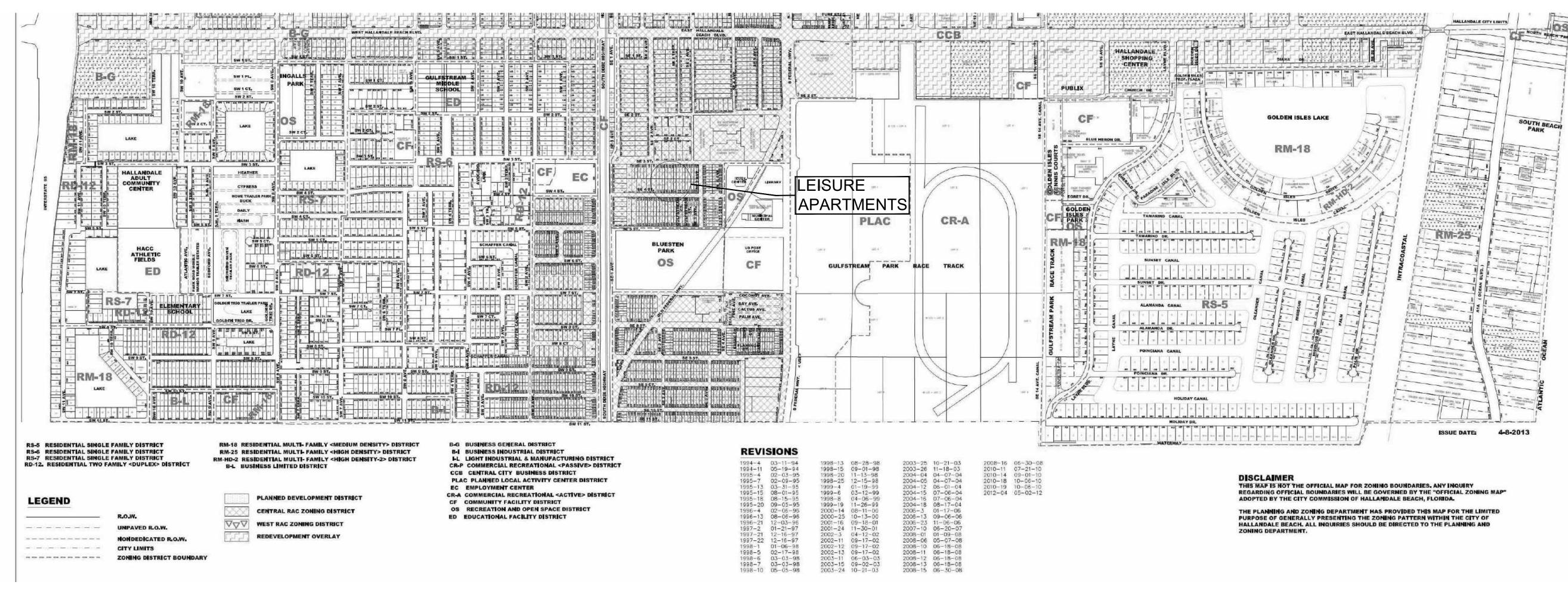
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### TRANSPORTATION MAP HALLANDALE BEACH 16 SCALE: NTS





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# <u>SITE & BUILDING INFORMATION</u>

ot Cinc		PEOLIPED	PROPOSED
Lot Size		REQUIRED	PROPOSED
Lot Widtl	1	50 ft. min.	180 feet
Lot Area		5000 sf. min./ 100,000 max.	26,991 Gross s.f
		max.	26,389.8 Nets.f.
Lot Cove	rage	95% max.	82.99%
Minimun	1 Landscape Area	5%	17.01%
Building	Placement		
		10 ft. min./	N/A
	Primary Street Setback	15 ft. max.	
А	Secondary Street Setback	10 ft. min.	9 ft. to balconies '
в	Street Above the 5th Story	20 ft.	N/A
	Interior Side Setback	0 ft. min.	1 foot
с	Adjacent to residential	10 feet	20 feet
D	Side Above the 5 <sup>th</sup> Story	30 ft. min.	N/A
Е	Rear Setback	10 ft. min.	73 feet
F	Rear Above the 5th Story	20 ft. min.	N/A
G	Bldg Frontage on Primary Streets	75% min.	N/A
Building	Size & Height		
Vin. Heig	ght Primary Streets	2 Stories, or	N/A
		1 Story 20 ft. high	
Base Bu	ilding Height Limit	5 Stories	3 stories
Maximur	n Height Limit	8 Stories	3 stories
Density			
Base De	nsity	18 du/ac	N/A
Max. Der	nsity	50 du/ac	39.62 DU/AC**
Civic Op	en Space Requirement		
Sites Gre	eater than 40,000 sq. ft.	5%	N/A
	Exceeding Base Density or Base	7.50%	0%*
Height L	littit		

\*\* Affordable Housing - 15% of the units must be designate as affordable or a contribution to the City's Affordable Housing Fund is required.

# PARKING CALCULATIONS

UNIT MIX PER LEVEL	Efficiency	1Bed	2 Bed	Units/Floor
1st level	0	0	2	2
2nd level	0	9	2	11
3rd level	0	9	2	11
Total Units	0	18	6	24
PARKING CALCULATION	<u>s</u>			
Unit Type	<u># Units</u>	Parking/Unit	Total Parking	
2 Bed	6	1.75	10.50	
1 Bed	18	1.25	22.50	
Efficency	0	1.00	0.00	
	24		33.00	
Guest Parking				
1st 20 Units	20	0.5	10	
21 to 51 Units	4	0.3	1.2	
			11.2	
Total Parking Units + Gue	Total Parking Units + Guest Required			
Total Parking Units + Gue	est Provided		45	
HC Parking Included			2	

# UNIT AREA INFORMATION

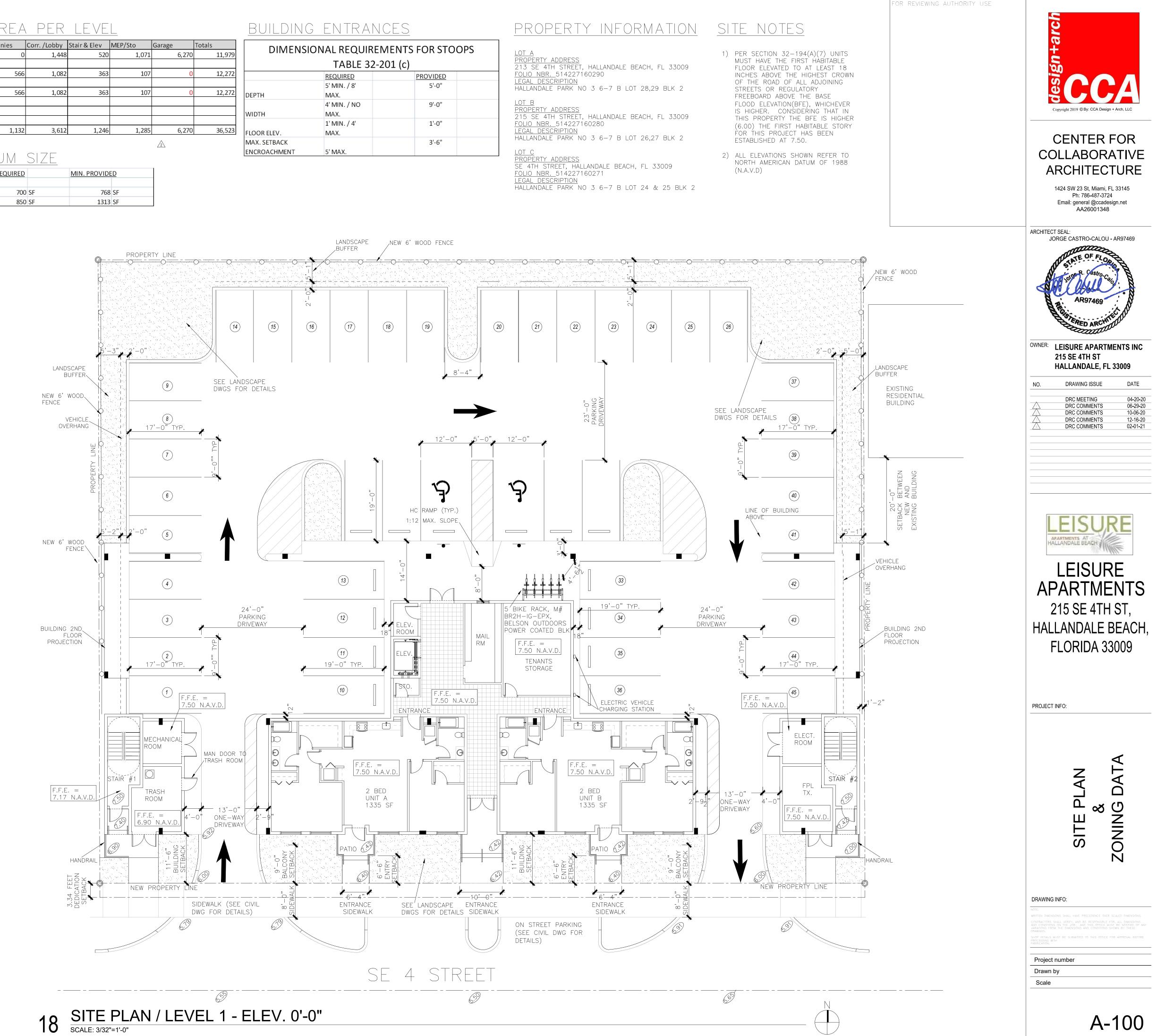
Floor	Unit #	2B/2B	1B/1B	Balcony	Total
Ground Floor	А	1,335			1,335
	В	1,335		2	1,335
2nd Level	A		944	49	993
	В		768	50	818
0	C		768	50	818
	D		768	50	818
	E		768	50	818
	F		944	49	993
	G	1,313		60	1,373
	Н		768	50	818
	L		900	49	949
	J	-	900	49	949
	К	1,313		60	1,373
3rd Level	А		944	49	993
	В		768	50	818
	С		768	50	818
	D		768	50	818
	E		768	50	818
	F		944	49	993
	G	1,313		60	1,373
-	Н		768	50	818
	I		900	49	949
	J		900	49	949
	К	1,313		60	1,373
Total		7,922	15,056	1,132	24,110

# BUILDING AREA PER LEVEL

Floor	Total Units	Balconies	Corr. /Lobby	Stair & Elev	ME
Ground FL	2,670	0	1,448	520	
2nd FL	10,154	566	1,082	363	
3rd FL	10,154	566	1,082	363	
Roof					
Total	22,978	1,132	3,612	1,246	

# UNIT MINIMUM SIZE

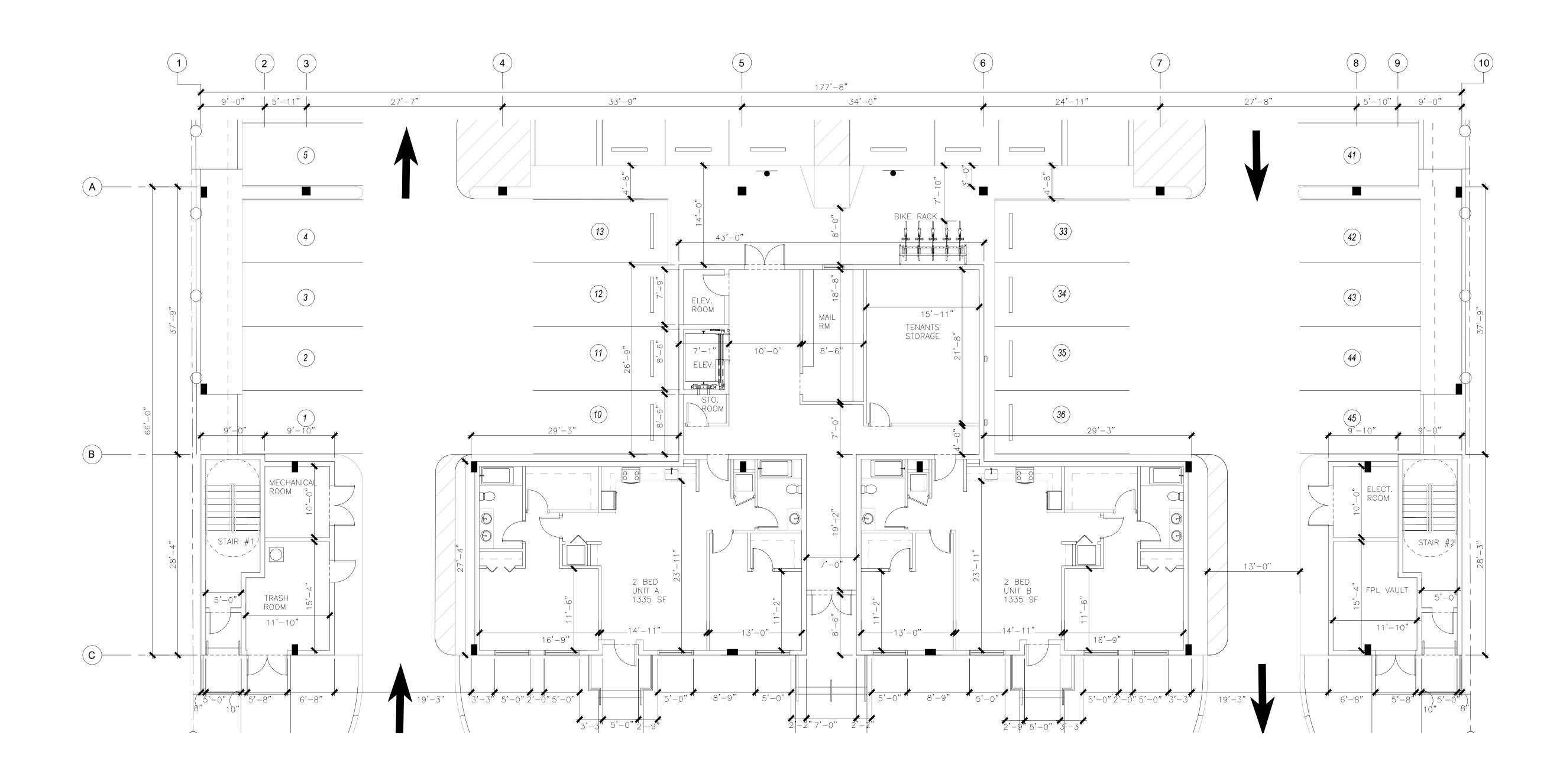
UNIT MINIMUM SIZE	MIN. REQUIRED		MIN. PROVIDE	D
Table 32-194(b)				
1 Bedroom Unit	700	SF	768	SF
2 Bedroom Unit	850	SF	1313	SF



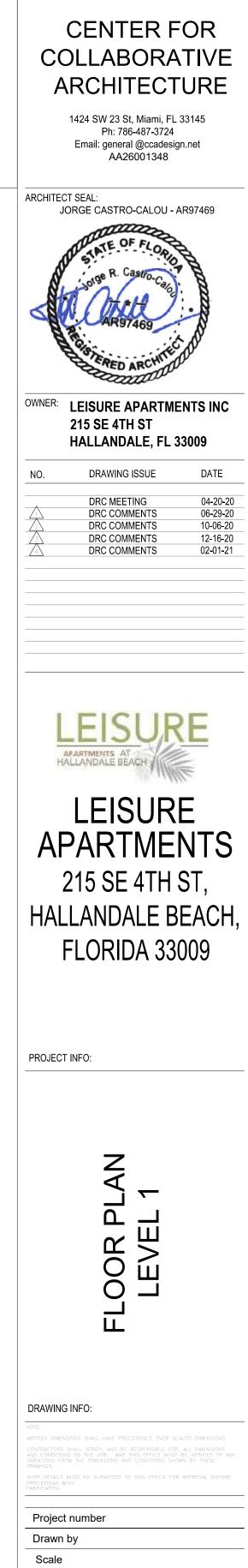


	<u>required</u>	PROVIDED	
	5' MIN. / 8'	5'-0''	
DEPTH	MAX.		
	4' MIN. / NO	9'-0''	
WIDTH	MAX.		
	1' MIN. / 4'	1'-0''	
FLOOR ELEV.	MAX.		
MAX. SETBACK		3'-6"	
ENCROACHMENT	5' MAX.		

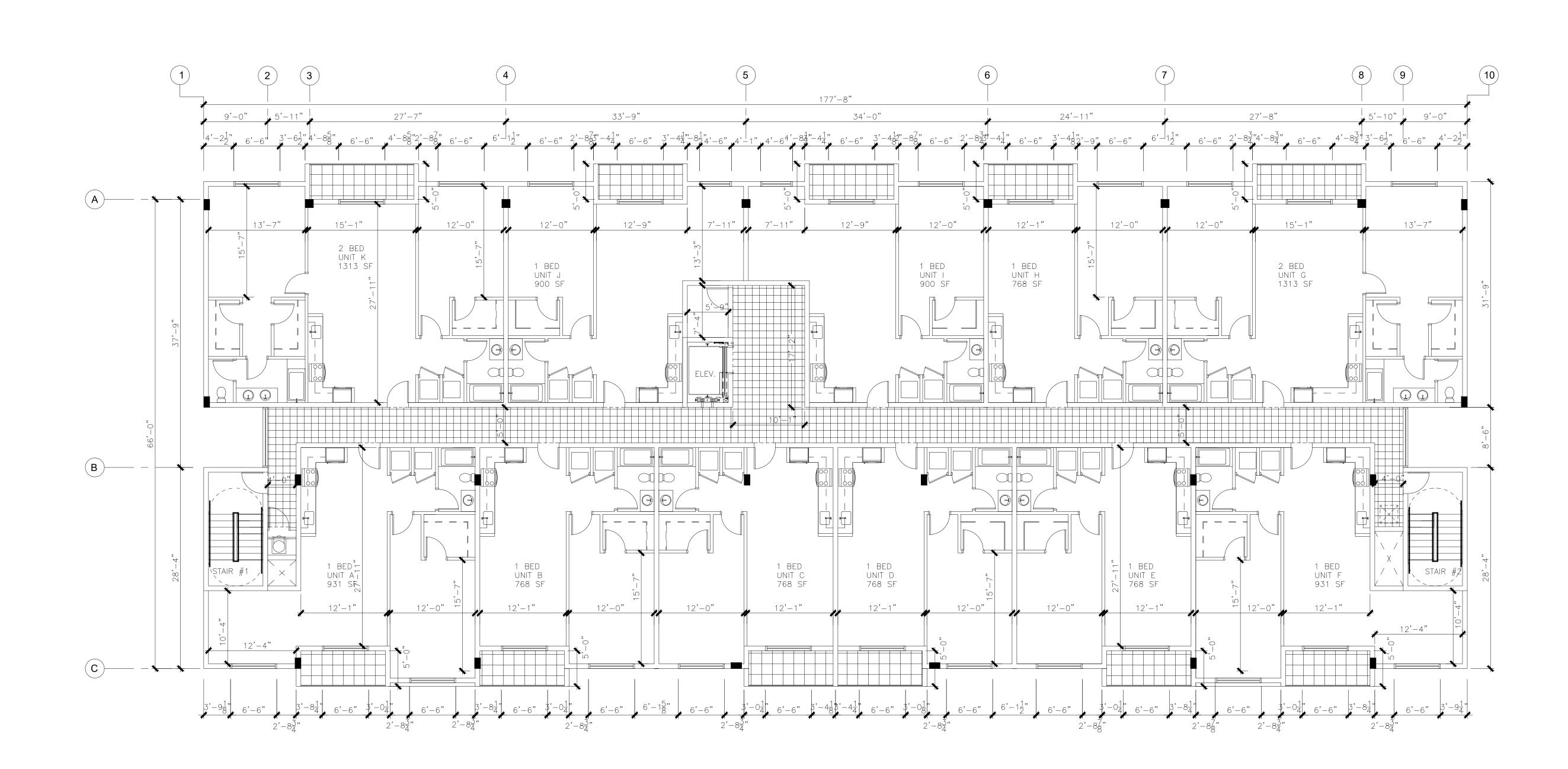
A-100





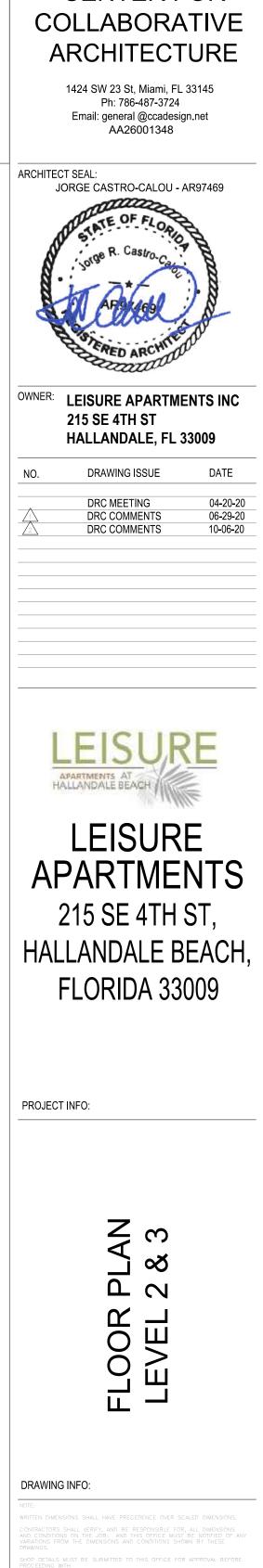


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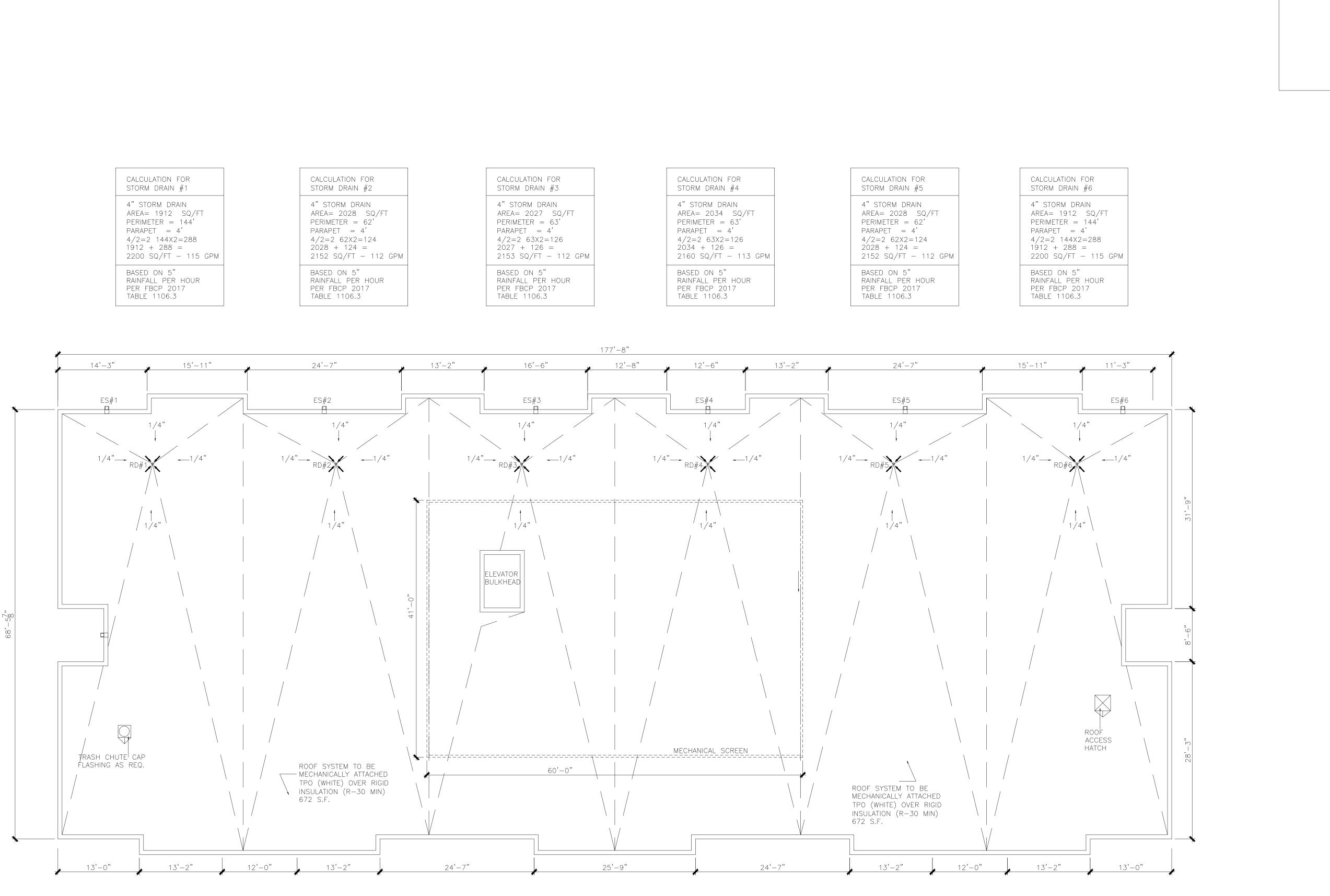
FOR REVIEWING AUTHORITY USE





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Project number	
Drawn by	
Scale	





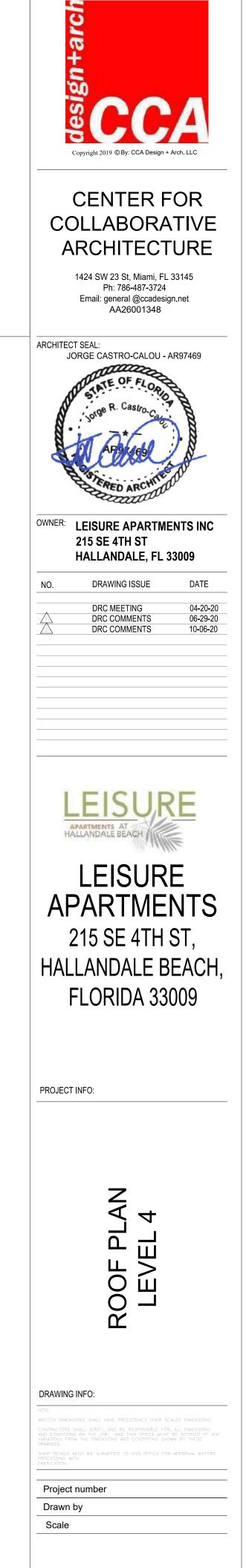
4" STORM DRAIN AREA= 1912 SQ/FT
PERIMETER = 144' PARAPET = 4' 4/2=2 144X2=288 1912 + 288 = 2200 SQ/FT - 115 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

CALCULATION FOR STORM DRAIN #2
4" STORM DRAIN AREA= 2028 SQ/FT PERIMETER = 62' PARAPET = 4' 4/2=2 62X2=124 2028 + 124 = 2152 SQ/FT - 112 GPM
BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3

ATION FOR DRAIN #3	CALCULATION FOR STORM DRAIN #4	CALCULATION FOF STORM DRAIN #5
PRM DRAIN 2027 SQ/FT TER = 63' ET = 4' 63X2=126 + 126 = SQ/FT - 112 GPM	4" STORM DRAIN AREA= 2034 SQ/FT PERIMETER = 63' PARAPET = 4' 4/2=2 $63X2=1262034$ + 126 = 2160 SQ/FT - 113 GPM	4" STORM DRAIN AREA= 2028 SC PERIMETER = 62 PARAPET = 4' 4/2=2 62X2=12 2028 + 124 = 2152 SQ/FT -
ON 5" _L PER HOUR 3CP 2017 1106.3	BASED ON 5" RAINFALL PER HOUR PER FBCP 2017 TABLE 1106.3	BASED ON 5" RAINFALL PER HO PER FBCP 2017 TABLE 1106.3

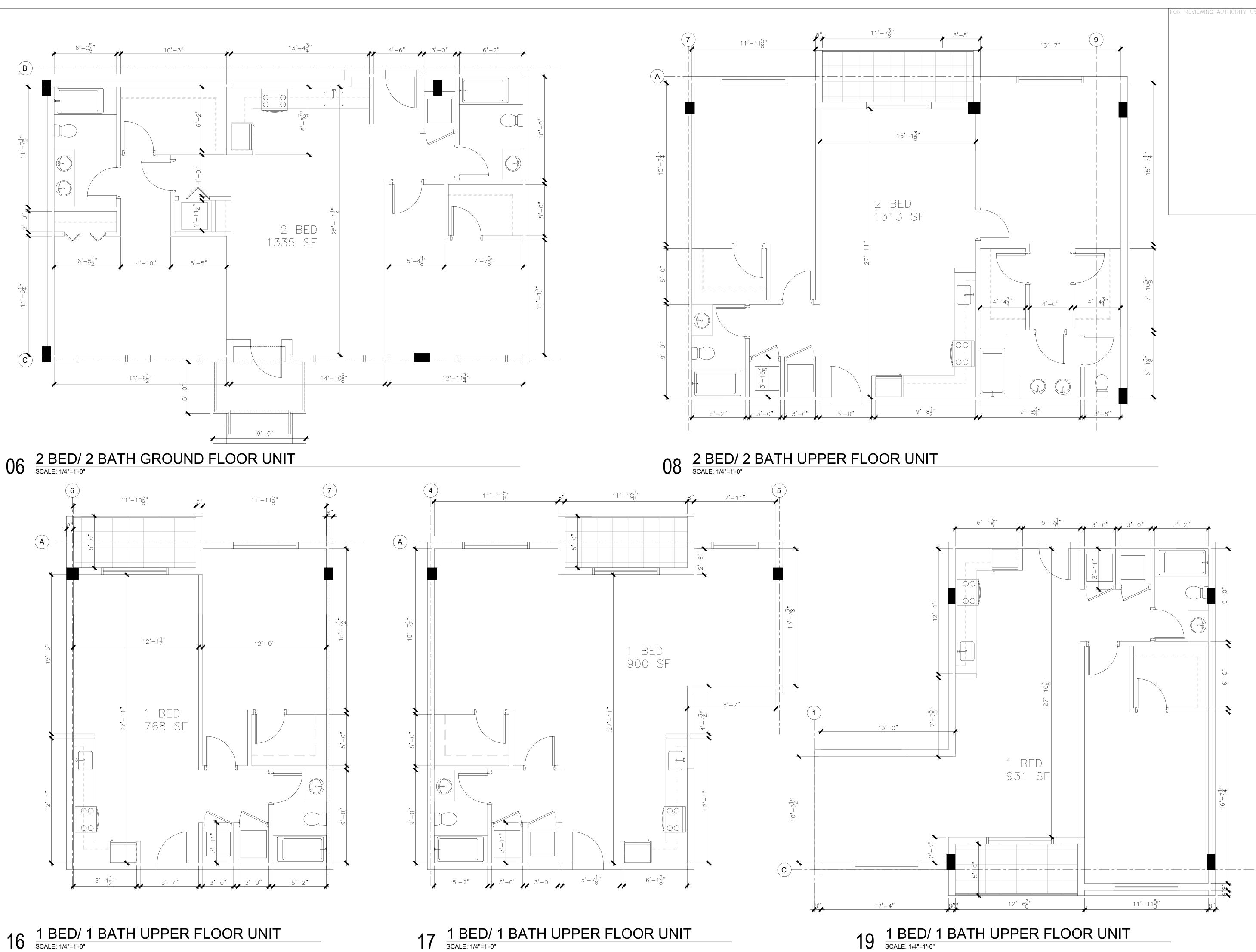
CALCU STORM
4" ST AREA= PERIM PARAP 4/2=: 1912 2200
BASED Rainfa PER F

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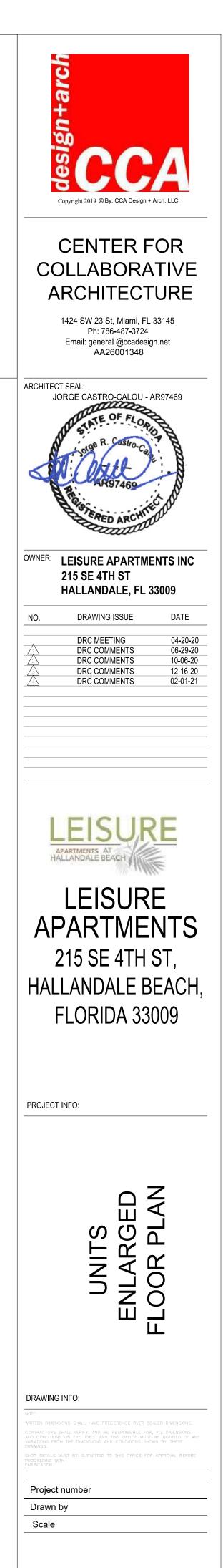








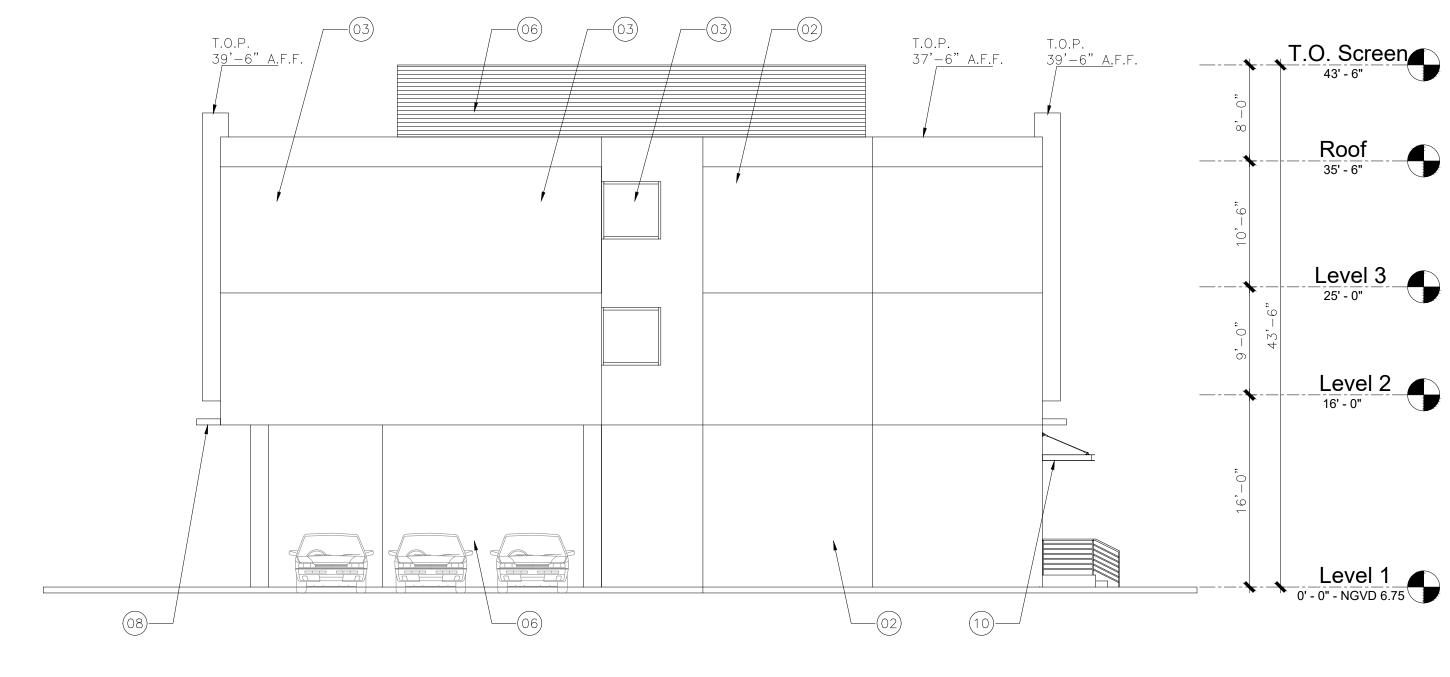
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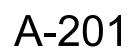
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MOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE ROCCEEDING WITH 'ABRICATION.	
Project number	
Drawn by	
Scale	

VARIATIONS FROM THE DIMENSIONS AND DRAWINGS.	CONDITIONS SHOWN BY THESE
SHOP DETAILS MUST BE SUBMITTED TO PROCEEDING WITH FABRICATION.	THIS OFFICE FOR APPROVAL BEFOR
Project number	
Drawn by	

DRAWING INFO:

PROJECT INFO:

01) NICHIHA SYSTEM – VINTAGEWOOD PANEL

02) SMOOTH STUCCO PAINTED WHITE

03) WHITE FRAME IMPACT FIXED WINDOW

05) WHITE 42" ALUMINUM RAILING (TYP.)

(06) LIGHT BRONZE ALUMINUM LOUVER

(04) white frame aluminum impact sliding windows (typ)

(07) 3 SQ FEET MAX. SIGNAGE OVER GARAGE ENTRANCE

(09) 1'-6" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE

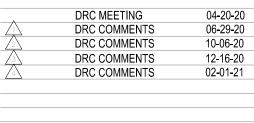
08) SMOOTH STUCCO OVERHANG PAINTED WHITE

(10) DARK GREY METAL AWNING OVER ENTRANCE









HALLANDALE, FL 33009 DRAWING ISSUE DATE NO.

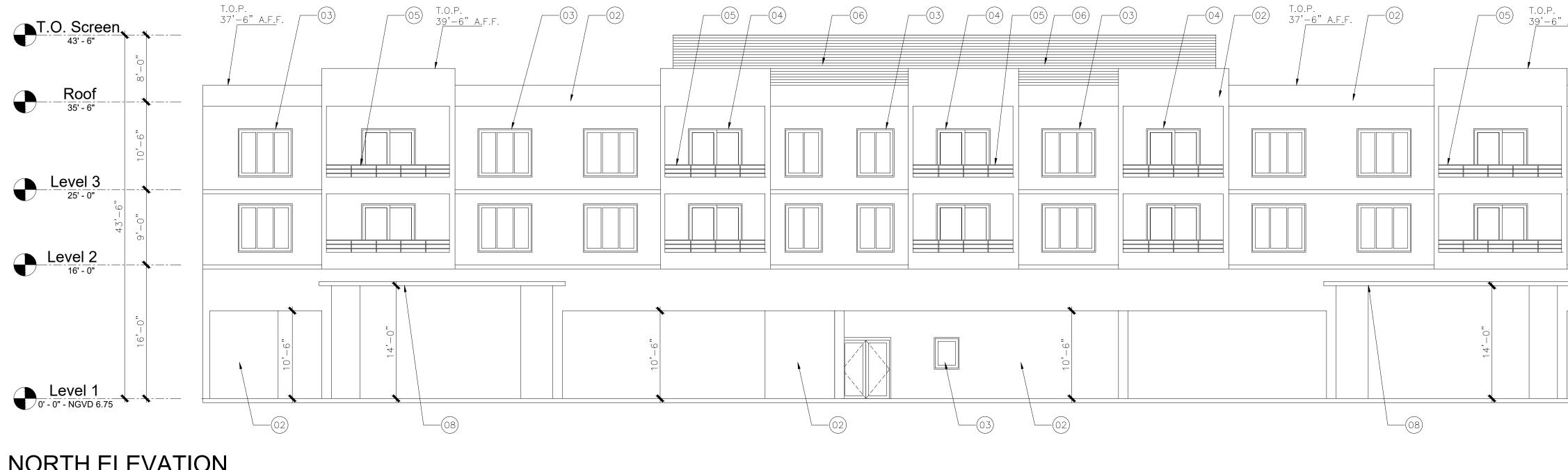
OWNER: LEISURE APARTMENTS INC 215 SE 4TH ST

ARCHITECT SEAL: JORGE CASTRO-CALOU - AR97469

COLLABORATIVE ARCHITECTURE 1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348

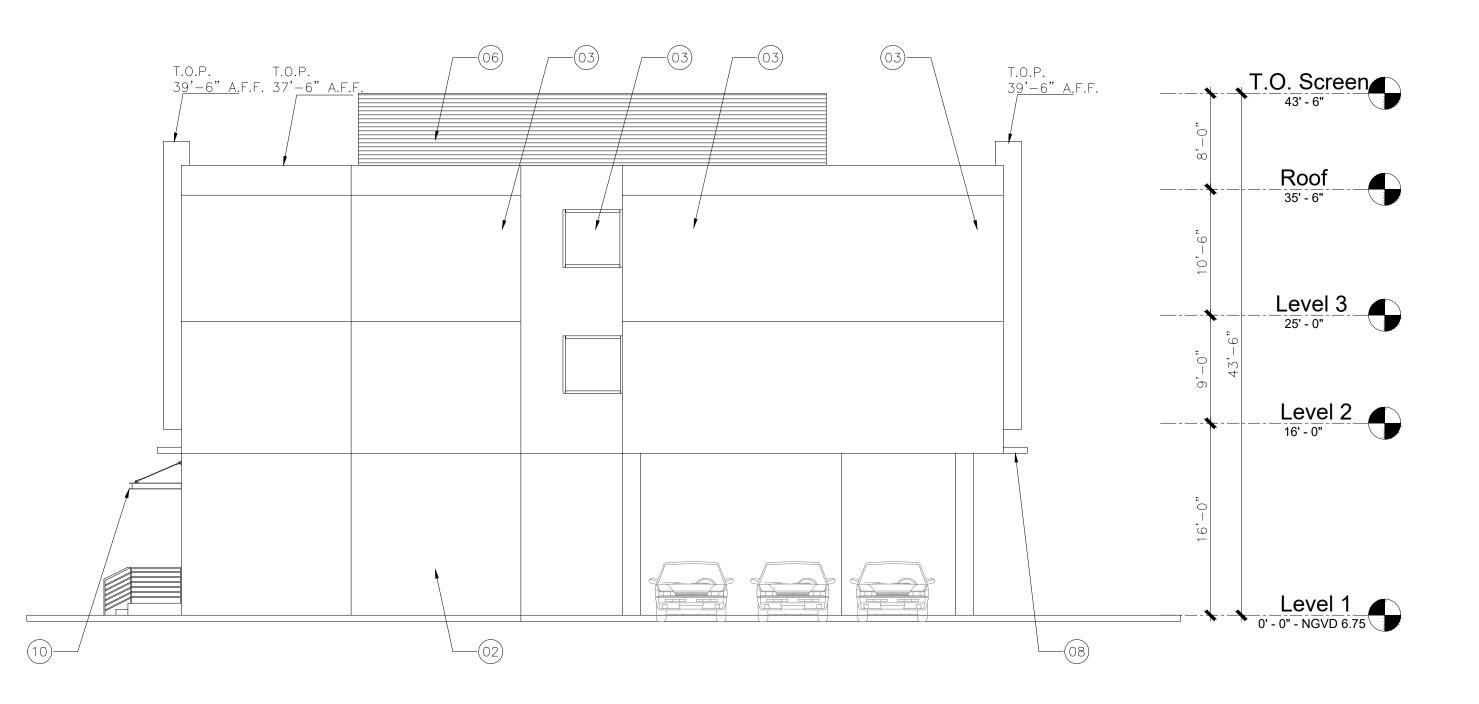
**CENTER FOR** 



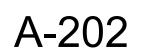




NORTH ELEVATION SCALE: 1/8"=1'-0"







OCEEDING WITH BRICATION.	
Project number	
Drawn by	
Scale	

Project number	
SHOP DETAILS MUST BE SUBMITTED TO PROCEEDING WITH FABRICATION.	THIS OFFICE FOR APPROVAL BEFORE
CONTRACTORS SHALL VERIFY, AND BE R AND CONDITIONS ON THE JOB; AND TH VARIATIONS FROM THE DIMENSIONS AND DRAWINGS.	HIS OFFICE MUST BE NOTIFIED OF A

DRAWING INFO:

EXTERIOR ELEVATIONS

PROJECT INFO:





	DRC MEETING	04-20-20
$\overline{1}$	DRC COMMENTS	06-29-20
2	DRC COMMENTS	10-06-20
3	DRC COMMENTS	12-16-20
4	DRC COMMENTS	02-01-21

	215 SE 4TH ST HALLANDALE, FL 3	3009
NO.	DRAWING ISSUE	DATE
	DRC MEETING DRC COMMENTS	04-20-20 06-29-20
		40.00.00



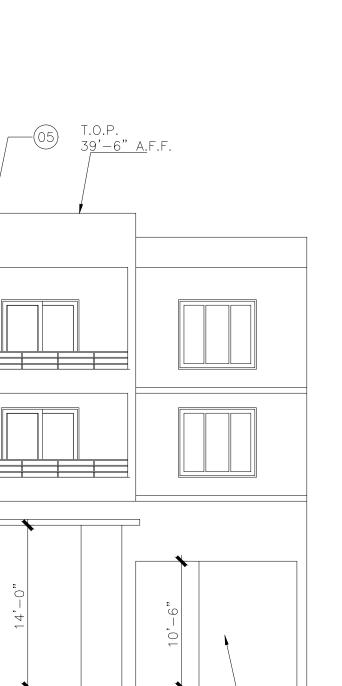




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ARCHITECTURE



-02

01) NICHIHA SYSTEM – VINTAGEWOOD PANEL

02) SMOOTH STUCCO PAINTED WHITE

03) WHITE FRAME IMPACT FIXED WINDOW

05) WHITE 42" ALUMINUM RAILING (TYP.)

06) LIGHT BRONZE ALUMINUM LOUVER

(04) WHITE FRAME ALUMINUM IMPACT SLIDING WINDOWS (TYP)

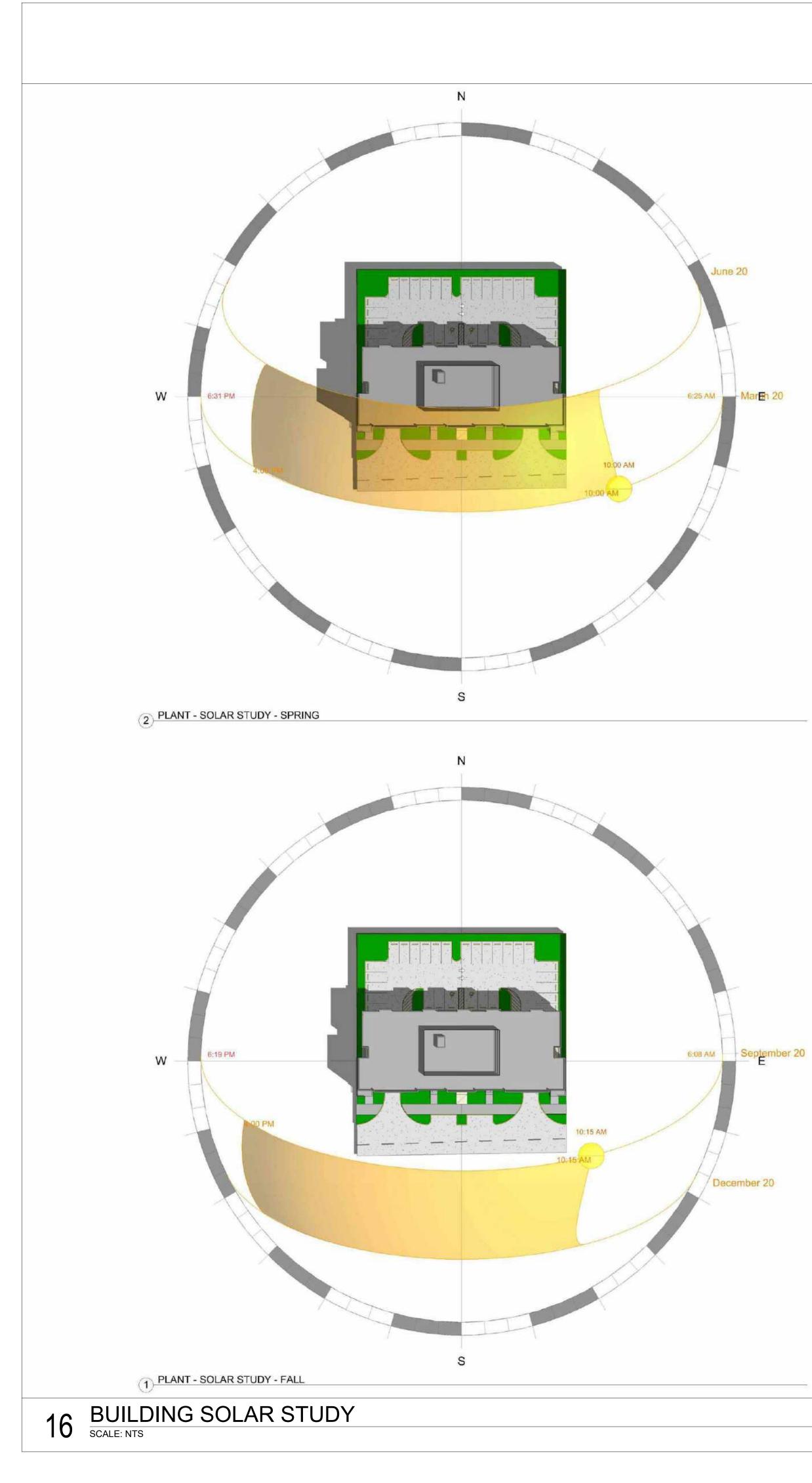
(07) 3 SQ FEET MAX. SIGNAGE OVER GARAGE ENTRANCE

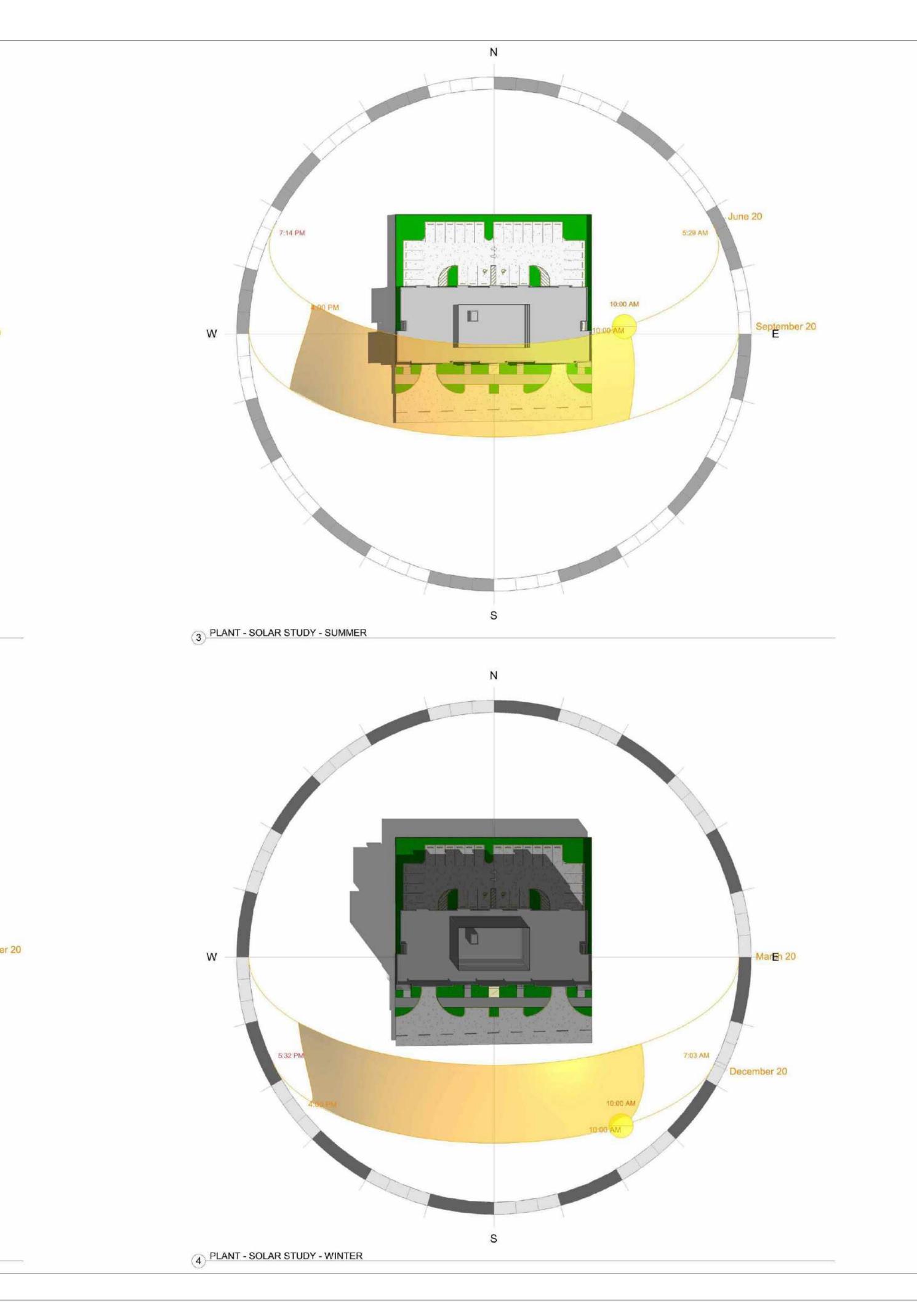
(09) 1'-6" X 7'-6" SIGNAGE OVER LOBBY ENTRANCE

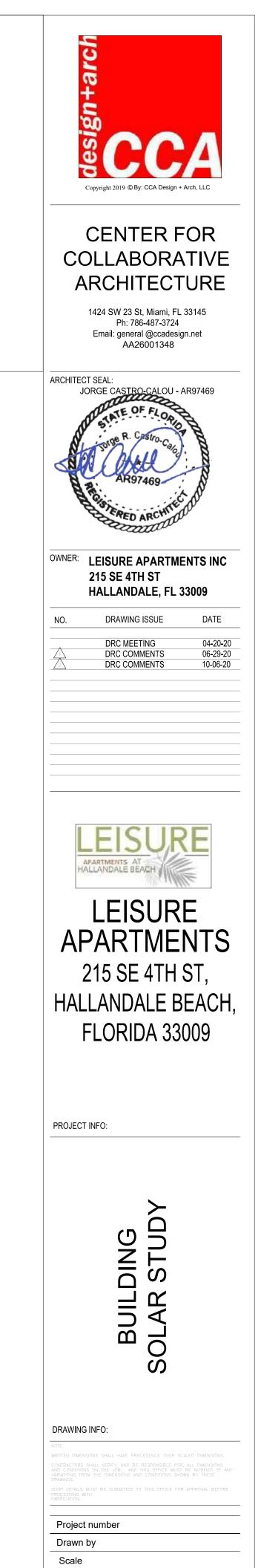
08) SMOOTH STUCCO OVERHANG PAINTED GREY

(10) DARK GREY METAL AWNING OVER ENTRANCE

OR REVIEWING AUTHORITY USE



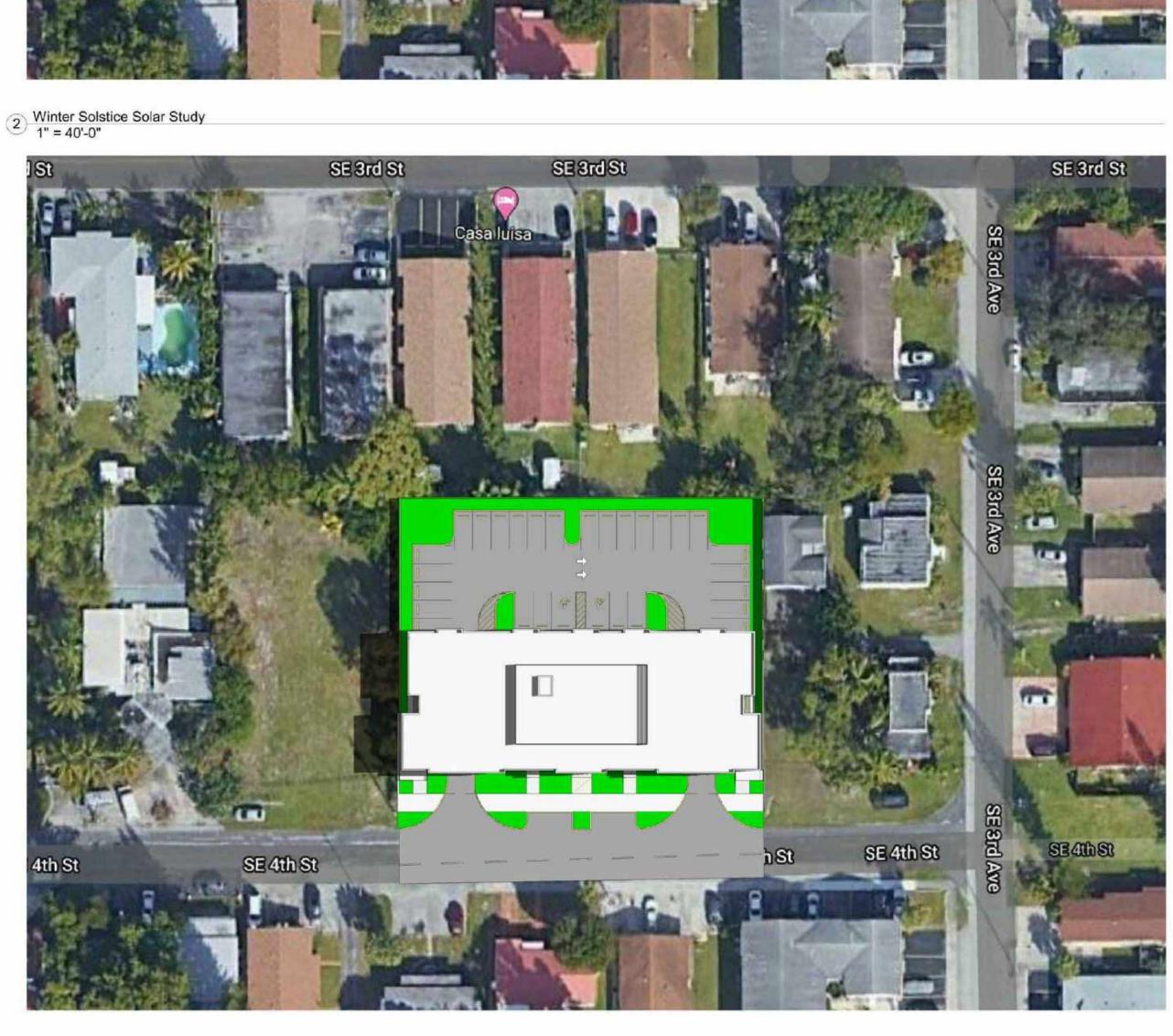






16 BUILDING SOLAR STUDY SCALE: NTS

3 Summer Solstice Solar Study



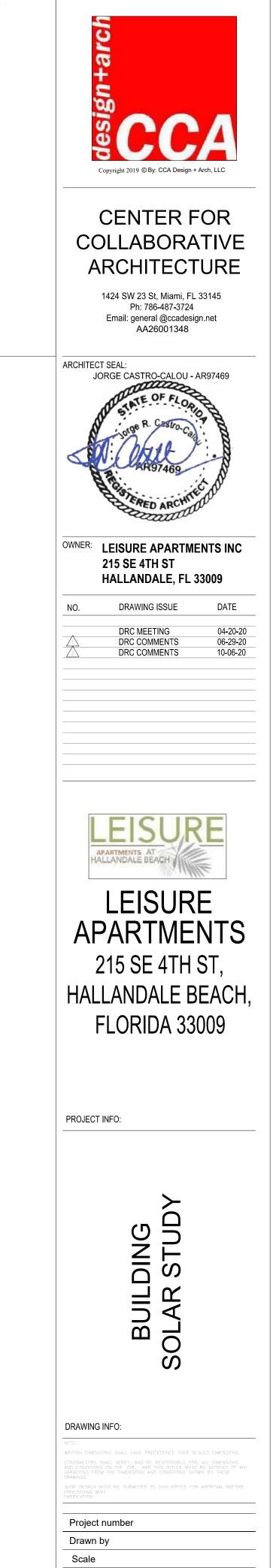


(1) Fall Equinox Solar Study

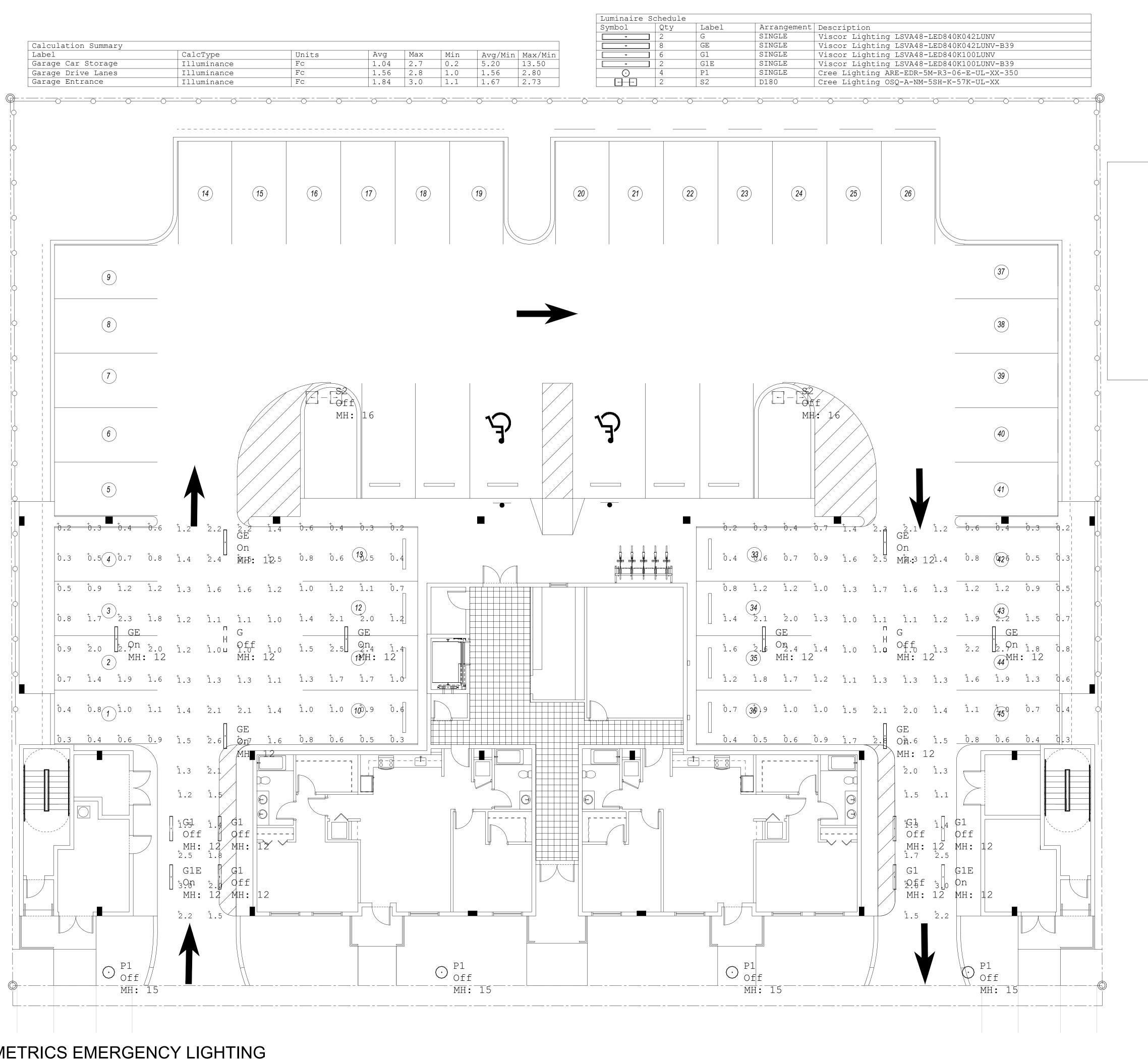


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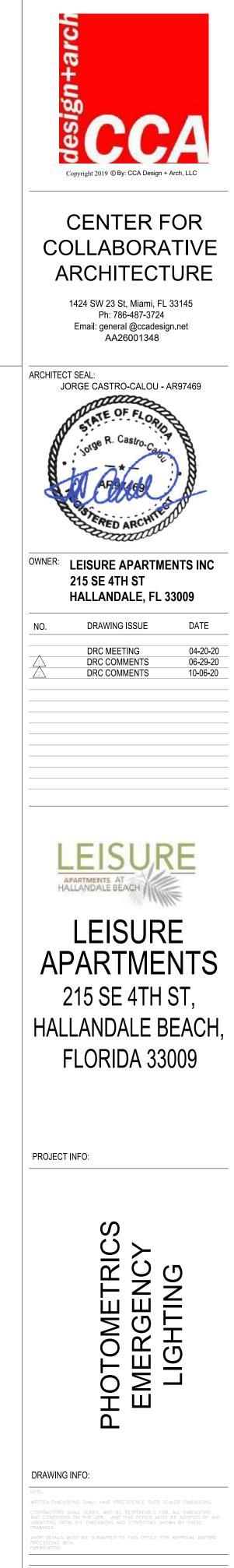


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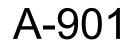


PHOTOMETRICS EMERGENCY LIGHTING SCALE: 1/8"=1'-0"

 $16 \frac{P}{sc}$ 

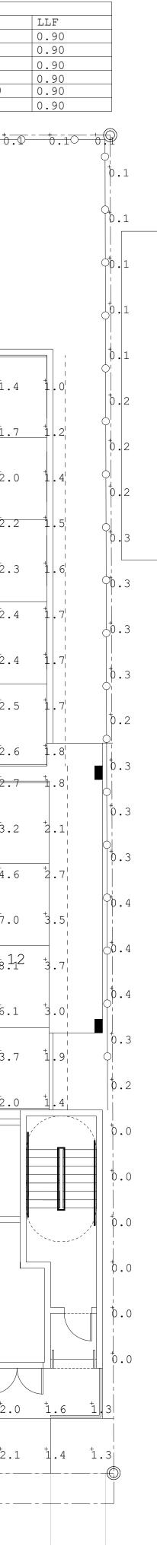


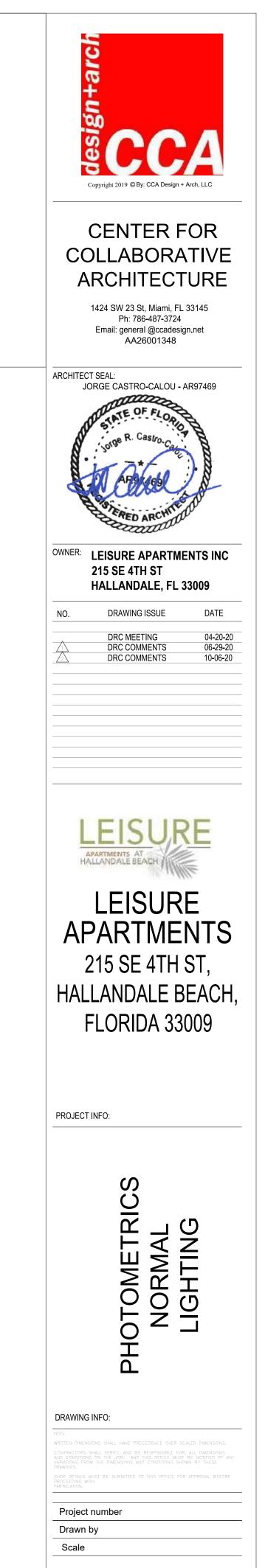
Project number
Drawn by
Scale

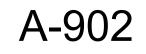


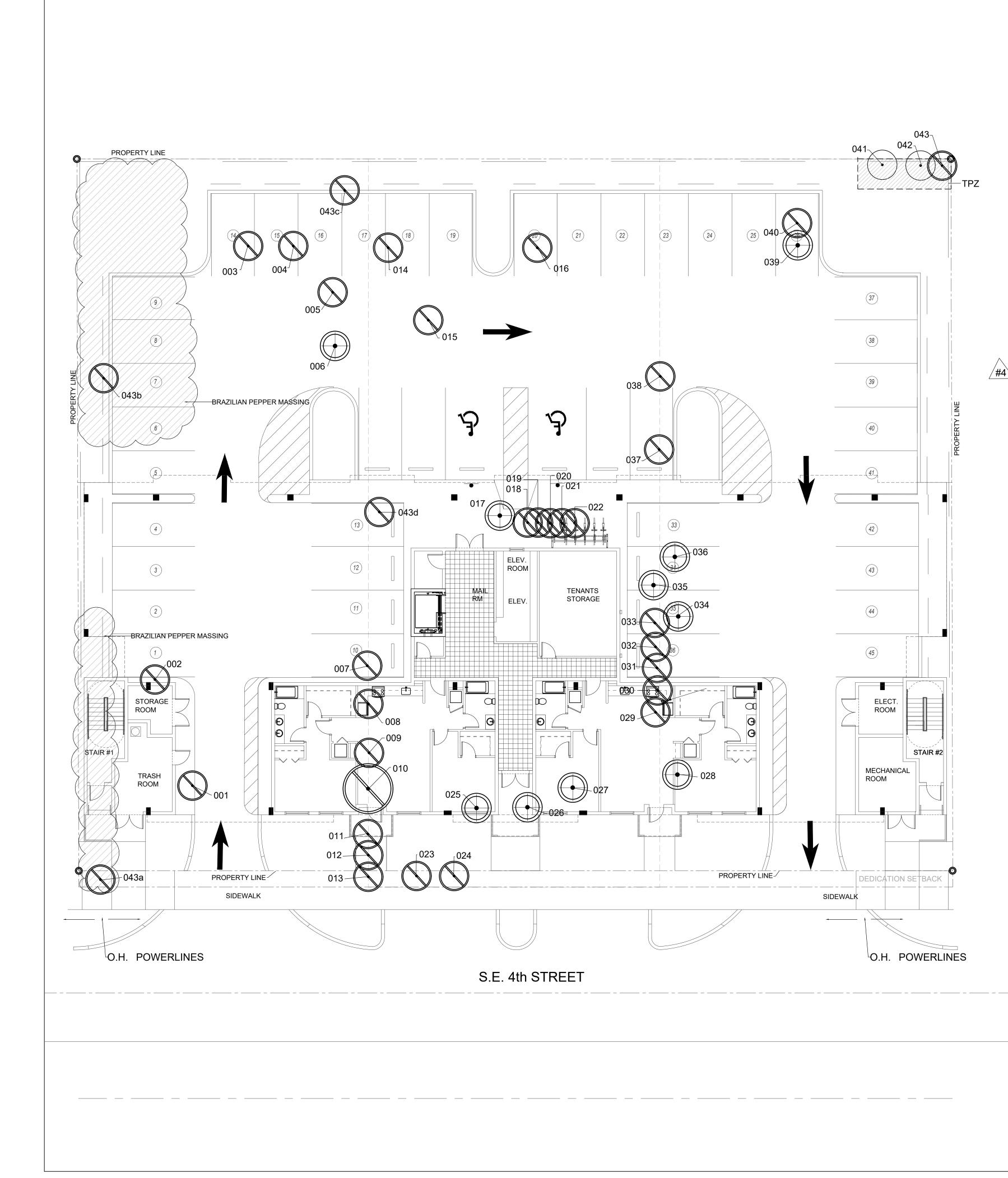
Calculation Summary Label Front Sidewalk Garage Car Storage	CalcType Illuminance Illuminance	Units         Avg           Fc         2.36           Fc         6.48	Max         Min         Avg/Min         Max/Min           3.3         1.3         1.82         2.54           12.2         1.4         4.63         8.71		Label Arrangement Descrip	tion Lighting LSVA48-LED840K042LUNV
Garage Drive Lanes Garage Entrance Interior Sidewalk	Illuminance Illuminance Illuminance	Fc         13.16           Fc         53.94           Fc         3.64	26.3 8.0 1.65 3.29	→     8     0       →     6     0	GE SINGLE Viscor G1 SINGLE Viscor	Lighting LSVA48-LED840K042LUNV-B39 Lighting LSVA48-LED840K100LUNV Lighting LSVA48-LED840K100LUNV-B39
Parking Lot Spill	Illuminance Illuminance	Fc         4.49           Fc         0.19	11.1         1.0         4.49         11.10           0.4         0.0         N.A.         N.A.	· · 4 · · ·	21 SINGLE Cree Lie	ghting ARE-EDR-5M-R3-06-E-UL-XX-350 ghting OSQ-A-NM-5SH-K-57K-UL-XX
$ \bigcirc 1 \\ \bigcirc 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\$	<u>+.2</u> 0 <u>+</u> 0.2 <u>0</u> + <u>0.2</u> 0 <u>+</u> 0.2 <u>0</u> + <u>0</u> .3		30- <u>+</u>	<u>-to.2</u> <u>to.2</u> <u>to.2</u> <u>to.2</u> <u>to.2</u> <u>to.2</u>	<del></del>	$\bigcirc \overline{} $
	1.2 1.4 <sup>†</sup> 1.6	<u>1.6</u> <u>1.7</u> <u>1.7</u> <u>1.6</u>	<u>1.5</u> <del>1.3</del> <del>1.1</del> 1.0 <sup>1</sup> .0	<u>1.0</u> <u>10</u> <u>1.1</u> <u>1.3</u> <u>1.5</u>	<u> </u>	
þ.1	1.8 <sup>2</sup> .1 <sup>2</sup> .3	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	<sup>2</sup> .1 <sup>1</sup> .9 <sup>1</sup> .6 <sup>1</sup> .4 <sup>1</sup> .3	1.3 1.4 1.6 1.9 2.1	$\begin{vmatrix} 1 \\ 2 \\ .3 \\ 2 \\ .4 \end{vmatrix}$ $\begin{vmatrix} 1 \\ 2 \\ .5 \\ 2 \\ .4 \\ 2 \\ .3 \\ .4 \end{vmatrix}$	
	(14) 2.7 $(15)$ (3.1) $(3.4)$	$\begin{pmatrix} 16 \\ 3.5 \\ 3.5 \\ 3.5 \\ 3.5 \\ 3.5 \\ 3.6 \\ 3.6 \\ 3.5 \\ 3.6 \\ 3.5 \\ 3.5 \\ 3.6 \\ 3.5 \\ 3.5 \\ 3.5 \\ 3.5 \\ 3.6 \\ 3.5$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	(20) 1.7 1.9 2.3 2.8 3.2	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	<sup>+</sup> 3.1 2.7
	<sup>+</sup> 3.9 <sup>+</sup> 4.1 <sup>+</sup> 3.8	<sup>+</sup> 3.6 <sup>+</sup> 3.5 <sup>+</sup> 3.8 <sup>+</sup> 4.1	<sup>+</sup> 4.3 <sup>+</sup> 4.0 <sup>+</sup> 3.3 <sup>+</sup> 2.6 <sup>+</sup> 2.3	$\frac{1}{2}.3$ $\frac{1}{2}.6$ $\frac{1}{3}.3$ $\frac{1}{4}.0$ $\frac{1}{4}.3$	<sup>+</sup> 4.1 <sup>+</sup> 3.8 <sup>+</sup> 3.5 <sup>+</sup> 3.6 <sup>+</sup> 3.8	<sup>4</sup> .1 <sup>3</sup> .9
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						5.8 5.0 4.3 4.1 $300$ 2.0 $^{+}6.4$ $^{+}5.4$ $^{+}4.2$ $-\frac{^{+}3.9}{^{-}3.3}$ $\frac{^{+}2.2}{^{-}2.2}$
						$   \begin{array}{ccccccccccccccccccccccccccccccccccc$
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						7.5 $6.5$ $5.0$ $4.4$ $3.6$ $2.4$
	t6.1 <sup>†</sup> 7.6 <sup>†</sup> 8.4 <sup>†</sup> 8.2	7.6 7.1 7.2 6.7	$\begin{bmatrix} \stackrel{\scriptscriptstyle +}{} 6.2 & \stackrel{\scriptscriptstyle +}{} 5.4 \\ \hline \hline \\ \hline $	4.3 <u>5.0</u> 5.2 <u>5.5</u> 6.3	<sup>†</sup> 6.8 7.2 <sup>†</sup> 7.1 7.7 <sup>†</sup> 8.4	$\frac{1}{8.5}$ $\frac{1}{7.5}$ $\frac{1}{6.0}$ $\frac{1}{5.1}$ $\frac{1}{3.7}$ $\frac{1}{2.5}$
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						$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
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$\begin{bmatrix} GE \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ $	G HH: 1+20.9	5.9 <sup>1</sup> 1.9 <sup>GE</sup> <sup>B</sup> .9 <sup>1</sup> 1.2 <sup>1</sup> €.9			GE	$\begin{bmatrix} G & & & & GE \\ & MH & 13.9 & 12_{11.0} & & & 12.9 & 12_{11.3} \\ & & & & & 11.3 & & 12.1 & 12.1 \\ \end{bmatrix}$
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	23.2 <sup>1</sup> 26.3					$\overset{+}{2}6.0$ $\overset{+}{2}3.2$ $\overset{+}{3}8.1$ $\overset{+}{3}6.3$
	59.16 59.5 G1 MH: 12 MH: 1-2					<sup>+</sup> G1 5915 58.7G1 MH: 12 MH: 12 <sup>+</sup> 69.4 <sup>+</sup> 68.7
	G1E G1 6 <sup>MH</sup> : <sup>1</sup> 2 <sup>2</sup> 4 MH: 12					G1 G1 HH: 12 G1E 12
	41.9 42.3					t <sup>4</sup> 2.4 <sup>4</sup> 2.0 t t t t t t t t t t t t t t t t t t t
$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.8 1.7 1.7		$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	<u>+</u> <u>-</u> <u>+</u> <u>+</u> <u>-</u> <u>+</u> <u>+</u> <u>-</u> <u>+</u> <u>+</u> <u>-</u> <u>+</u> <u>+</u> <u>-</u> <u>+</u> <u>+</u> <u>-</u> <u>+</u>	$= \frac{3.0}{2} = 9$ $\frac{1}{2.8}$ $\frac{1}{2.7}$ $\frac{1}{2.8}$	$\begin{vmatrix} 2.7 & 2.9 & 3.2 \\ 2.8 & 2.5 & 2.0 \\ 2.0 & -1 & -1 \\ 2.0 & -1 & -1 \\ 2.0 & -1 & -1 \\ 1 & -1 & -1 \\ 1 & -1 & -1 \\ 1 & -1 & -$
$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.7 <u>1</u> .7 <u>1</u> .7	<sup>†</sup> 1.9 <sup>†</sup> 2.0 <sup>†</sup> 2.1 <sup>†</sup> 2.9	$2.5 \odot \frac{{}^{+}P1}{{}^{2}H1} \cdot \frac{{}^{+}2}{15} \cdot \frac{{}^{+}2.2}{2.1}$	<sup>+</sup> 2.2 <sup>+</sup> 2.3 <sup>+</sup> 2.3 <sup>+</sup> 2.7 <sup>+</sup> 3.3	$\frac{1}{100} \frac{\text{P1}}{\text{MH}^2} \frac{15}{15} \frac{1}{2.9} \frac{1}{2.6} \frac{1}{2.8}$	$\frac{1}{2.7} \frac{1}{3.1} \frac{1}{3.3} \frac{1}{2.5} \frac{1}{MH^2} \frac{1}{15^2 \cdot 1}$

16 PHOTOMETRICS NORMAL LIGHTING SCALE: 1/8"=1'-0"









CITY OF HALLANDALE BEACH TREE DISPOSITION LIST: TREE COMMON NAME/SCIENTIFIC NAME DBH(in) HT(ft) CANOPY(ft) DISPOSITION CONDITION COMMENTS 01 (\*) MAHOGANY/ Swietenia mahogani 17 TO REMOVE FAIR POOR FAIR CARROTWOOD/ Cupaniopsis anacardioides TO REMOVE NORFOLK ISLAND PINE/ Araucaria heterophylla TO REMOVE 20 NORFOLK ISLAND PINE/ Araucaria heterophylla TO REMOVE ARECA PALM/ Dypsis lutescens 10TO REMOVEPOOR20TO BE RELOCATEDFAIR POOR LIVE OAK/ Quercus virginiana ADONIDIA PALM/ Adonidia merrilli TO REMOVE ADONIDIA PALM/ Adonidia merrillii TO REMOVE TO REMOVE FAIF ADONIDIA PALM/ Adonidia merrillii FAIR TO REMOVE TO REMOVE ) BANYAN TREE/ Ficus benghalensis ADONIDIA PALM/ Adonidia merrillii FAIR ADONIDIA PALM/ Adonidia merrillii TO REMOVE ADONIDIA PALM/ Adonidia merrilli TO REMOVE FAIR MANGO TREE/ Mangifera indica TO REMOVE MANGO TREE/ Mangifera indica TO REMOVE MANGO TREE/ Mangifera indica GOOD TO REMOVE TO BE RELOCATED GOOD TO REMOVE FAIR CABBAGE PALM/ Sabal palmetto ADONIDIA PALM/ Adonidia merrilli FAIR FAIR ADONIDIA PALM/ Adonidia merrillii TO REMOVE ADONIDIA PALM/ Adonidia merrill TO REMOVE FAI TO REMOVE ADONIDIA PALM/ Adonidia merrillii FAIR ADONIDIA PALM/ Adonidia merrilli TO REMOVE FAIF ADONIDIA PALM/ Adonidia merrillii TO REMOVE FAIR FAIR TO REMOVE ADONIDIA PALM/ Adonidia merrillii CABBAGE PALM/ Sabal palmetto TO BE RELOCATED GOOD TO BE RELOCATED GOOD TO BE RELOCATED FAIR CABBAGE PALM/ Sabal palmetto CABBAGE PALM/ Sabal palmetto CABBAGE PALM/ Sabal palmetto TO BE RELOCATED GOOD TO REMOVE TO REMOVE ADONIDIA PALM/ Adonidia merrill FAIR FAIR ADONIDIA PALM/ Adonidia merrilli ADONIDIA PALM/ Adonidia merrillii TO REMOVE FAIR TO REMOVE TO REMOVE ADONIDIA PALM/ Adonidia merrilli FAIR FAIR ADONIDIA PAI M/ Adonidia merrillii CABBAGE PALM/ Sabal palmetto TO BE RELOCATED GOOD CABBAGE PALM/ Sabal palmetto TO BE RELOCATED GOOD TO BE RELOCATED GOOD TO REMOVE GOOD CABBAGE PALM/ Sabal palmetto (\*) LIVE OAK/ Quercus virginiana MANGO TREE/ Mangifera indica TO REMOVE CABBAGE PALM/ Sabal palmetto MANGO TREE/ Mangifera indica TO BE RELOCATED GOOD TO REMOVE FAIR FRUIT TREEXNO MITIGATION REQ (-REMAIN- GOOD PROVIDE PROTECTION DURING CONST CABBAGE PALM/ Sabal palmetto -REMAIN-TO REMOVE POOR INVASIVE / NO MITIGATION REG. CABBAGE PALM/ Sabal palmetto CARROTWOOD/ Cupaniopsis anacardioide CARROTWOOD/ Cupaniopsis anacardioides TO REMOVE 43b(\*) MAHOGANY/ Swietenia mahogani TO REMOV TRAVELER PALM/ Ravenala madagascariensis TO REMOVE 43d BRAZILIAN PEPPERTREE/ Schinus terebinthifolia 10 TO REMOVE CONDITION: EXCELLENT=90-100%, GOOD=75-85%, FAIR=60-70%, POOR=40-50%, VERY POOR=10-35%

(\*) TO BE MITIGATED BY PAYING INTO TREE FUND/ AS PER CITY COMMENT.

Mitigation Trees/Palms Total inches needed 275"	Qty	Butanical name	Common Name	Cel	Quality	Height at planting	Drought	Native	Nute
SP		Sabal paimetto	Sabal Pnim	12	Good	Avarage 12"	HIGH	X	Reio
QV CD	1	Quercus virginiana	Live Oak	10"	Fair	20	HIGH	X	Relo
CD	é	Coccoloba diversifolia	Pigeon Plum	31	FL#1 or Better	15 STD	HIGH	X	Now
QV		Quercus virginiana	Live Oak	31	FL#1 or Better	15' STD	HIGH	X	New
QV PE	20	Ptychosperme elegans	Alexander Paim	N/A	FL#1 or Better	15 OA	HIGH	-	New
Inches to mitigate	275								
inches mitigated	175	ţ.		_				_	-
Payment to Tree Fund				_		_			Don
Payment to Tree Fund									Spec

### 275 " REQUIRED FOR REPLACEMENT 175" REPLACEMENT PROVIDED ON LANDSCAPE PLANS (SEE CHARTS ON SHEET L2)

-APPLICANT SHALL PAY THE APPROPRIATE FEE INTO THE CITY'S TREE PRESERVATION TRUST FUND. AS REQUIRED BY CITY. FOLLOW CITY REQUIREMENTS FOR TRUST FUND PAYMENTS. -TREE RELOCATION BOND REQUIRED FOR ACTIVITIES INVOLVING SPECIMEN TREES AS REQUIRED BY CITY.

### City of Hallandale Beach, Fl.

AS PER CITY

-Replacement trees shall be Florida No. 1 quality or better. The diameter of the replacement tree shall be equal to or greater than the diameter of the trees being removed. More than one tree may be utilized for replacement if the aggregate sum of the diameters of the replacement trees is equal to or greater than the diameter of the trees being removed. Each replacement tree shall have the largest diameter commercially available in Dade, Broward and Palm Beach counties for the tree species selected, provided that no replacement tree shall have a diameter of less than three inches. Diameter measurements shall be made at four and one-half feet above the ground. -DBH equal to or greater. -3" min. dbh on replacement trees.

Tree replacement for specimen trees. A tree appraisal will be performed by the city to determine the dollar value of any specimen tree approved by the city for removal pursuant to subsection (d) of this section. This appraisal shall be pursuant to the "Guide for Plant Appraisal, Eighth Edition," as amended by the Council of Tree and Landscape Appraisers.

### TREE DISPOSITION LEGEND:

# 1001 - Tree/Palm Number (TYP)



Existing TREE/PALM TO BE RELOCATED Refer To Landscape Plan for new location (All Sabal Palms on site in conflict with proposed development will be relocated)



Whether noted on plans or not. Symbol may be enlarged to include more than one tree

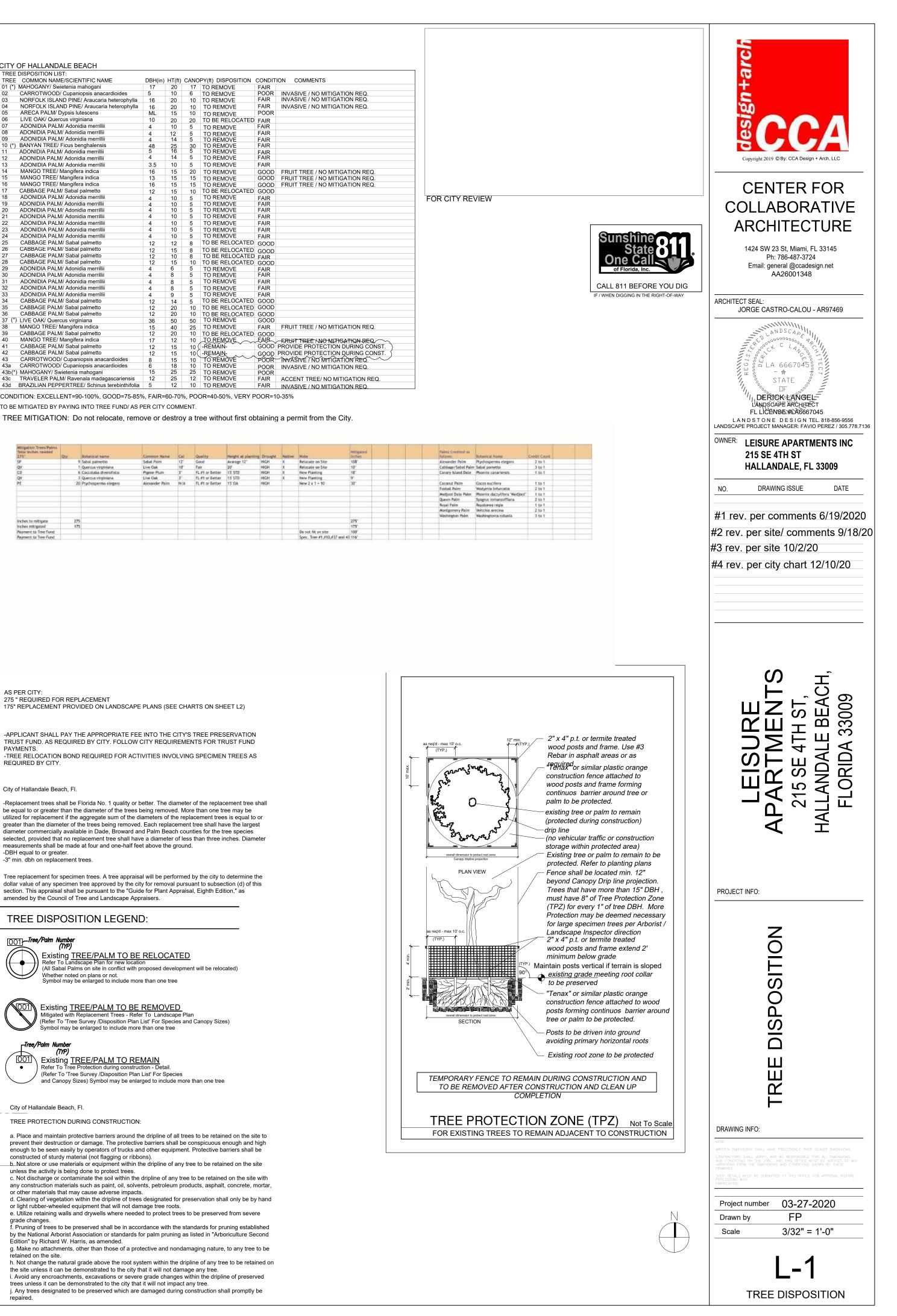


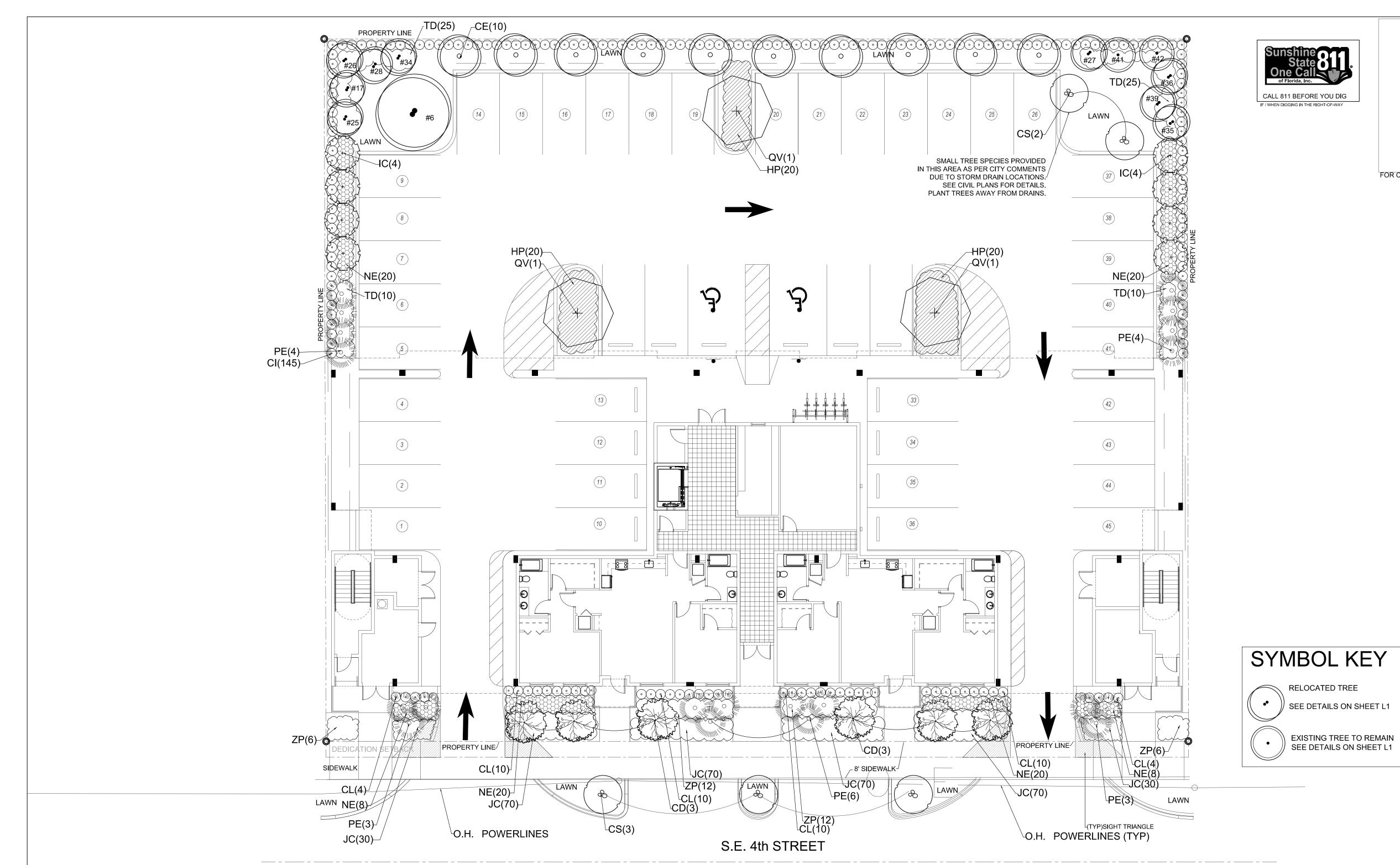
-Tree/Palm Numbe (TYF Existing <u>TREE/PALM TO REMAIN</u> Refer To Tree Protection during construction - De (Refer To 'Tree Survey /Disposition Plan List' For Species and Canopy Sizes) Symbol may be enlarged to include more than one tree

City of Hallandale Beach, Fl.

TREE PROTECTION DURING CONSTRUCTION:

- a. Place and maintain protective barriers around the dripline of all trees to be retained on the site to prevent their destruction or damage. The protective barriers shall be conspicuous enough and high enough to be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy material (not flagging or ribbons).
- b. Not store or use materials or equipment within the dripline of any tree to be retained on the site unless the activity is being done to protect trees. c. Not discharge or contaminate the soil within the dripline of any tree to be retained on the site with
- any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts. d. Clearing of vegetation within the dripline of trees designated for preservation shall only be by hand
- or light rubber-wheeled equipment that will not damage tree roots. e. Utilize retaining walls and drywells where needed to protect trees to be preserved from severe grade changes. f. Pruning of trees to be preserved shall be in accordance with the standards for pruning established
- by the National Arborist Association or standards for palm pruning as listed in "Arboriculture Second Edition" by Richard W. Harris, as amended. g. Make no attachments, other than those of a protective and nondamaging nature, to any tree to be
- retained on the site. h. Not change the natural grade above the root system within the dripline of any tree to be retained on the site unless it can be demonstrated to the city that it will not damage any tree.
- i. Avoid any encroachments, excavations or severe grade changes within the dripline of preserved trees unless it can be demonstrated to the city that it will not impact any tree. j. Any trees designated to be preserved which are damaged during construction shall promptly be repaired





Èite in sqft.	26,389 sf		
	Required	Provided	
SubDistrict: Transit corridor			
% of landscape	1,319.5	4,232	
1 tree per 1500 sqft.			
mitigation caliper/palms	275	175	
Trees		~~	(#5)
Street Trees	5	3	
Site Trees	18	*37	
Total Site Trees (Site+street)	23	42	
Tree Diversity	3	5	
Drought tolerant trees	50%	100%	
Native Trees	50%	99%	
Turf Max 70%	Max sqft. 923.7	sqft. 900	
Hedges/Plants Drought tolerant	30%	56%	

Plant Schedule														
Trees	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Specifications	Credit Equiv.	Notes			
QV		3 Quercus virginiana	Live Oak	3"	FL #1 or Better	15' STD	HIGH	X	3" cal, stem up 4', fg	3				
IC	5	8 Ilex casine	Dahoon Holly	3"	FL #1 or Better	15' STD	HIGH	x	3" cal. , fg	8	\ <b>#5</b> /			
CS		5 Conocarpus erectus 'Sericeus'	Silver Buttonwood	3"	FL #1 or Better	12' STD	HIGH	X	2" cal., STD, 4.5' ct., fg	{ `š	Street Trees(Ov	erhead wire:	s)	
CE	1	0 Conocarpus erectus	Green Buttonwood	3"	FL #1 or Better	15' STD	HIGH	X	3" cal. , fg	10	3			
CD		6 Coccoloba diversifolia	Pigeon Plum	3"	FL #1 or Better	15' STD	HIGH	X	3" cal. , fg	6				
Palms	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Specifications		Notes			
PE	2	0 Ptychosperma elegans	Alexander Palm	FG	FL #1 or Better	15' OA	HIGH		8' ct min, matched hts.	10				
Shrubs	Qty	Botanical name	Common Name	Size	Quality	Height at planting	Drought	Native	Specifications		Notes			
CI	14	5 Chrysobalanus icaco	Red Tip Cocoplum	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc					
CL	4	8 Clusia rosea	Clusia	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc					
HP	6	0 Hamelia patens	Fire Bush	3gal		24"	HIGH	X	24"ht x 24" spr., 2' oc					
TD	7	0 Tripsacum dactyloides	Fakahatchee	3gat		24"	HIGH	х	24"ht x 24" spr., 2' oc					
ZP	3	6 Zamia pumila	Coontie	3gal		2.4**	HIGH	X	24"ht x 24" spr., 2' oc					
JC	34	0 Juniperus chinensis 'Parsonii'	Juniper Parson	1gal		12"	MEDIUM		12" ht, 1 gal. Full, 12" oc	:				
NE	9	6 Nephrolepis exaltata	Boston Fern	3gal		18"	HIGH	X	18" ht x 18" spr., 18" oc					 
Ground Cover	Qty SqFt	Botanical name	Common Name			1	2	24 24	al. Sy			12		1
SOD	90	0 Stenotaphrum secundatum 'Flor	ata St. Augustine 'Flora	itam'										

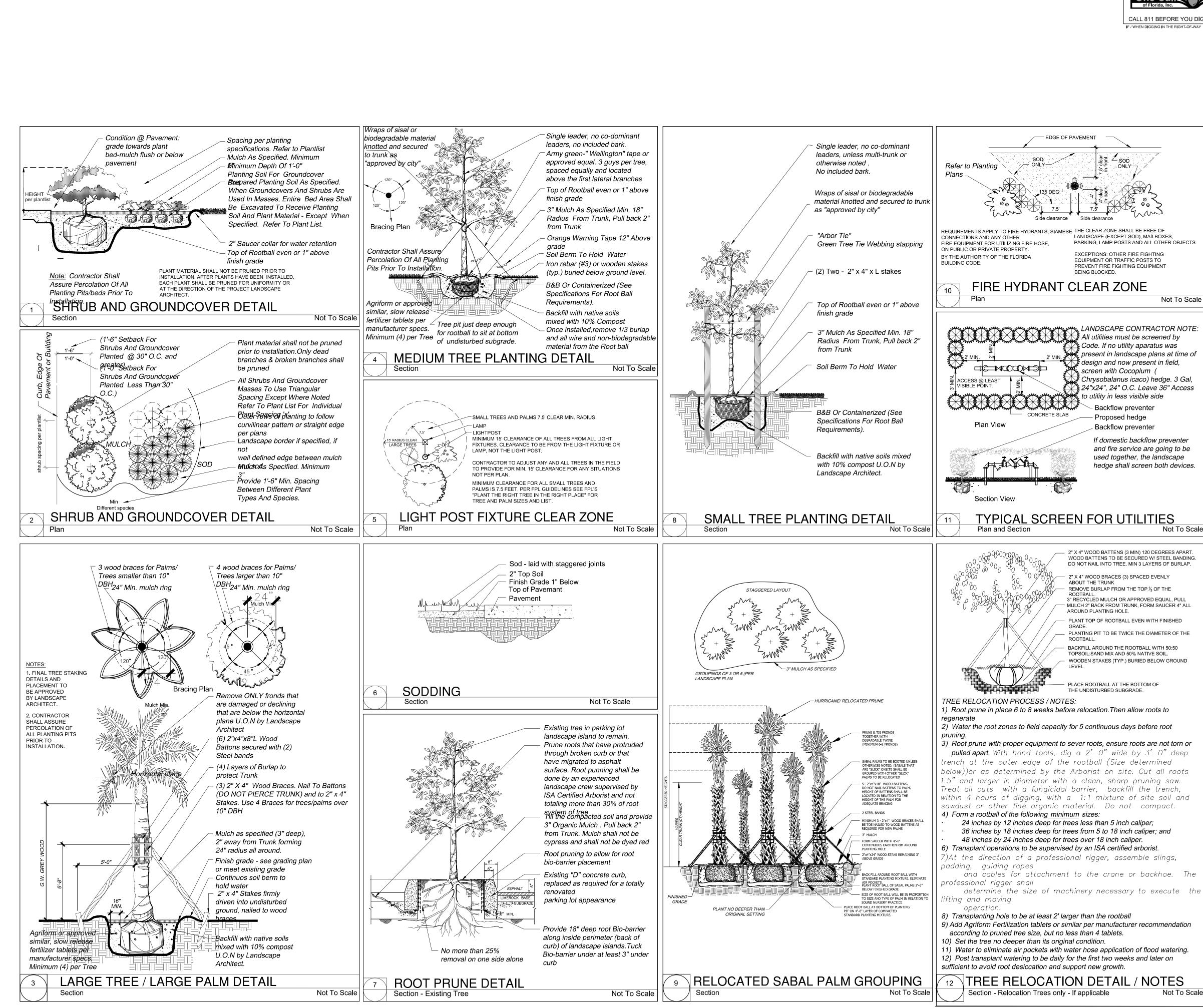
# **Plant Schedule**

FOR CITY REVIEW



	For the second s
	CENTER FOR COLLABORATIVE ARCHITECTURE 1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348
	RCHITECT SEAL: JORGE CASTRO-CALOU - AR97469
            	NO. DRAWING ISSUE DATE 1 rev. per comments 6/19/2020 2 rev. per site/ comments 9/18/20 3 rev. per site/ comments 10/2/20 4 rev. per city chart 12/10/20 5 rev. per street tree # 01/28/21
	LEISURE APARTMENTS 215 SE 4TH ST, FLORIDA 33009 FLORIDA 33009
F -	PROJECT INFO:
	LANDSCAPE PLAN
N	DRAWING INFO: DTE: BITTEN DIVENSIONS STAND INVE ERECTLENCE OVER SOM ED ENDESIONS.
	HIT FIND HUDDES FOR TWO THE CITELET OF RESERVENT FOR FORES SO 452 ORS STALL Y, 47 YO L, HIG CITELET OF ALL OF HIGH SONG DE CONTINUES ON THE DUBLIER AND BE OFFICE MUSS BE ALL OF ANY PROTOTOR FROM THE DUBLIER AND CONTINUES FOR ALL ADDR AVAILSE. DO THERE YIELD AND DE THE OFFICE TO REPORT ALL FOR DO LIDES AND THE DUBLIER OF THE OFFICE TO REPORT ALL FOR DO LIDES AND THE DUBLIER OF THE OFFICE TO REPORT ALL FOR DEFICIENTS
-	Project number         03-27-2020           Drawn by         FP           Scale         3/32" = 1'-0"

LANDSCAPE PLAN



Sunshine State One Call of Florida, Inc.
CALL 811 BEFORE YOU DIG

FOR CITY REVIEW

Not To Scale

Not To Scale

	For the second s
	OLLABORATIVE ARCHITECTURE 1424 SW 23 St, Miami, FL 33145 Ph: 786-487-3724 Email: general @ccadesign.net AA26001348
	215 SE 4TH ST
NO.	DRAWING ISSUE     DATE
	LEISURE APARTMENTS 215 SE 4TH ST, HALLANDALE BEACH, FLORIDA 33009
PROJE	CT INFO:
	PLANTING DETAILS
NOTE: WRITTEN D CONTRACTO AND COND VARIATIONS	NG INFO: MENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DRS SHALL VERIEY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS DIFONS THE DIMENSIONS AND THIS DEFINE MUST BE NOTIFED OF ANY FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE
DRAWINGS.	ILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE G WITH
Proje	vn by FP

PLANTING DETAILS

A. SCOPE

- 1. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.
- B. BIDDING
- 1. See typical planting details sheet for additional planting details and 2. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting his bid.
- Planting plan to take precedence over plant list. 3. Pre-inspections of site required prior to bidding.
- 4. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and plant list the quantities on the plan shall be held valid.
- 5. All labor and material for soil amendments and fertilizer that is required to insure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material, shall be included in the contractor's bid to perform the work represented in this plan set. 6. Bid shall be itemized for possible value engineering.
- 7. Sod shall include price per square foot.
- C. GENERAL LANDSCAPE NOTES
- 1. All landscaping shall be installed according to sound nursery practices. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground. A layer of mulch to a minimum depth of three inches shall be installed in plant beds and around individual trees in turf
- 2. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen.
- 3. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.
- 4. Where there is a discrepancy either in quantities, plant names or specifications between the plan & or plant list, the plan takes precedence.
- 5. The Landscape Contractor shall exercise caution to protect all existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the
- 6. Tree, palm, accent and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to installation. 7. All trees must be pruned as per landscape architect's direction.
- D. PERMITS & REGULATIONS
- 1. Contractor(s) must obtain separate landscape, irrigation & tree elocation/removal permits from the city prior to the issuance of the first building permit for the project. 2. Landscape contractor to call the city Landscape Inspector to
- schedule a pre-construction meeting prior to installation if required.
- E. TREE REMOVAL
- 1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit.
- F. EXISTING TREES & RELOCATION
  - 1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs scarred or destroyed designated to remain will be replaced at the contractor's expense, with same species, size and quality.
- 2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees & plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined. 3. Prune trees to remove damaged branches, improve natural shape
- and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader. 4. Prune existing shrubs to remove damaged branches & improve
- natural shape. 5. Existing trees to remain shall be trimmed per Ansi-A300 standards. Supervision of the trimming shall be performed by an ISA Certified
- Arborist to insure quality work. 6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.
- 7. Prune trees as required / Indicated in walk-through to provide sunlight filtering.
- 8. The plans call for relocation of several plants. High level of care should be exercised to assure that plants are not damaged or traumatized in the process and that they are promptly replanted upon being dug up.
- G. SITE PREPARATION & GRADING
  - 1. Landscape contractor shall loosen & till compacted soils in entire 52 avenue side of front yard and in all other planting areas of the project to provide for proper soil aeration for plant establishment. 2. Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. Plant area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be removed and replaced with native soil having a ph range of 6.5 -7.5, or modified as approved by Landscape Architect.
  - 3. Site preparation shall include the eradication & removal of any weeds, clean-up of any dead material, debris, and rubbish.
  - 4. General site and berm grading to +/-1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the Landscape Contractor. 5. All planting beds shall be free of all rocks 1/2" or larger, sticks,
  - and objectionable material including weeds, weed seeds. All lime rock shall be removed/cleaned down to the native soils.
  - 6. The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. Grade shall be per plans, if not indicated, in any event drainage shall be directed away

- from structures U.O.N. 7. Site preparation shall include the eradication and removal of any
- the specs. 8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as
- "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor
- shall take extra caution to prevent any damage to the trunk, root zones and grade. 9. Final grade within planting areas to be 2" below adjacent paved
- areas or top of curb. 10. All planting beds shall be shaped and sloped to provide proper drainage.
- H. IRRIGATION
- 1. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds
- 2. Landscape contractor to retro-fit automatic lawn irrigation system guaranteeing 100% coverage & maintain a 50% min. overlap to all
- andscaped areas. There shall be no over spray onto sidewalks. 3. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his expense. Water for plant
- establishment should be included in the cost of the plant. 4. All guidelines as outlined by the South Florida Water Management
- District (SWFMD) or water management district with jurisdiction shall be strictly adhered.
- 5. Existing irrigation system shall be retrofitted to comply with those specifications as outlined above.
- I. HARDSCAPE & OTHER MATERIALS 1. Face of trees and palms to be located a minimum of 2' - 0''
- setback from all walkways, walls, and paved surfaces, unless otherwise indicated on the plans.
- J. UTILITIES/CLEARANCES
  - 1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. 2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape architect and Owner.
  - 3. All shade trees to be planted min. of 15' from light poles. Unless otherwise approved in writing by Landscape architect and Owner. 4. Landscape contractor shall contact the county, city and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to
  - underground utilities, and/or construction caused by utility damage, at no cost to the owner. 5. All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by
  - contractor to avoid all utilities, and all other obstructions. 6. If / When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the City's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities
  - prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations. 7. Above & below ground utilities shall be verified & located in the
  - field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans & confirm conflicts between indicated or located utilities & landscape work. The contractor shall then notify the Project Engineer of said conflicts & the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will be adjusted as necessary when in conflict with existing utilities.
  - 8. The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done bv hand.
  - 9. Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.
  - company or other regulating agencies.
  - 11. If / clearance and access shall be provided around all above ground or at grade meters and equipment.
  - 12. Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.
  - 13. Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring the attention of Landscape Architect any conflicts.
- K. LANDSCAPE BACKFILL & SOIL AMENDMENT
  - 1. 6" top soil required around & beneath all root ball. 2. All building construction material and foreign material shall be removed from the planting areas and void replaced with 50/50 mix fill soil or as per specifications on plans.
  - 3. Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
  - 4. Planting soil to be weed free.

Groundcover planting beds: 6" depth planting soil spread in place - throughout.

- Shrub and hedge planting areas: 12" depth planting soil spread in place - throughout.
- Trees, palms, specimen plant material: 30" depth planting soil spread in place -or- to the depth of the root ball or container, whichever is greatest, throughout.
- Building foundations shall be the same for a width of 36" from the building base.
- 6. Do not allow air pockets to form when backfilling. All trees shall be

weeds, clean-up of any dead material and finish grading as per

10. Root barriers shall be installed where required by local utility

N. SOD

spiked in utilizing water and a tree bar.

L. PLANT SIZE & QUALITY

- 1. Plant material shall conform to the standards for grade # 1 or better as given in the latest grades and standards for nursery plants, parts i and ii by the Florida Department of Agriculture and consumer services or to the standards as given in the latest American Standard for Nursery Stock by the American National Standard Institute. 2. All perimeter hedge material shall meet the minimum specified
- heights at the time of planting. 3. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size spread if both specifications given and
- cannot be met. 4. All sizes shown for plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. All trees to be single trunked, unless otherwise noted on the plans.
- 5. All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- 6. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".
- 7. All plant material must meet or exceed the minimum size requirements as specified on the plant list.
- 8. All substitutions must be approved by the Architect and Owner. 9. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings.

All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 & 2 latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms

shall be uniform in size and shape. All materials shall be subject to approval by the landscape architect. The plants furnished shall be normal for the variety and Florida number 1. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

- 10. All containers grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container
- 11. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting
- 12. Root suckers on any tree are not acceptable and must be properly pruned. 13. Contractor shall coordinate with Landscape Architect and Owner to
- obtain prior approval for the selection of the specific specimens of all palms and any trees of more than 6 feet in height.

M. PLANTING NOTES

- 1. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back filled.
- 2. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design. 3. Set trees no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/-1")
- than the finished grade. 4. All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the root balls before planting. Remove all
- bamboo and metal nursery stakes. Remove all tagging tape. 5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding
- 6. All trees and palms shall be staked per accepted standards by the Florida Nurserymen & Growers Association (FNGA) Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- 7. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.
- 8. All trees, new or relocated, to be staked and guyed as detailed. 9. Layout shrubs to create a continuous smooth front line and fill in behind.
- 10. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1'-0'' wider than the spread of roots and 3''deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of excavation. Apply 3" of mulch.
- 12. Groundcover and shrubs to be spaced in a uniform and consistent pattern. 13. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by
- landscape shrubs. 14. Contractor shall not mark or scar trunks in any fashion.

4. All areas disturbed during construction shall be sodded with St. Augustine 'Floratam' unless otherwise noted. Landscape Contractor

to supply & install 2" soil layer 50/50 mix blanket for all new sod

- 5. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All s.f. if noted shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be  $\mid$  R. WATERING damaged during construction.
- 6. Sod shall be of the species indicated on the plans (St. Augustine "Floratam" if not indicated, strongly rooted, free from weed, fungus, insects and disease. Contractor shall sod all areas as indicated on to insure that all new plantings the plans or as directed. Contractor shall be paid by the total sodded area x the unit price submitted (field verified).
- 7. Sod type specified on plant list shall be machine stripped no more than 24 hours prior to laying.
- 8. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.

O. INSPECTION & ACCEPTANCE

- before planting. 2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered
- unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection & approval by the Landscape Architect prior to final installation. 3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner.
- Contractor shall insure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation  $\mid$  T. MAINTENANCE installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.
- 4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.
- 5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.
- 6. To obtain final payment, Contractor must provide release of all mechanic's liens and materiel men's liens.

P. FERTILIZING

- 1. All landscape materials shall be fertilized upon installation. See details sheet. 2. Fertilizer in backfill mixture for all plants shall consist of Milorganite activated sludge mixed with the backfill at a rate of not less than
- 50 lbs. per cubic yard. 3. Fertilizer for trees and shrubs may be tablet form or granular. Granular fertilizer shall be uniform in composition, dry and free-flowing. This fertilizer shall be delivered to the site in the
- original unopened bags, each bearing the manufacturer's statement of analysis, and shall meet the following minimum requirements: 16% nitrogen, 7% phosphorus, 12% potassium, plus iron. Tablet fertilizer (agriform or equal) in 21 gram size shall be applied at the following rates Plant size

agriform tablets (21 grams) 1 gal. 3 gal. 7—15 gal. 1"-6" caliper 2 lbs. /1" caliper

2 per 1" caliper 3 lbs. /1" caliper 6" and larger 2 per 1" caliper

4. "Florida east coast palm special" shall be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk unless otherwise specified.

Q. MULCH

- 1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.
- 2. Shredded approved organic mulch to be used beyond trunk in all
- directions & throughout all hedges & plant material. 3. All trees in sodded areas shall have a clean cut 4' diameter mulch
- ring. Cypress, red, gold and green mulch is prohibited. 4. All proposed trees located within grassed areas shall have a
- minimum three foot mulch ring with a three inch separation from the trunk of the tree.



# 1. A mandatory inspection of the planting bed layout is required

16-7-12

1/4 lb.

1/3 lb.

1/2 lb.

FOR CITY REVIEW

All plant material shall be watered in thoroughly at the time of planting. It is the sole responsibility of the Landscape Contractor receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation s mandatory to insure proper plant development and shall be provided by Contractor as a part of this contract.

S. CLEAN UP The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner. The contractor is responsible for mowing the entire project

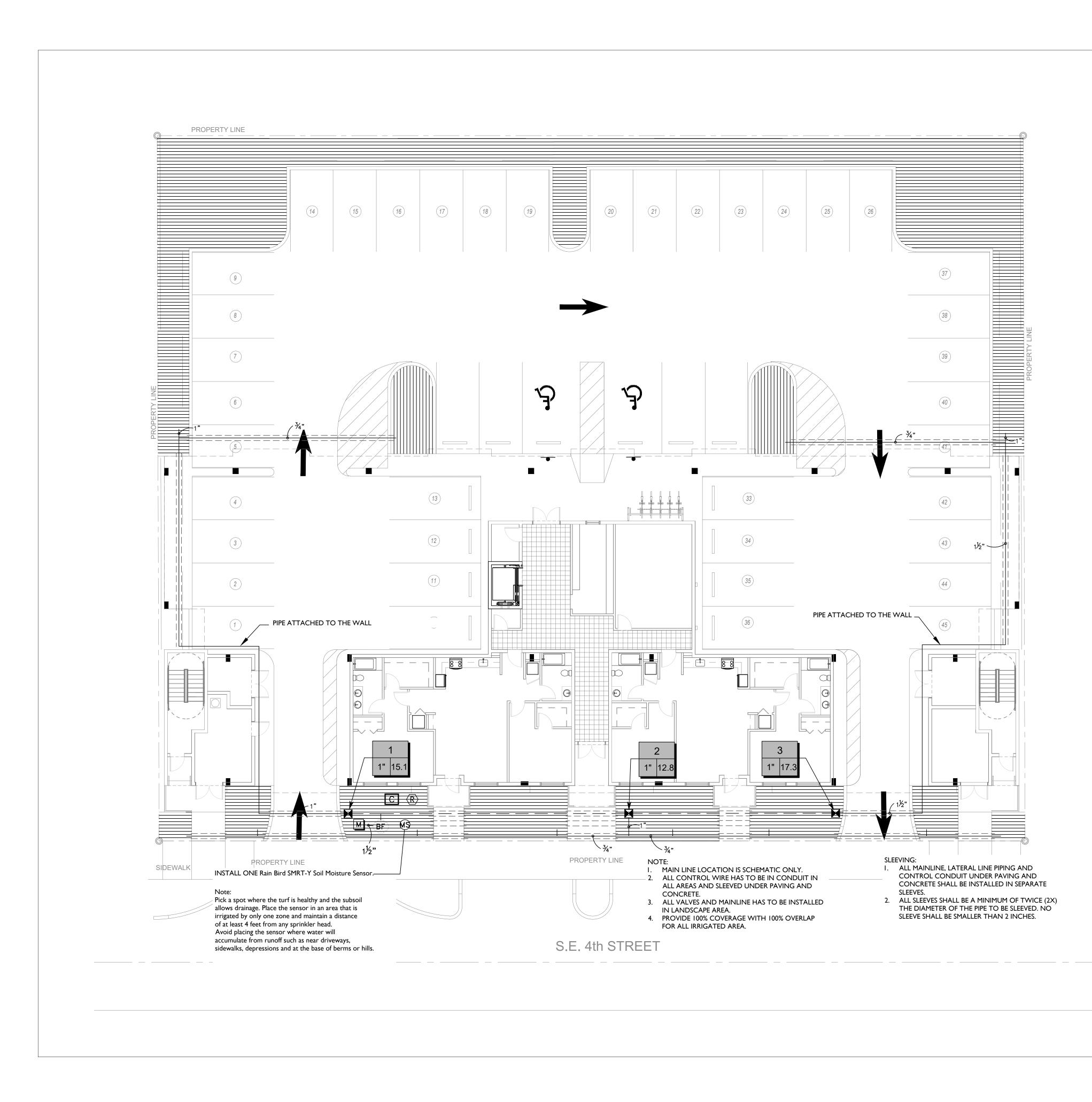
during planting & establishment periods, based on mowing project once a month from October to April, & twice a month from April to October. 3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work

4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste materials or debris caused by his crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.

- Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of
- contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected 3. Trees and shrubs shall be maintained to keep clearance of stop
- signs, safety clearance for visibility at intersection traffic. U. GUARANTEE & REPLACEMENT
- 1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and workmanship for a period of not less than ninety (180) days from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such 180 days with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.
- T. MISCELLANEOUS. 1. Contractor shall be responsible for obtaining and cost of all 2. Contractor to have liability insurance including Owner and
- Landscaper as insured's in excess of \$10,000 as well as workmen's 3. All work to be done in a professional and workmanlike manner. 4. Contractor understands that an important element of the design of this project is symmetry and shall use care and instruct the
- working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner. 5. No change order shall be valid, due or paid unless it is approved
- by Owner in writing in advance. 6. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.

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-	OLLABORATIVE ARCHITECTURE	
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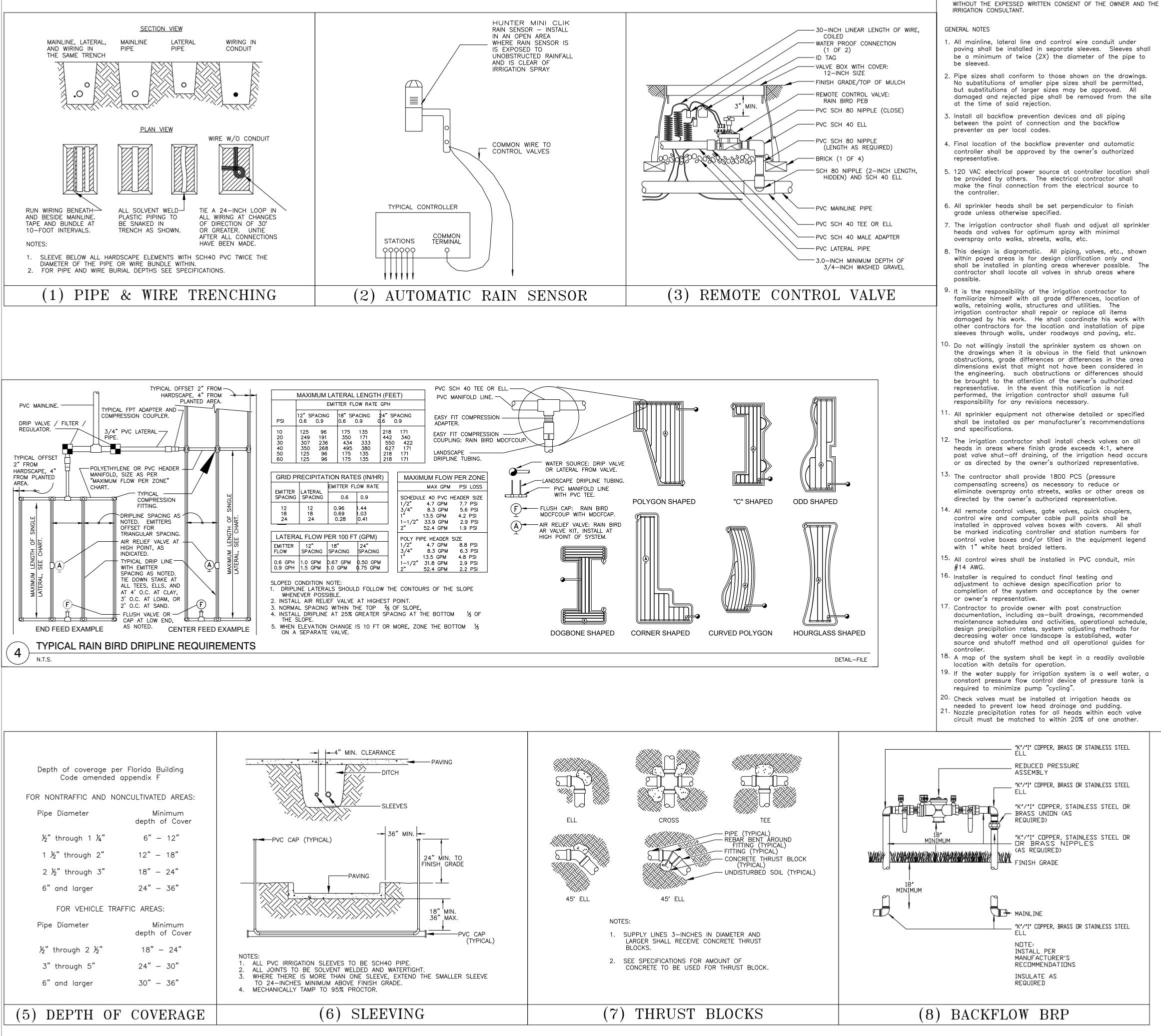
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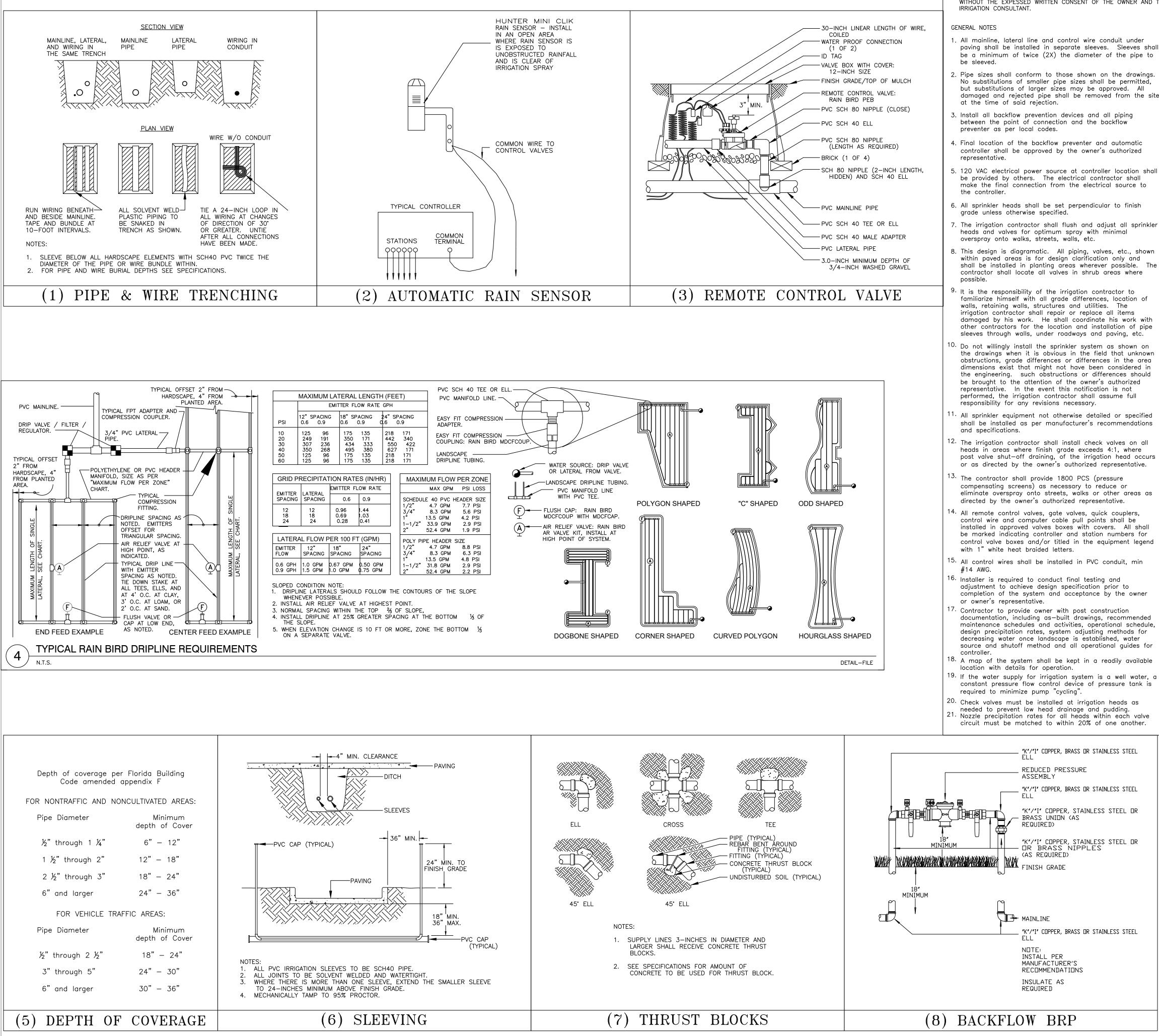


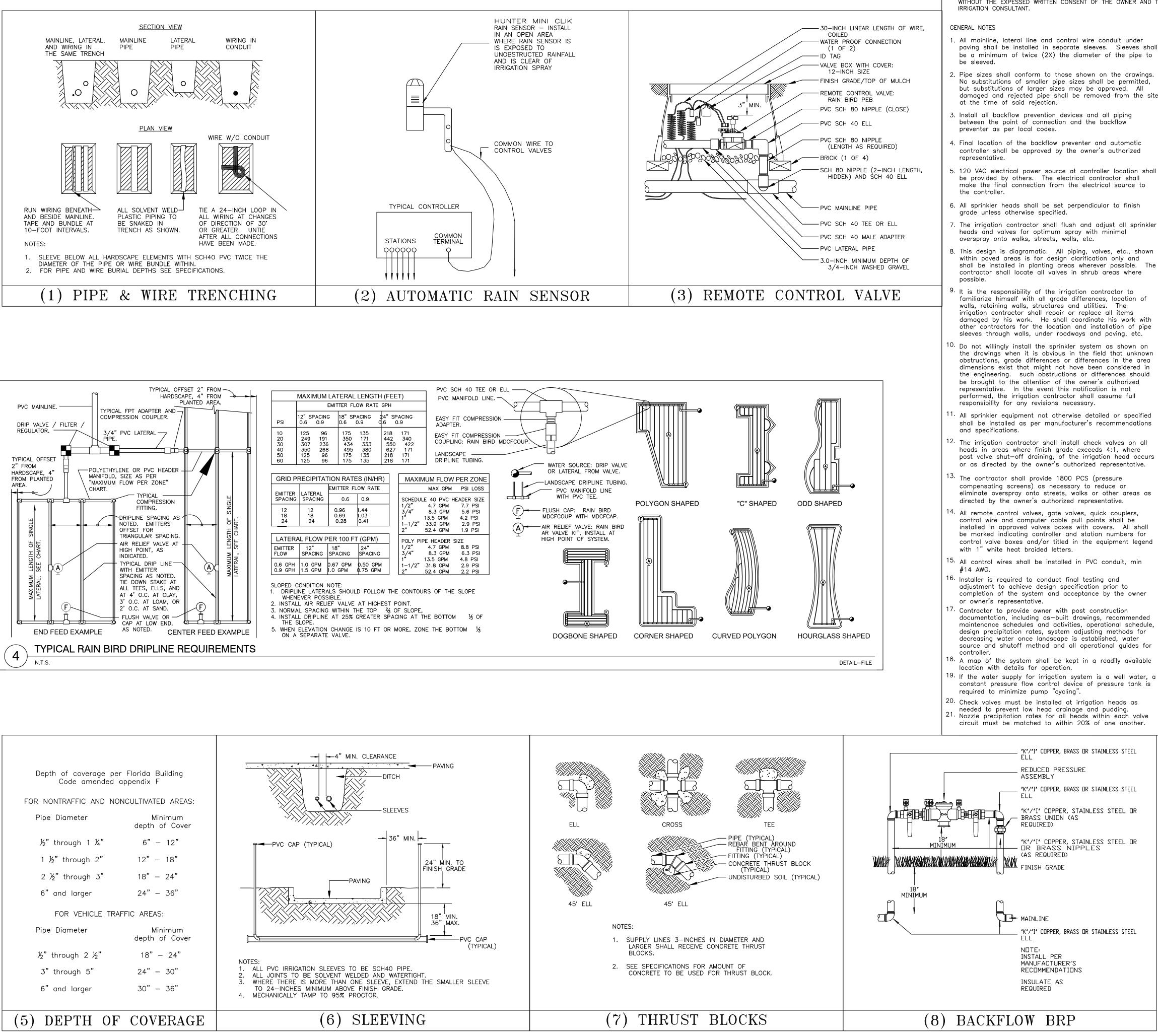


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IRR	NATION CONSULTANT: CONSULTING GABLES INC. C.A. No.28232	IRRIGATION PLAN HEAD LAYOUT
	4437 W FLAGLER ST SUITE #8 CORAL GABLES, FL. 33134 V:(786)220-0083 F:(866)326-7843 services@consultingables.com	DRAWING INFO:         NOTE:         WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.         Constraints shall verify, and be responsible for, all dimensions and constraints of the dimensions and constraints shown by these or available.         More constraints with the dimensions and constraints office for approval before available.         More constraints on the dimensions and constraints shown by these or available.         More constraints on the dimensions and constraints shown by these or available.         More constraints and dimensions and constraints shown by these or available.         More constraints and dimensions and constraints shown by these or available.         More constraints and dimensions and constraints shown by these or available.         More constraints and dimensions and constraints shown by these or available.         More constraints and dimensions and constraints are constraints.         More constraints and dimensions and constraints are constraints.         More constraints.

IRRIGATION PLAN







FOR CITY REVIEW

CONTRACTOR MUST COMPLY WITH FLORIDA BUILDING CODE AMENDED

NO PRODUCT SUBSTITUTIONS OR CHANGES WILL BE ALLOWED

APPENDIX F

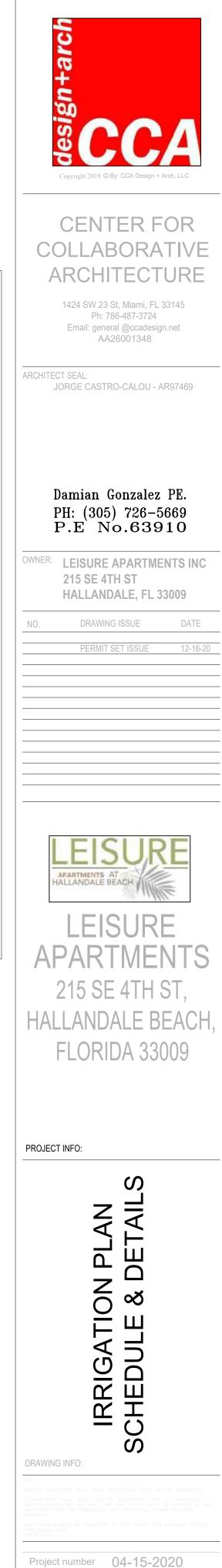
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3/32" = 1'-0"

Drawn by

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# LEISURE APARTMENTS 215 S.E. 4th STREET, HALLANDALE BEACH, FL 33009

# **INDEX TO SHEETS**

DESCRIPTION

SITE PLAN CONCEPTUAL DEMOLITION PLAN

CONCEPTUAL PAVING & DRAINAGE SYSTEM - PLAN

CONCEPTUAL PAVING & DRAINAGE SYSTEM - SECTIONS & DETAILS CONCEPTUAL PAVING & DRAINAGE SYSTEM - DETAILS CONCEPTUAL PAVEMENT MARKINGS & SIGNAGE - PLAN & DETAILS

CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - PLAN CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS CONCEPTUAL FIRE MAIN, WATER & SEWER SERVICES - DETAILS

TEMPORARY POLLUTION PREVENTION - PLAN TEMPORARY POLLUTION PREVENTION - GENERAL NOTES & DETAILS

TEMPORARY POLLUTION PREVENTION - DETAILS

SHEET NUMBER SP 1 OF 1 DP1 OF 1 PD 1 OF 3 PD2 OF 3 PD 3 OF 3 PM1 OF 1 WS1 OF 3 WS2 OF 3 WS3 OF 3 TPP1 OF 3 TPP2 OF 3 TPP3 OF 3

### LEGAL DESCRIPTION:

LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

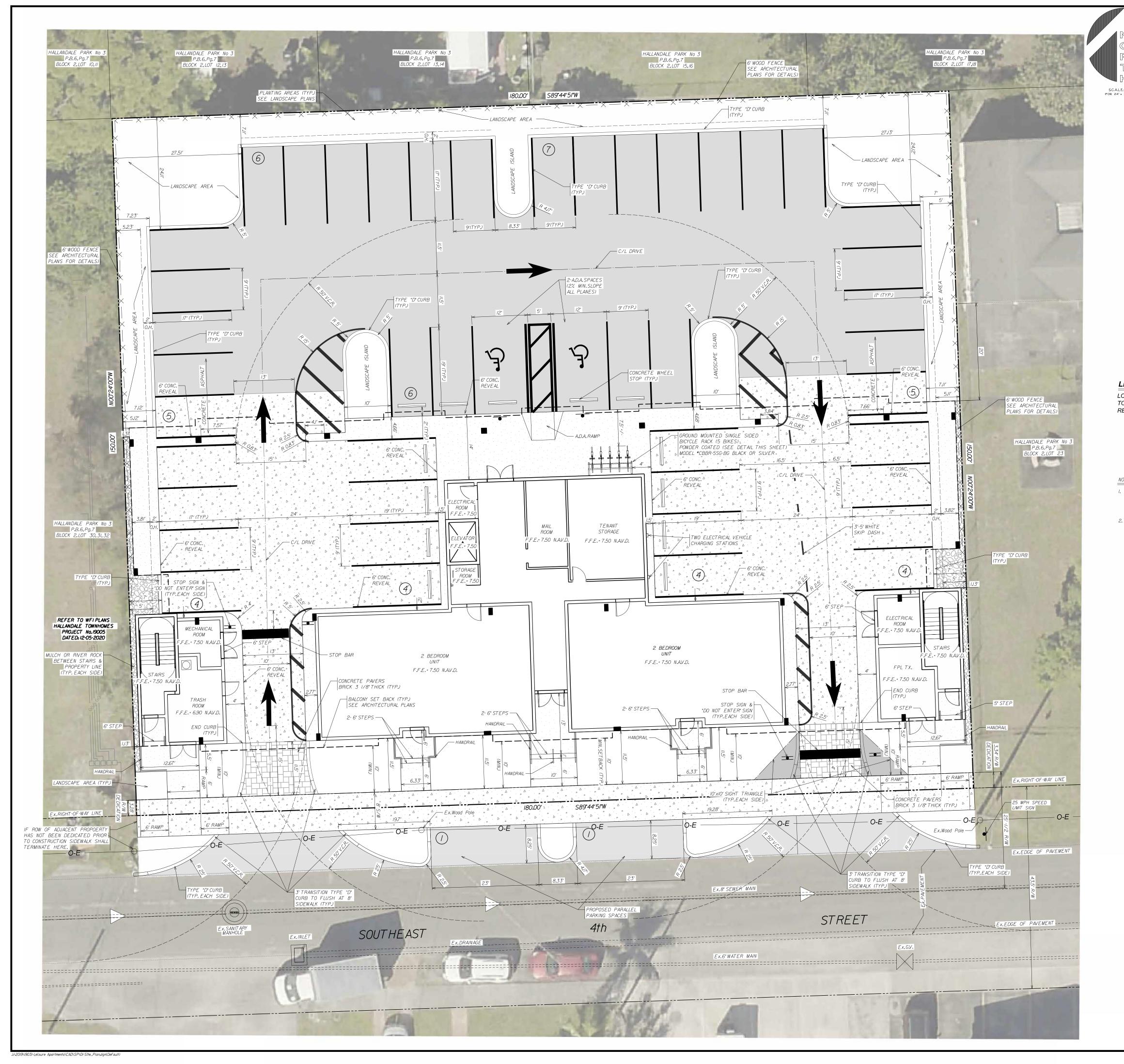
# **GENERAL NOTES:**

- 1. ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D.)
- NFFP COMMUNITY NAME: CITY OF HALLANDALE
- COMMUNITY No.: 125110
- 3. FEMA MAP No.: 12011C0732J *FIRM INDEX DATE: 12-31-2019* FLOOD ZONE: AE 6 & X
- 4. REFRENCE BENCHMARK: BROWARD COUNTY BENCHMARK # 3342, ELEVATION = 8.52 (N.G.V.D. 1929).



Werner T. Vaughan FL. P.E. 45415

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		ABBREVIATIONS
	A.D.A.	AMERICAN DISABILITIES ACT
	P.B.	PLAT BOOK
	Pg.	PAGE
	R/W	RIGHT-OF-WAY
	F.F.E.	FINISHED FLOOR ELEVATION
	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
LE: 1' = 10' 4' × 36' DRAWINGI	S/W	SIDEWALK
	О.Н.	OVER HANG
	B.C.R.	BROWARD COUNTY RECORDS
	<i>R</i> .	RADIUS
	D.I.P.	DUCTILE IRON PIPE
	TYP.	TYPICAL
	R.C.P.	REINFORCED CONCRETE PIPE
	S.R.C.P. O-E	SLOTTED REINFORCED CONCRETE PIPE OVERHEAD ELECTRICAL
	U-E V.C.R.	VERHEAD ELECTRICAL VEHICULAR CONTROL RADIUS
	C.L.F.	CHAINLINK FENCE
		LEGEND
N Lees		
		PROPOSED ASPHALT PAVEMENT
		PROPOSED CONCRETE PAVEMENT
		PROPOSED PAVERS
Model CBBR-5SG-BK   Black		CONCRETE HARDSCAPE SURFACES
siver black		MULCH OR RIVER ROCK
metallic nver finish		PROPOSED TYPE "D" CURB
GROUND MOUNTED SINGLE SIDED	- <u> </u>	PROPOSED ROOF OVERHANG
BICYCLE RACK DETAIL		PROPOSED VEHICLE OVERHANG
		EXISTING PAVEMENT
	· · · · · · · · · · · · · · · · · · ·	
	L J	EXISTING DRAINAGE PIPE
		EXISITING CURB
LEGAL DESCRIPTION:		EXISTING CURB & GUTTER
LOTS 24, 25, 26, 27, 28, & 29, BLOCK 2 OF HALLANDALE PARK No.3 ACCORDING		PROPERTY LINE
TO THE PLAT THEREOF, AS RECORDED PLAT BOOK 6, PAGE 7 OF THE PUBLIC		RIGHT OF WAY LINE
RECORDS OF BROWARD COUNTY, FLORIDA.		SECTION LINE
		EASEMENT LINE
	5	NUMBER OF PARKING SPACES
		EXISTING UTILITY STRUCTURES
NOTES:		
I. FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET, INCLUDING APPLICABLE DETAILS, SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING. SPECIFICS ARE IDENTIFIED WITHIN THE D.R.C. RESPONSES (1st REVIEW) COMMENT NUMBER ONE (1), ENGINEERING DEPARTMENT COMMENTS.		EXISTING FIRE HYDRANT
2. NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT, BASE ROCK AND		EXISTING GATE VALVE

2. NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT,BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS

Exis	TING FIRE	HYDRA	NT	
] EXIS	TING GATE	VALVE		
COLU	'MN			
E DATA - LEISURE	E APART	MENT	S	
	GROSS S	Site Ar	REA	
	100	DE6	%	
			% 100.00%	
20			2.23%	
4	,846	0.111	17.95%	
13	,875	0.319	51.41%	
2 5.4	Second States 1	0.073	11.78%	
PERVIOUS				
4	,232	0.097	15.68%	
			0.96%	
L		1997		
			82.99%	
4,	,490	0.103	17.01%	
26	,389	0.606	100.00%	
ISTRICT REQUIREM	ENTS (TA	BLE 32	-196(a))	
			PROVIDED	
			180 FT	
	,	MAX	26,389 82.99%	
			17.01%	
		142	10 FT Balconies/	
IUFIM			11.5 FT Building	
			1 FT	
			66+ /- FT 100.00%	
		FT	3 STORIES	
			39.62 DU/AC	
7.5%	OR 1,979 S	F	NONE WAVIER REQUESTED	
			WAVIER REQUESTED	
N-SITE PARKING DA	ATA			
UNITS		R	EQUIRED	
18			23	
ROOM 6	1.75 /	UNIT	11	
20			10	
4	0.3 /	UNIT	1	
			45	
			45	
			2	
			2 2	
			5	
			0	
			2	
	RAC - TRA		ORE	
CENTRAL				
CENTRAL		ANSIT C	ORE	
	RAC - TRA	ANSIT C	ORE	
	E DATA - LEISURE COLU E DATA - LEISURE RMOUS SITE DATA - IMPERVIOUS SQ. FT. 26 4 4 33 PERVIOUS 4 5 10 STRICT REQUIREM 5 5,000 MII 9 4 5 10 FT M 50 F 5,000 MII 9 10 FT M 50 F 5,000 MII 9 10 FT M 50 F 5,000 MII 9 10 FT M 50 F 5,000 MII 9 10 FT M 10 FT M 10 FT M 10 FT M 11 STREETS 7 5 2 STOP 5 7.5% 0 0 10 FT M 18 ROOM 6 20	EXISTING GATE           COLUMN           E DATA - LEISURE APART           RMOUS SITE DATA - GROSS S           IMPERVIOUS           SQ. FT.           ACF           26,990           601           4,846           13,875           3,178           PERVIOUS           4,232           258           S/IMPERVIOUS - NET SITE ARI           21,899           4,490           26,389           ISTRICT REQUIREMENTS (TAI           REQUIRED           50 FT MINIMUM           5,000 MIN / 100,000           95% MAX           5% MIN           10 FT MIN / 15 FT MINIMUM           5,000 MIN / 100,000           95% MAX           5% MIN           10 FT MIN / 15 FT MINIMUM           5,000 MIN / 100,000           95% MAX           5% MIN           10 FT MIN / 15 FT MINIMUM           50 DU/AC           7.5% OR 1,979 S           MINTS           RATIC           18           125 /           20           18           120           <	E DATA - LEISURE APARTMENT RMOUS SITE DATA - GROSS SITE AR IMPERVIOUS SQ. FT. ACRES 26,990 0.620 601 0.014 4,846 0.111 13,875 0.319 3,178 0.073 PERVIOUS 4,232 0.097 258 0.006 S/IMPERVIOUS - NET SITE AREA 21,899 0.503 4,490 0.103 5/IMPERVIOUS - NET SITE AREA 21,899 0.503 4,490 0.103 ESTRICT REQUIREMENTS (TABLE 32 REQUIRED 50 FT MINIMUM 5,000 MIN / 100,000 MAX 95% MAX 5% MIN 10 FT MIN / 15 FT MAX 0 FT 10 FT MIN 50 FT MIN 50 CT MINIM 50 CT MIN 10 FT MIN 50 CT MIN 50 CT MIN 10 FT MIN 50 CT MIN	

LEISURE APARTMENTS

LEISURE APARTMENTS, INC. III N.E. 44th STREET, OAKLAND PARK, FL 33334 954-771-7440 FAX: 954-771-0298 www.winnfrad.com APPROVED: EB-0002995 LB-0002995 DESIGNED: WTV DATE: 03/2020 

 4
 REVISED PER DRC COMMENTS - 3rd SUBMITTAL - BLDG.ELEVATIONS

 3
 REVISED FRONT ENTRANCE OF BLDG.PER ARCHITECTURAL PLANS

 2
 REVISED PER DRC COMMENTS - 2nd SUBMITTAL

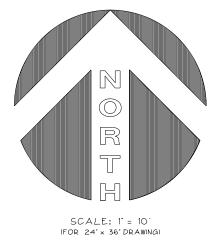
 1
 REVISED PER DRC COMMENTS - 1st SUBMITTAL

 02/01/2021 DATE: 03/2020 DRAWN: JAB 09/03/2020 07/31/2020 CHECKED: GSB DATE: 04/2020 <sup>SHEET</sup> SPLOF I PROJECT 19031 NUMBER 19031 PUBLISHED: 2/1/2021,4:16:42 PM DATE REVISIONS

Werner T. Vaughan FL. P.E. 45415

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# ABBREVIATIONS

A.D.A. P**.**B**.** Pg, R∕W F.F.E. N.A.V.D. S/W 0.Н. B.C.R. R. D.I.P. TYP. R.C.P. S.R.C.P. 0-E V.C.R. C.L.F.

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SEWER



# LEGEND

EXISTING PAVEMENT EXISTING DRAINAGE PIPE EXISITING CURB EXISTING CURB & GUTTER PROPERTY LINE RIGHT OF WAY LINE SECTION LINE

EXISTING UTILITY STRUCTURES

EASEMENT LINE

EXISTING FIRE HYDRANT

EXISTING GATE VALVE

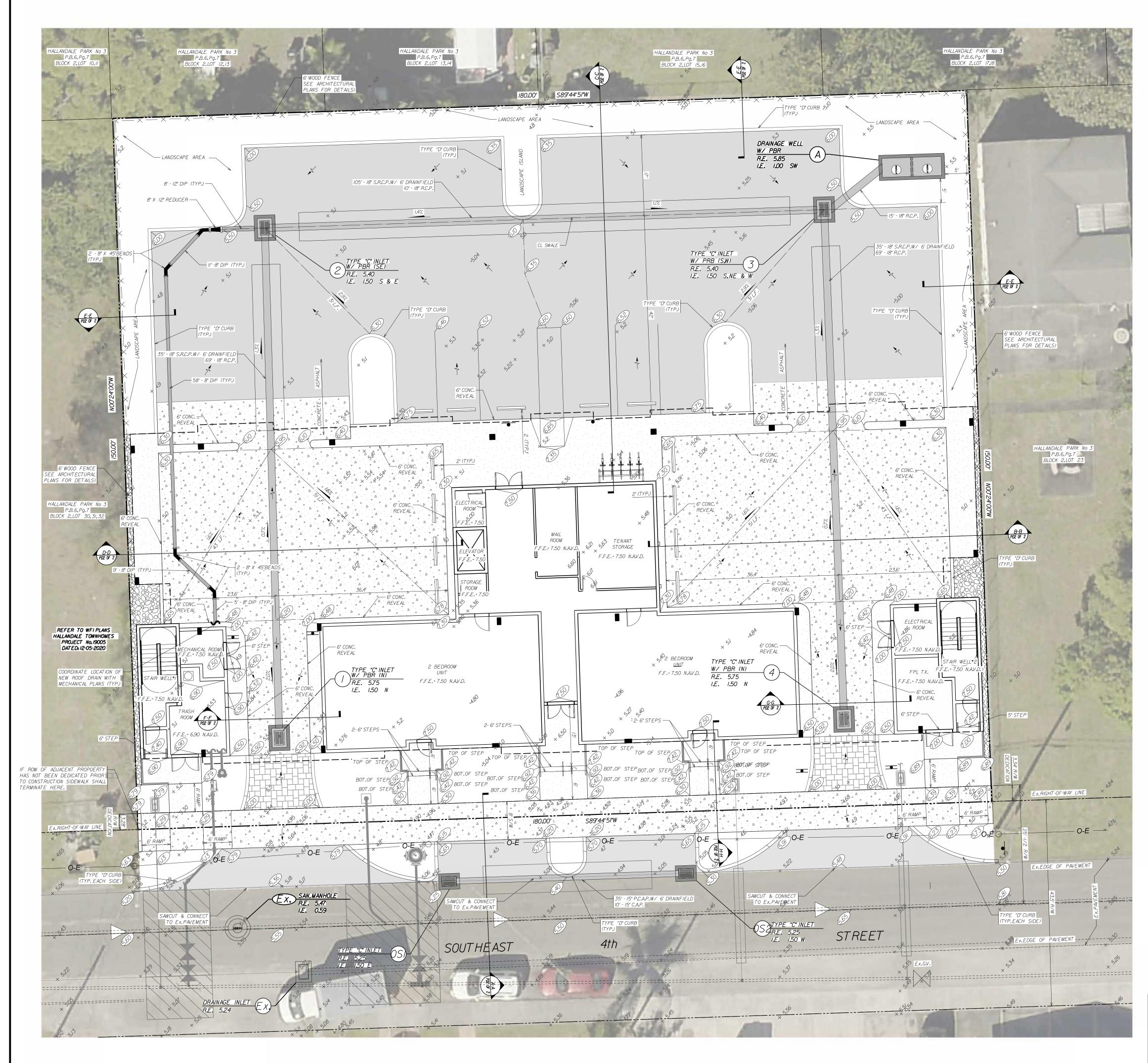
 $\longrightarrow \times \longrightarrow \times -$  EXISTING C.L.F.

I. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND MITIGATION.THE CITY OF HALLANDALE SHALL BE NOTIFIED PRIOR TO THE REMOVAL OF EXISTING WATER METERS AND METERS SHALL BE RETURNED TO CITY UTILITIES.

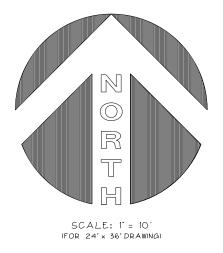
NOTES:

				СО	NCEPTUAL PL	_ DEMOLI .AN	TION	
			L		URE AN			
			ENGI	NEER	<b>GHAN</b> 185 - PL 186, fl 33334	ANNER	rs • sl	<b>EY, INC.</b> URVEYORS www.winnfrad.com
		DESIGNED:	WTV	DATE:	03/2020	APPROVED:		EB-0002995 LB-0002995
		DRAWN:	AMF	DATE:	03/2020			
- Ist SUBMITTAL	06/26/2020	CHECKED:	GSB	DATE:	04/2020	PROJECT		SHEET
REVISIONS	DATE	PUBLISHED: 2	2/1/2021,1:	21:30 PM		NUMBER	19031	DPIOF I

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9031-Leisure Apartments\CAD\SP\03-PD



ABBREVIATIONS								
A.D.A.	AMERICAN DISABILITIES ACT							
A.D.A. P.B.	AMERICAN DISABILITIES ACT PLAT BOOK							
Pg.	PAGE							
R∕W	RIGHT-OF-WAY							
F.F.E.	FINISHED FLOOR ELEVATION							
N.A.V.D. S/W	NORTH AMERICAN VERTICAL DATUM SIDEWALK							
57 W О.Н.	SIDEWALK OVER HANG							
B.C.R.	BROWARD COUNTY RECORDS							
R.	RADIUS							
DJ.P.	DUCTILE IRON PIPE							
TYP. R.C.P.	TYPICAL REINFORCED CONCRETE PIPE							
s.r.c.P.	SLOTTED REINFORCED CONCRETE PIPE							
0-E	OVERHEAD ELECTRICAL							
V.C.R.	VEHICULAR CONTROL RADIUS							
C.L.F.	CHAINLINK FENCE							
	LEGEND							
	PROPOSED ASPHALT PAVEMENT							
	PROPOSED CONCRETE PAVEMENT							
	PROPOSED PAVERS							
	CONCRETE HARDSCAPE SURFACES							
$\begin{array}{c} 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 $	MULCH OR RIVER ROCK							
	PROPOSED TYPE "D" CURB							
	PROPOSED ROOF OVERHANG PROPOSED VEHICLE OVERHANG							
	PROPOSED VEHICLE OVERHANG EXISTING PAVEMENT							
: :::::::::::::::::::::::::::::::	EXISTING PAVEMENT EXISTING DRAINAGE PIPE							
· · · · · · · · · · · · · · · · · · ·	EXISTING DRAINAGE PIPE EXISITING CURB							
	EXISTING CURB & GUTTER							
	PROPERTY LINE							
	RIGHT OF WAY LINE							
	SECTION LINE							
	EASEMENT LINE							
5	NUMBER OF PARKING SPACES							
	EXISTING UTILITY STRUCTURES							
	EXISTING FIRE HYDRANT							
$\bowtie$	EXISTING GATE VALVE							
619	PROPOSED FINISH GRADE							
~~	PROPOSED DIRECTION OF OVERLAND FLOW							
STORY	PROPOSED DRAINAGE INLET / MANHOLE							
	PROPOSED EXFILTRATION TRENCH							
	WATER METER BOX,METERS & BACKFLOW PREVENTOR							
0	PROPOSED SANITARY CLEAN OUT							
	PROPOSED DDCV							
	PRPOSED STAMESE CONNECTION							
<b>۲</b> ٦ ĩ	PROPOSED GATE VALVE							
► 	PROPOSED 45°BEND							
	PROPOSED TEE							
	PROPOSED FIRE HYDRANT							

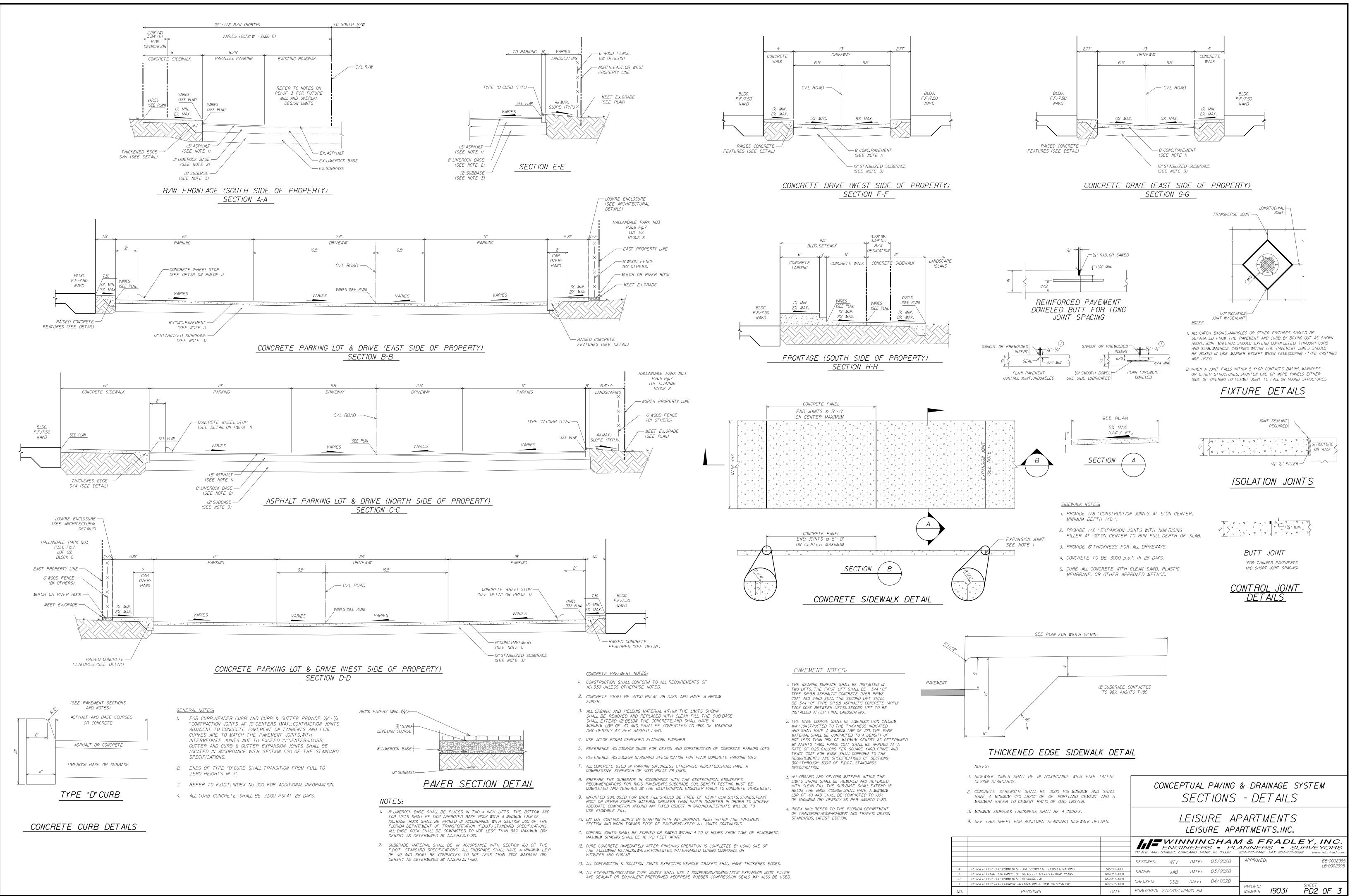
### NOTES:

- I. ALL ELEVATIONS SHOWN REFER TO NORTH AMERICAN DATUM OF 1988 (N.A.V.D.)
- 2. FEMA FLOOD MAP No.125110-0732-H,ZONE AE (6.0 N.A.V.D.) DATED AUGUST 18,2014.
- 3. IOO YEAR FLOOD ELEVATION 7.00 N.A.V.D., PER BROAWRD COUNTY E.P.G.M.D. SURFACE WATER MANAGEMENT DIVISION.
- 4. GROUNDWATER ELEVATION 1.50 N.A.V.D., PER BROAWRD COUNTY E.P.G.M.D. SURFACE WATER MANAGEMENT DIVISION.
- 5. CONTRACTOR SHALL CONTACT THE CITY OF HALLANDALE BEACH ENGINEERING DEPARTMENT AT (954) 457-1397 FOR N.P.D.E.S. AND FORM INSPECTIONS.

- I. FUTURE MILLING AND OVERLAY LIMITS DESIGN ON SE 4th STREET,INCLUDING APPLICABLE DETAILS,SHALL BE PROVIDED AT TIME OF FINAL CONSTRUCTION DRAWING PREPARATION AND PERMITTING.SPECIFICS ARE IDENTIFIED WITHIN THE D.R.C.RESPONSES (Ist REVIEW) COMMENT NUMBER ONE (I),ENGINEERING DEPARTMENT COMMENTS.
- 2. NORTH SIDE OF SE 4th STREET SHALL BE REWORKED (PAVEMENT,BASE ROCK AND SUBBASE) AS REQUIRED TO ACHIEVE GRADES AS SHOWN ON PLANS

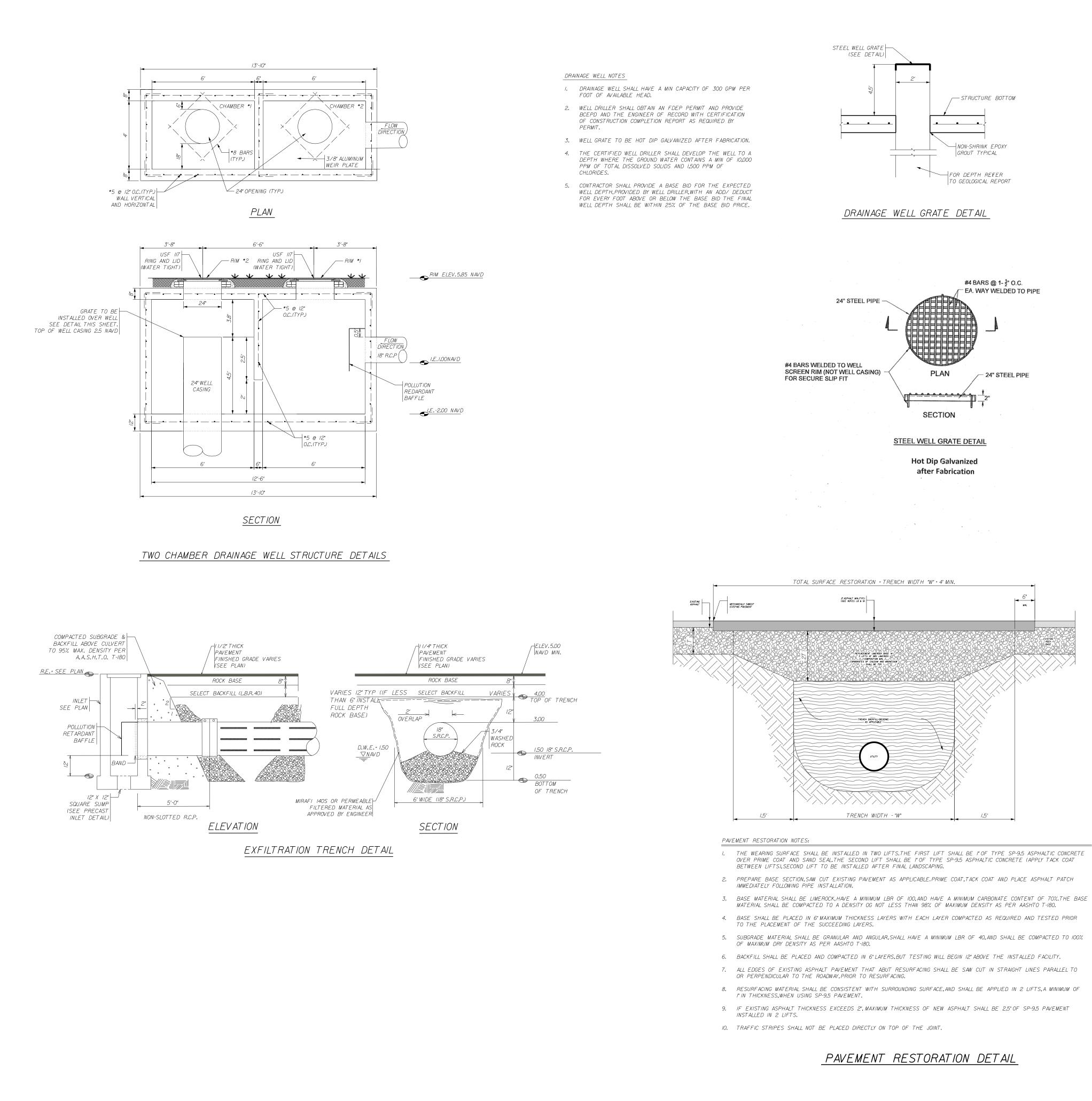
			CONCEPTUAL PAVING & DRAINAGE SYSTEM PLAN
			LEISURE APARTMENTS LEISURE APARTMENTS, INC.
			III N.E. 44th STREET, OAKLAND PARK, FL 33334 954-771-7440 FAX: 954-771-0298 www.winnfrad.com
6 5 4	REVISED PER DRC COMMENTS - 3rd SUBMITTAL - BLDG.ELEVATIONS REVISED PER BROWARD COUNTY SWM - EXFILTRATION TRENCH REVISED PER BROWARD COUNTY SWM - WEIR EL.& ROOF DRAIN	02/01/2021 12/10/2020 09/10/2020	DESIGNED:         WTV         DATE:         03/2020         APPROVED:         EB-0002995         LB-0002995         LB-000295         LB-000295 <th< td=""></th<>
3 2 1	REVISED FRONT ENTRANCE OF BLDG.PER ARCHITECTURAL PLANS REVISED PER DRC COMMENTS - Ist SUBMITTAL REVISED PER GEOTECHNICAL INFORMATION & SWM CALCULATIONS	09/03/2020 06/26/2020 04/30/2020	DRAWN: JAB DATE: 03/2020 CHECKED: GSB DATE: 04/2020 PROJECT SHEET
NO.	REVISIONS	DATE	PUBLISHED: 2/1/2021,4:18:15 PM PROJECT 19031 PDI OF 3

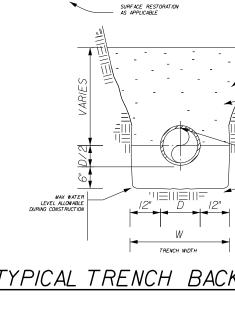
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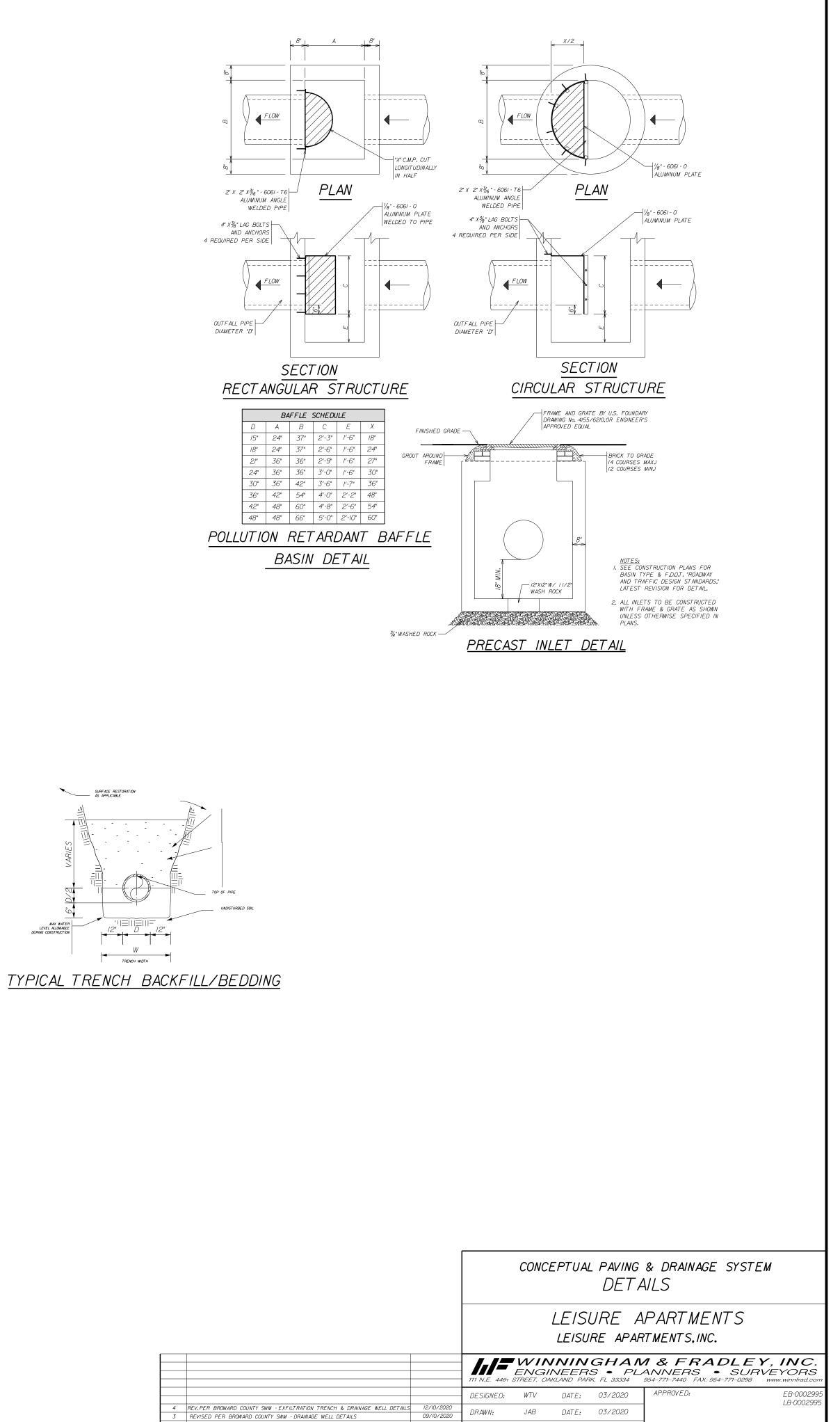


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CHECKED: GSB DATE: 04/2020

PUBLISHED: 2/1/2021,1:24:50 PM

06/26/2020

04/30/2020

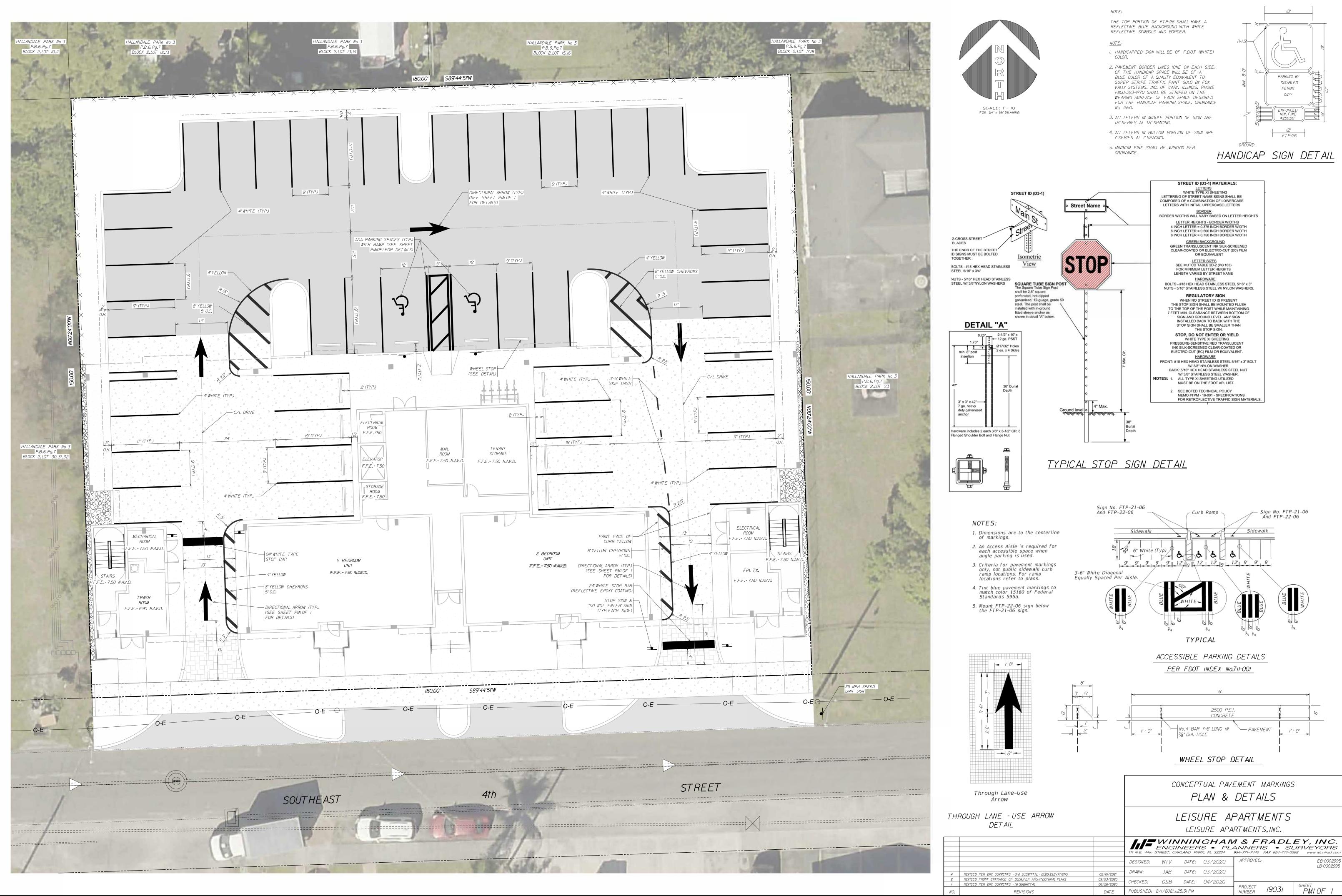
DATE

2 REVISED PER DRC COMMENTS - Ist SUBMITTAL I REVISED PER GEOTECHNICAL INFORMATION & SWM CALCULATION

REVISIONS

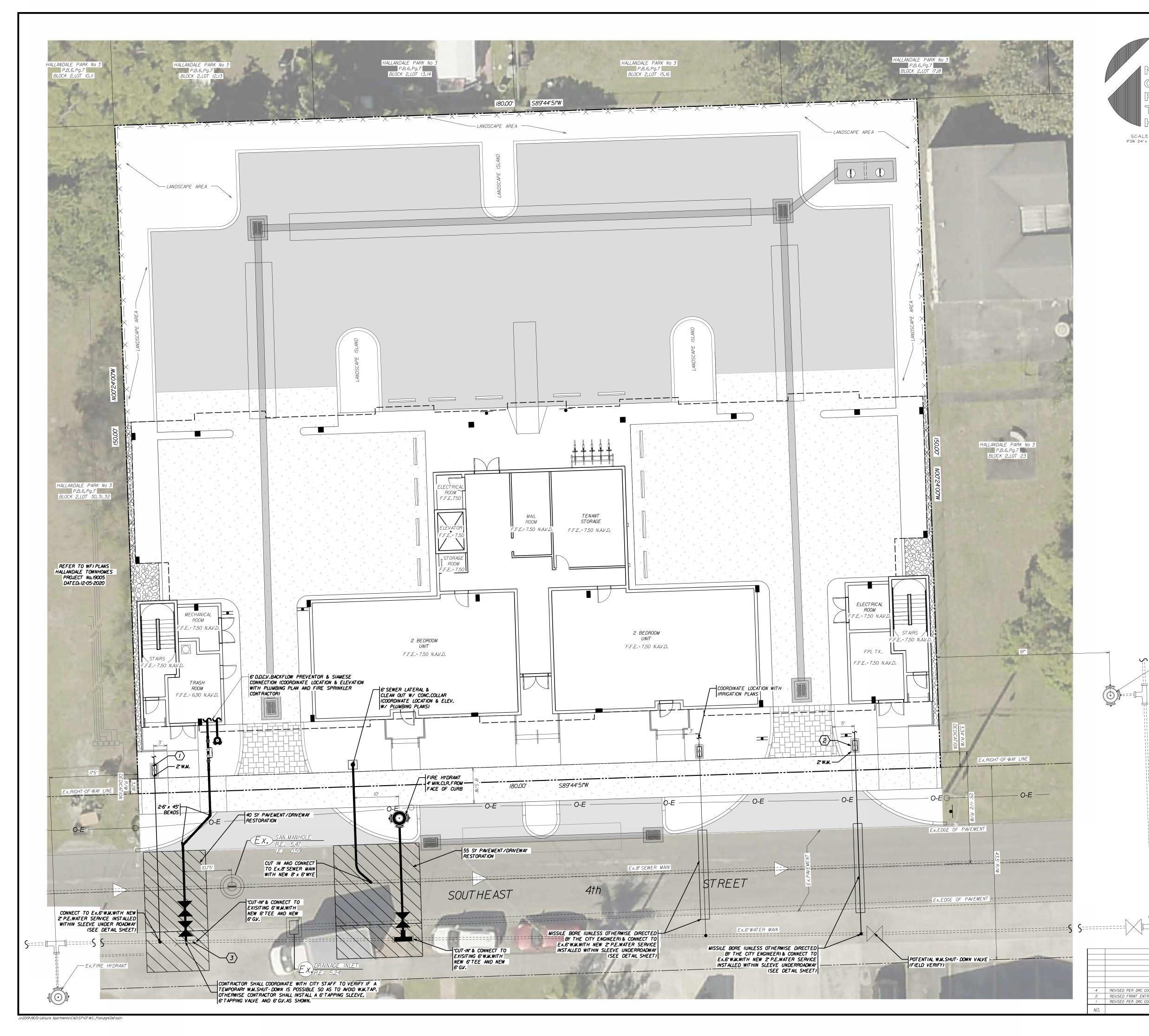
PD3 OF 3

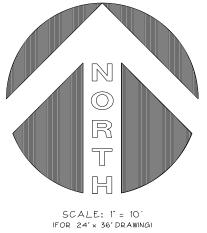
NUMBER **19031** 



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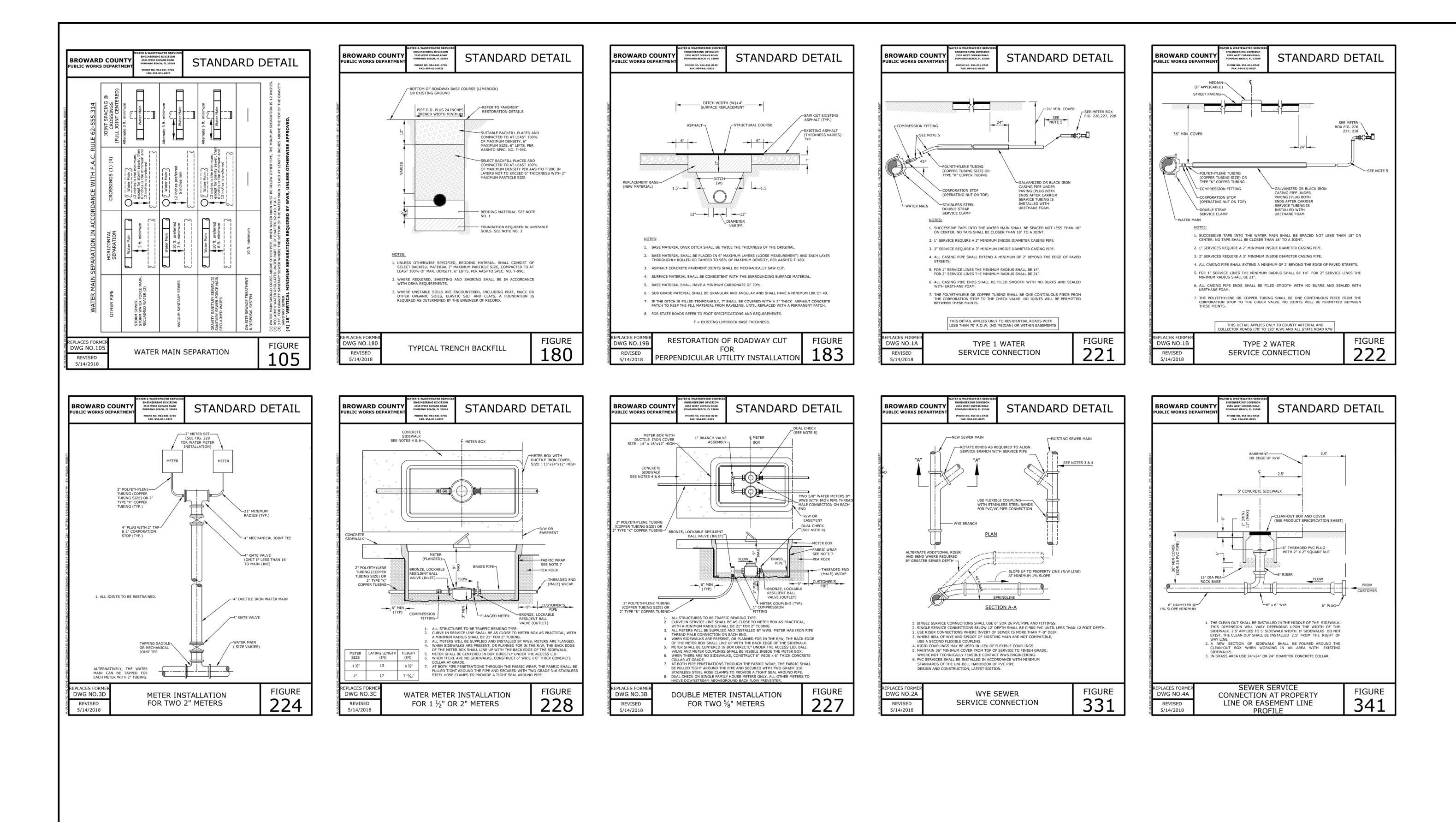
Werner T. Vaughan FL. P.E. 45415





				ABBREVIATIONS
			A.D.A. P.B.	AMERICAN DISABILITIES ACT PLAT BOOK
			Pg.	PAGE
			R/W F.F.E.	RIGHT-OF-WAY FINISHED FLOOR ELEVATION
			N.A.V.D. S/W	NORTH AMERICAN VERTICAL DATUM SIDEWALK
R			0.H. B.C.R.	OVER HANG BROWARD COUNTY RECORDS
H			R. DJ.P.	RADIUS DUCTILE IRON PIPE
_E: 1' = 10' 'x 36'DRAWING)			TYP.	TYPICAL
			R.C.P. S.R.C.P.	REINFORCED CONCRETE PIPE SLOTTED REINFORCED CONCRETE PIPE
			0-E V.C.R.	OVERHEAD ELECTRICAL VEHICULAR CONTROL RADIUS
			C.L.F.	CHAINLINK FENCE
				LEGEND
				PROPOSED ASPHALT PAVEMENT
				PROPOSED CONCRETE PAVEMENT
				PROPOSED PAVERS
				CONCRETE HARDSCAPE SURFACES
			$\begin{array}{c} 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 $	MULCH OR RIVER ROCK
			·	PROPOSED TYPE "D" CURB PROPOSED ROOF OVERHANG
				PROPOSED VEHICLE OVERHANG EXISTING PAVEMENT
				EXISTING DRAINAGE PIPE
				EXISITING CURB EXISTING CURB & GUTTER
				EXISTING CURB & GUITER PROPERTY LINE
				RIGHT OF WAY LINE
				SECTION LINE EASEMENT LINE
			(5)	NUMBER OF PARKING SPACES
				BIOLOGICAL SAMPLE POINT
				EXISTING UTILITY STRUCTURES
				EXISTING FIRE HYDRANT
				EXISTING GATE VALVE
			615	PROPOSED FINISH GRADE
			~~~	PROPOSED DIRECTION OF OVERLAND FLOW
			STORY STORY	PROPOSED DRAINAGE INLET/ MANHOLE
				PROPOSED EXFILTRATION TRENCH
				WATER METER BOX,METERS & BACKFLOW PREVENTOR
			•	PROPOSED SANITARY CLEAN OUT
Ŷ				PROPOSED DDCV
Ex.FIRE HYDRANT			Q	PRPOSED SIAMESE CONNECTION
<u>.</u>				PROPOSED GATE VALVE
			l	PROPOSED 45°BEND
			<b>▼</b>	
11 11 11 11 11				PROPOSED TEE
				PROPOSED FIRE HYDRANT
н н н н н н н н н н н н н н				
Ex.6" WATER MAIN				
R = = = = = = = = = = = = = = = = = = =				
		CONCEDTI	AL FIDE MAINING	ATER AND SEWED SEDVICES
		CUNCEPTU		ater and sewer services
				APARTMENTS PARTMENTS, INC.
			INNINGHA	M & FRADLEY, INC.
			GINEERS • PL OAKLAND PARK, FL 33334 / DATE: 03/2020	LANNERS • SURVEYORS 954-771-7440 FAX: 954-771-0298 www.winnfrad.com APPROVED: EB-0002995
COMMENTS - 3rd SUBMITTAL - BLDG.ELEVATIONS	02/01/2021	DRAWN: JAL		
ITRANCE OF BLDG.PER ARCHITECTURAL PLANS COMMENTS - Ist SUBMITTAL REVUSIONS	09/03/2020 06/26/2020	CHECKED: GSL PUBLISHED: 2/1/20		PROJECT 19031 SHEET NUMBER 19031 WSTOF 3
REVISIONS	DATE	, UDLISHED: 2/1/20	בי,ובט <b>ו</b> טד ו M	NUMBER 19031 WSTOF 3

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\2019\1903I-Leisure Apartments\CAD\SP\08-Water & Sewer\_Details.dgn(Defauli

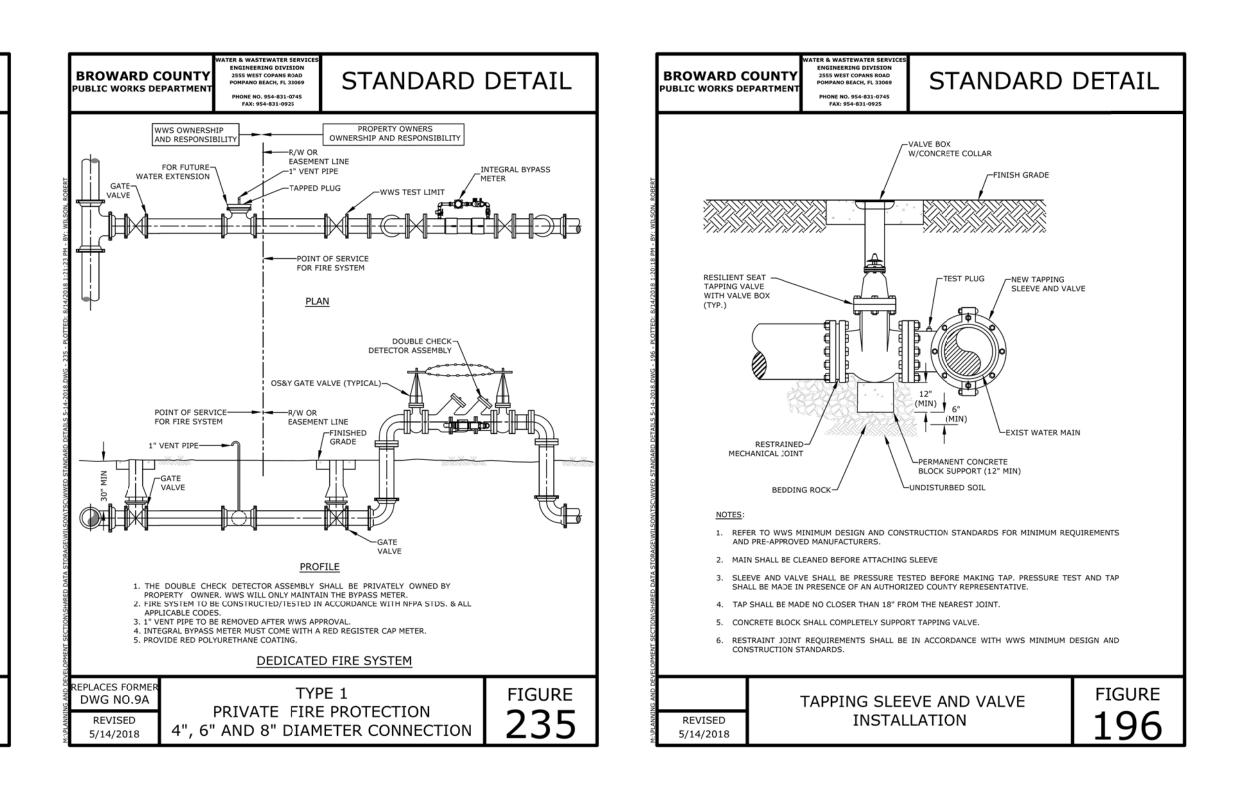


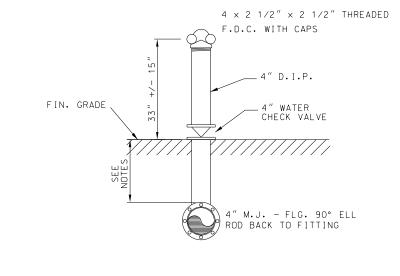
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REVISIONS

BROWARD COUNTY PUBLIC WORKS DEPARTMENT PHONE NO. 954 FAX: 954-63					/ISION 5 ROAD L 33069 1-0745		STA	NDAR	D	DET	AIL	
•	HORIZON											
<u>+</u>	4	UPPER LOWER			CROSSES SHALL BE RESTRAINED IN ALL DIRECTIONS FITTINGS AND VALVES NEED TO BE RESTRAINED PER STANDARD DETAILS 109-112, EVEN WHEN THE FITTINGS OR VALVES ARE CUT IN AFTER THE INITIAL PIPE INSTALLATION. ASBESTOS CEMENT PIPE WILL B REPLACED WITH DUCTILE IRON PIPE AT LEAST THROUGH THE RESTRAINING LENGTH.							
	UCTILE	IRON I	PIPE									
		HORI	ZONTAL	, L (FEE	Г)	_	Valves	45° VERTICA	L OFFS	SET (FEET)		
D	iameter	11 ¼°	22 ½°	45°	90°	Tee or Cross	and Dead End	UPPER	LO	WER		
	4	1	2	4	10	7	20	9		4		
	6	2	3	6	14	15	28	12		5		
	8	2	4	8	17	23	37	16		7		
	10	2	5	9	21	30	44	19		8		
L	12	3	5	10	24	38	52	22		9		
P\	VC PIPE		ZONTAL	I (FEE	<u>г)</u>			45° VERTICA		ET (FEET)	1	
					90°	Tee or	Valves and	UPPER		WER		
	iameter	11 ¼°	22 ½°	45°		Cross	Dead End					
F	4	2	3	5	12	11	32	14		5		
- F	6	2	4	7	16	23	45	19				
-	8	3	5	9	21 25	37 48	59 71	25 30		8		
F	10 12	3	6	11 12	25	48 61	83	30	_	9 11		
THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH THRUST RESTRAINT CALCULATOR V7.2 BY EBAA IRON WITH THE FOLLOWING ASSUMPTIONS: SOIL CONDITIONS: SW OR GW; NOMINAL SIZE EQUALS BRANCH SIZE; LENGTH ALONG RUN EQUALS 4 FEET LAYING CONDITION: 4, SAND BEDDING, BACKFILL COMPACTED > 80%; VERTICAL LOW SIDE DEPTH EQUALS 3.5 FEET MINIMUM COVER: 3.0 FT SAFETY FACTOR: 1.5 BARE PIPE (NO POLY WRAP) IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY WWS. FOR PIPE LARGER THAN INCLUDED IN THE ABOVE, CONTRACTOR SHALL NOTIFY WWS. FOR PIPE LARGER THAN INCLUDED IN THE ABOVE TABLES, ENGINEER OF RECORD SHALL SUBMIT CALCULATIONS FOR EACH JOINT REQUIRING RESTRAINT. SINGLE FITTING RESTRAINED JOINT 150 PSI TEST PRESSURE												
REPLACES FORM	1ED											
DWG NO.10			I	REST	RAI	NED	JOIN	т		FIC	SURE	
REVISED 5/14/2018	1	REQUIREMENTS SINGLE FITTING 109										

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THERE SHALL BE NO SHUT OFF VALVE IN THE FIRE DEPARMENT CONNECTION. NFPA 24 2-6.3 NOTES:

1. DEPTH OF COVER TO TOP OF PVC UNDERGROUND PIPING SHALL BE NOT LESS THAN 36" MINIMUM. 2. DEPTH OF COVER TO TOP OF DIP UNDERGROUND PIPING SHALL BE NOT LESS THAN 30" MINIMUM.

<u>STANDARD FIRE DEPARTMENT</u> <u>CONNECTION DETAIL</u>

	CONCL	EPTUAL	FIRE	MAIN,WA	TER ANL	) SEWER	SERV	ICES	
				DE7	AILS				
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						<b>RADL</b> 25 • SU FAX: 954-771-0.			
	DESIGNED:	WTV	DATE:	03/2020	APPROVED:			EB-00029	
	DRAWN:	JAB	DATE:	03/2020				LD 00029	55
	CHECKED:	GSB	DATE:	04/2020			SHEET		
DATE	PUBLISHED;	2/1/2021,1:	30:43 PM		PROJECT NUMBER	19031		0F 3	3

Werner T. Vaughan FL. P.E. 45415 This item has been digitally signed and sealed by Werner T. Vaughan on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

REVISIONS





A.D.A.	AMERICAN DISABILITIES ACT									
P.B.	PLAT BOOK									
Pg.	PAGE									
R∕W	RIGHT-OF-WAY									
F.F.E.	FINISHED FLOOR ELEVATION									
N.A.V.D. S/W	NORTH AMERICAN VERTICAL DATUM SIDEWALK									
0.H.	OVER HANG									
B.C.R.	BROWARD COUNTY RECORDS									
<i>R</i> .	RADIUS									
D.I.P.	DUCTILE IRON PIPE									
TYP.	TYPICAL									
R.C.P.	REINFORCED CONCRETE PIPE									
S.R.C.P. 0-E	SLOTTED REINFORCED CONCRETE PIPE OVERHEAD ELECTRICAL									
0-L V.C.R.	VEHICULAR CONTROL RADIUS									
C.L.F.	CHAINLINK FENCE									
LEGEND										
	PROPOSED ASPHALT PAVEMENT									
	PROPOSED CONCRETE PAVEMENT									
	PROPOSED PAVERS									
	CONCRETE HARDSCAPE SURFACES									
$\begin{array}{c} 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 \\ 0 $	MULCH OR RIVER ROCK									
	PROPOSED TYPE "D" CURB PROPOSED ROOF OVERHANG									
	PROPOSED VEHICLE OVERHANG									
	EXISTING PAVEMENT									
=======	EXISTING DRAINAGE PIPE									
	EXISITING CURB									
	EXISTING CURB & GUTTER									
	PROPERTY LINE									
	RIGHT OF WAY LINE									
	SECTION LINE									
	EASEMENT LINE									
	EASEMENT LINE									
(5)	NUMBER OF PARKING SPACES									
	EXISTING UTILITY STRUCTURES									
	EXISTING FIRE HYDRANT									
$\mathbf{A}$	EXISTING GATE VALVE									
V V	PROPOSED FINISH GRADE									
<u> </u>										
	PROPOSED DIRECTION OF OVERLAND FLOW									
STORY	PROPOSED DRAINAGE INLET/ MANHOLE									
	PROPOSED EXFILTRATION TRENCH									
	WATER METER BOX,METERS & BACKFLOW PREVENTOR									
0	PROPOSED SANITARY CLEAN OUT									
	PROPOSED DDCV									
Q	PRPOSED SIAMESE CONNECTION									
$\mathbf{M}$	PROPOSED GATE VALVE									
_	PROPOSED 45°BEND									

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		DESIGNED:	WTV	DATE:	03/2020	APPROVED:		EB-0002995 LB-0002995
		- DRAWN:	JAB	DATE:	03/2020			
VISED FRONT ENTRANCE OF BLDG.PER ARCHITECTURAL PLANS VISED PER DRC COMMENTS -Ist SUBMITTAL	09/03/2020 06/26/2020	- CHECKED:	GSB	DATE:	04/2020	PROJECT		SHEET
REVISIONS	DATE	PUBLISHED:	2/1/2021,1:	31:28 PM		NUMBER	19031	TPPIOF 3

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# COUNTY REQUIREMENTS

### CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF.AN FROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS, IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELLAS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO 'CONTRACTORS RESPONSIBILITY' FOR A VERBAL DESCRIPTION OF CONTROLS THAT MAY BE IMPLEMENTED. STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY S.F.W.M.D. STORM WATER RUNOFF WILL BE COLLECTED BY SWALE SYSTEM AND DISCHARGED INTO MASTER STORM WATER SYSTEM VIA OVERLAND FLOW.

# TIMING OF CONTROLS/MEASURES

REFER TO 'CONTRACTORS RESPONSIBILITY' FOR THE TIMING OF CONTROL/MEASURES

## CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS THE PERMITS ARE SHOWN ON THE COVER PAGE OF THESE CONSTRUCTION PLANS.

### DEP. PERMIT

POLLUTION PREVENTION PLAN CERTIFICATION

ICERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

(SEE SIGNATURE BLOCK AT BOTTOM OF PAGE)

# CONTRACTOR'S REQUIREMENTS

### GENERAL

THE CONTRACTOR SHALL AT A MINIMUM, IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION, THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULENT TO RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

### SEQUENCE OF MAJOR ACTIVITIES

- THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:
- I. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED.
- 3. CLEAR AND GRUB FOR DIVERSION SWALE/DIKES AND SEDIMENT BASIN.
- 4. CONSTRUCT SEDIMENTATION BASIN.
- 5. CONTINUE CLEARING AND GRUBBING.
- 6. STOCK PILE TOP SOIL IF REQUIRED.
- 7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
- 8. STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
- 9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTERS
- II. APPLY BASE TO PROJECT.
- 12. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
- 14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALE/DIKES AND RESEED/SOD AS REQUIRED.

### TIMING OF CONTROLS/MEASURES

13. REMOVE ACCUMULATED SEDIMENT FROM BASINS.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL

### CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.



EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES I. HAY BALE BARRIERS: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED

AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING

- LIMIT AT IONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING
- DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
- C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE.
- E. BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT.IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
- 2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
- A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
- 3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
- 4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
- 5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY
- 6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED ID ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREA WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
- 7. INLET PROTECTION :INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET
- 8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
- 9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:ITHAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- IO. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER TEMPORARY GRASSING IN THE CONTRACT SPECIFICATIONS.
- II. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 15 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
- 12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED
- 13. PERMANENT EROSION CONTROL: THE CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.
- 14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILLAS A MINIMUM.BE SEEDED.THE SEEDED MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION.SLOPES STEEPER THAN 4:I SHALL BE SEEDED AND MULCHED OR

### STRUCTURAL PRACTICES

I. TEMPORARY DIVERSION DIKES: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.

- 2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:
- A. BLOCK & GRAVEL SEDIMENT FILTER-THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
- B. GRAVEL SEDIMENT TRAP-THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURE & UNPROTECTED AREAS.
- C. DROP INLET SEDIMENT TRAP-THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SC5%) AND WHERE SHEET OR OVERLAND FLOW (q 05 CFS) ARE TYPICAL.THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.
- 3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEM TO THE RECEIVING WATER BODY.SILT FENCES AND HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
- 4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH IO OR MORE DISTURBED ACRES AT ONE TIME, THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASIN. THESE SEDIMENT BASIN MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PFR ACRF DRAINAGE UNTIL FINAL STABILIZATION OF THE SITE THE 3.600 CUBIC FEET OF STORAGE AREA PER DRAINAGE DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN.ANY TEMPORARY SEDIMENT BASIN CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL.ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL

OTHER CONTROLS

<u>WASTE DISPOSAL</u>

ST ABILIZATION.

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL.ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.



### ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURE.SITE PFRSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED. <u>SANITARY WASTE</u>

OFFSITE VEHICLE TRACKING A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS.THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.DUMP TRUCKS HAULING MATERIAL FROM THE SITE WILL BE COVERED WITH A TARPAULIN. (SEE DETAILS THIS SHEET)

- □ CONCRETE
- □ ASPHALT 🗆 TAR
- DETERGENTS
- □ WOOD
- □ PETROLEUM BASED PRODUCTS ☐ MASONRY BLOCKS
- □ CLEANING SOLVENTS
- PAINTS □ ROOFING MATERIALS
- □ METAL STUDS

<u>SPILL PREVENTION</u> MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

DO THE JOB. ENCLOSURE.

MANUFACTURER'S LABEL BY THE MANUFACTURER.

WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS THESE PRACTICES ARE USE TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

RESEALABLE.

FOLLOWED.

PETROLEUM PRODUCTS

ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FFRTILIZERS

SPILLS. <u>PA/NTS</u>

CONCRETE TRUCKS

SPILL CONTROL PRACTICES CLEANUP:

SUPPLIES.

PURPOSE.

### ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE.THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER SYSTEMS.

# INVENT. FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

□ FERTILIZER

THE FOLLOWING HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO

ALL MATERIALS STORED ONSITE WILL BE IN A NEAT,ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER

PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL

SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED IF THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

F SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE

# PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC WILL BE FOLLOWED ONSITE:

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED

### FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURED.ONCE APPLIED.FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO

MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH ON THE SITE.

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE.EQUIPMENT AND MATERIALS WILL BE INCLUDED BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND SAWDUST. AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS

AREA WILL BE KEPT WILL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL

NO MORE THAN IO ACRES OF THE SITE WILL BE DENUDED AT ONE TIME

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND

DESIGN CAPACITY OR AT THE END OF THE JOB. WHICHEVER COMES FIRST. DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

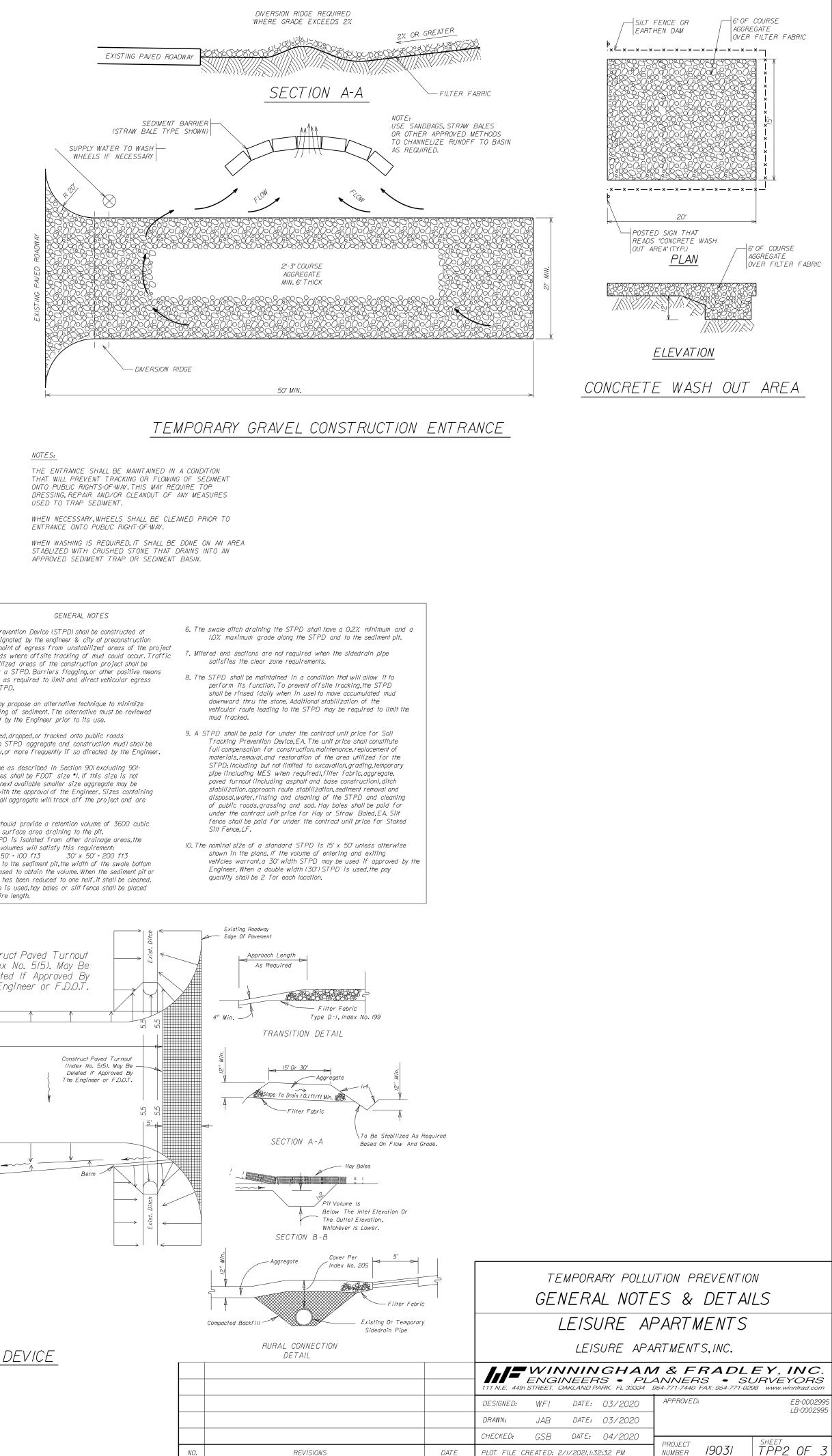
A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.

AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER

POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE SUBMITTED.THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-

FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

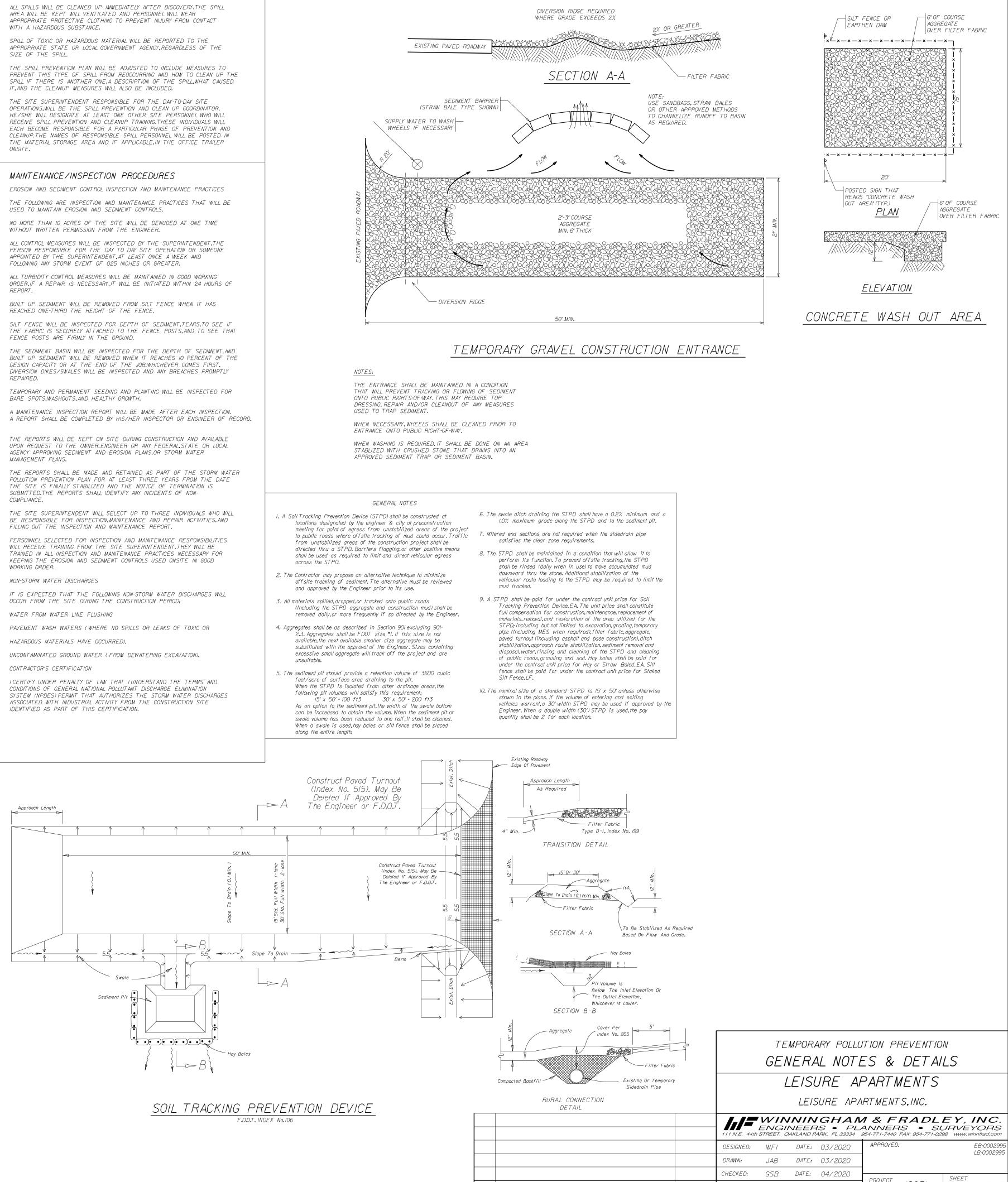
NON-STORM WATER DISCHARGES



and approved by the Engineer prior to its use.

2.3. Aggregates shall be FDOT size #I. If this size is not available, the next available smaller size agareagte may be

feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement: 15' x 50' = 100 ft3 30' x 50' = 200 ft3 along the entire length.



This item has been digitally signed and sealed by Werner T. Vaughan on the date indicated here.

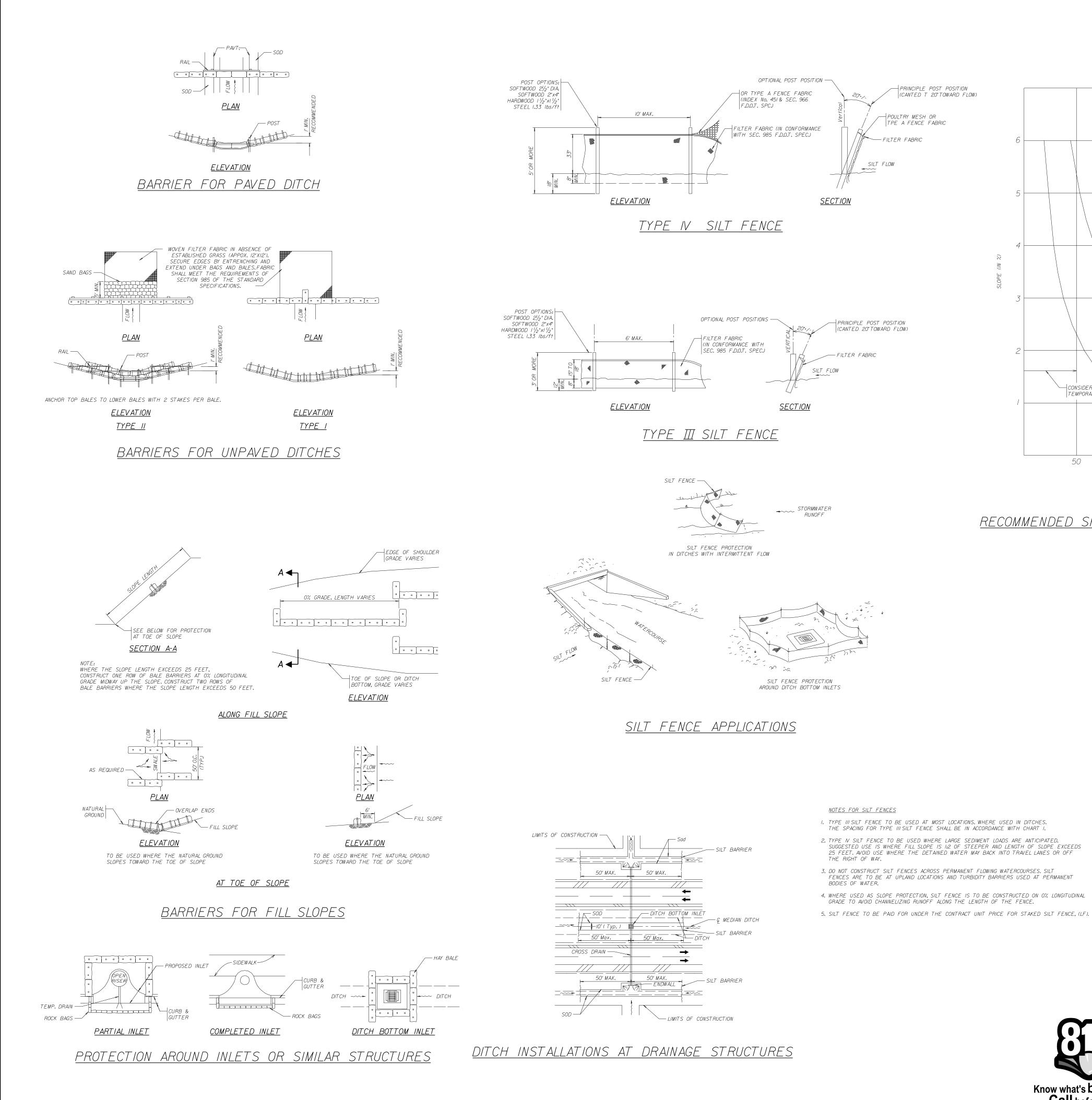
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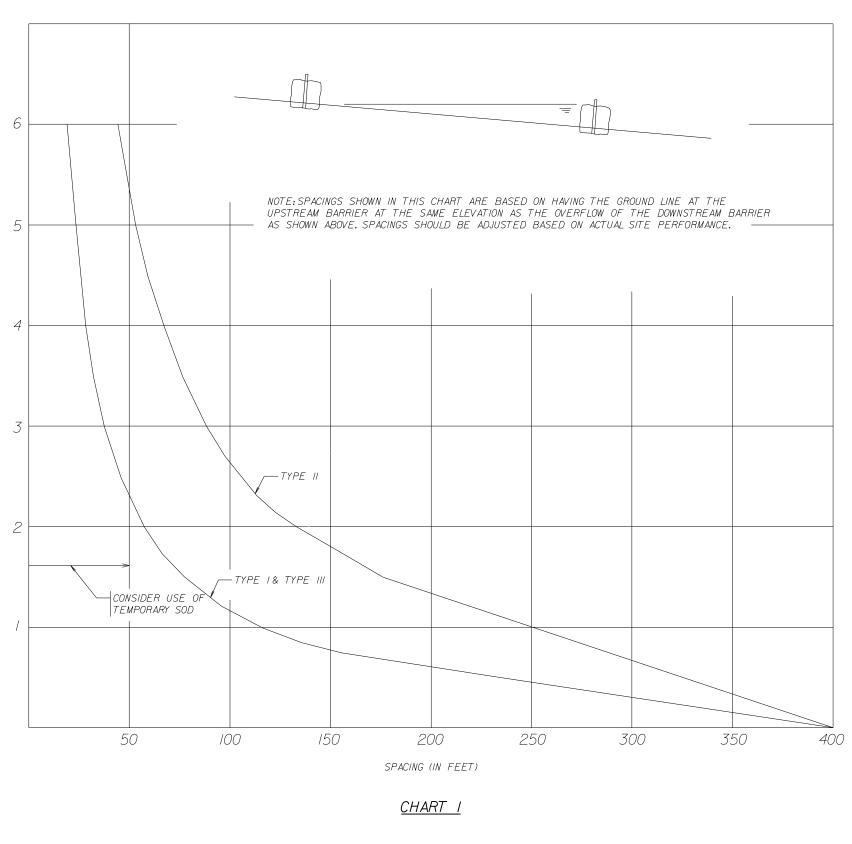
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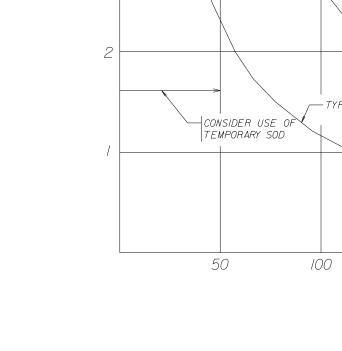
REVISIONS

Werner T. Vaughan FL. P.E. 45415



- I. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES. THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART I.
- 2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OF STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF
- 3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT
- 4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON O% LONGITUDINAL
- GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.







RECOMMENDED SPACING FOR BALED HAY BARRIERS AND TYPE III SILT FENCE

NOTES FOR BAILED HAY OR STRAW BARRIERS

TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH CHART I. HAY BALES SHALL BE UTILIZED AT ALL DRAINAGE INLETS UNTIL INSTALLATION OF ROAD ROCK. 2. HAY BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - I"x2" (OR I" DIA.)x 4 WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN

WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.

3. RAILS AND POSTS SHALL BE 2"x4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.

4. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.

5. WHERE USED IN CONJUCTION WITH SILT FENCE, HAY BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

6. BALES TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW, EA. THE UNIT PRICE SHALL INCLUDE THE COST OF FILTER FABRIC FOR TYPE I AND II BARRIERS. SAND BAGS SHALL BE PAID FOR UNDER THE UNIT PRICE FOR SANDBAGGING, CY. ROCK BAGS TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ROCK BAGS, EA.

			TEMPORARY POLLUTION PREVENTION DETAILS
			LEISURE APARTMENTS LEISURE APARTMENT, INC.
			IT WINNINGHAM & FRADLEY, INC. ENGINEERS • PLANNERS • SURVEYORS 111 N.E. 44th STREET, OAKLAND PARK, FL 33334 954-771-7440 FAX: 954-771-0298 www.winnfrad.com
			DESIGNED: WFI DATE: 03/2020 APPROVED: EB-0002995
			DRAWN: JAB DATE: 03/2020
			CHECKED: GSB DATE: 04/2020 PROJECT SHEET
NO.	REVISIONS	DATE	PLOT FILE CREATED: 2/1/2021,1:32:56 PM NUMBER 19031 TPP3 OF 3

Werner T. Vaughan FL. P.E. 45415

This item has been digitally signed and sealed by Werner T. Vaughan on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. IMPACT ANALYSIS for LEISURE APARTMENTS City of Hallandale Beach Broward County, Florida Sections 27/T51S/R42E PROJECT NUMBER 19031 October, 2019

FOR: LEISURE APARTMENTS, INC. 1825 Main Street, Suite 8 Weston, FL 33326

PREPARED BY: WINNINGHAM & FRADLEY, INC. 111 N.E. 44<sup>th</sup> STREET OAKLAND PARK, FLORIDA 33334 954-771-7440 954-771-0298 (fax)

printed: 4/ 10/ 20- 1:59 pm

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Ν	LOW- AND MODERATE-PRICED HOUSING

### IMPACT ANALYSIS

### FOR

### LEISURE APARTMENTS

City of Hallandale Beach, Broward County, Florida

### 1 INTRODUCTION

The owners of the properties located at 213 through 221 S.E. 4<sup>th</sup> Street, Hallandale Beach, FL 33009 are Leisure Apartments INC. These properties are also described as Lots 24 through 29, Block 2, Hallandale Park No.3, according to the plat thereof as recorded in plat book 6, page 7, of the public records of Broward County. These lots are currently three (3) residential parcels. One parcel is vacant. The two other parcels have one single family house with a driveway located on each parcel. The remainder of the existing properties are low-lying with sod and a number of trees. The developers of this project propose to remove the existing structures and clear the site to construct a new, 3 story, multifamily residential development. This new development will be comprised of twenty four (24) units on a 0.62 acre parcel.

The properties' current land use and zoning designations are Central Regional Activity Center (R.A.C.), Transitional Mixed Use sub-district. The combined lots have an approximate area of 27,000 square feet or 0.62 acres. The proposed development is in conformance with the existing zoning and land use.

The following Impact Analysis describes how this application addresses the design and planning requirements set forth by the City of Hallandale Beach. Furthermore this analysis shows that the proposed development meets the requirements of the land use, zoning and land development code of the City of Hallandale Beach, Florida. All section numbers referenced herein refer to the Section of Article V of the City of Hallandale Beach, Florida.

### 2 GENERAL INFORMATION - SECTION 32-784

### A REQUIRED INFORMATION

### B OWNERSHIP

The owner of the properties is LEISURE APARTMENTS, INC. Attached to this application are copies of the deeds for the subject properties.

### C MORTGAGES, LIENS AND JUDGEMENT

Attached to this application are the Mortgage and Title Insurance Commitment in reference to the subject property and property owner.

### D EXPERIENCE

The Developer has experience working on residential developments in the City of Hallandale Beach. They have already achieved success on site plan approval for the adjacent property to the west.

### E FINANCIAL CAPABILITY

The Developer has the financial capability to develop this project as demonstrated by previous residential and commercial developments in Broward County; Hallandale and the City of Miramar respectively.

### F BURDEN OF PROOF OF APPLICANT

The Applicant shall work with the City's development review staff to provide any professional planning, engineering or other supporting documentation which will demonstrate compliance with the City code and development regulations.

3

### **PROFESSIONAL ASSISTANCE - SECTION 32-785**

Civil Engineer:	Winningham & Fradley, Inc.			
	111 N.E. 44 <sup>th</sup> Street			
	Oakland Park, FL 33334			
	Phone: (954) 771-7440			
	Fax: (954) 771-0298			
Architect:	Center for Collaborative Architecture			
	1424 SW 23 <sup>rd</sup> Street			
	Miami, FL 33145			
	Phone: (786) 787-3724			
Landscape Architect:	FP Design, LLC.			
	15438 SW 25 <sup>th</sup> Terrace			
	Miami, FL 33185			
	Phone: (305) 778-7136			
Surveyor:	J. Bonfill & Associates			
	7100 SW 99 <sup>th</sup> Avenue, Suite 104			
	Miami, FL 33173			
	Phone: (305) 598-8383			
Traffic Engineer:	Traf Tech Engineering, Inc.			
	8400 N University Drive, Suite 307			
	Tamarac, FL 33321			
	Phone: (954) 582-0988			

### A SCOPE

Please refer to the attached Site Plan, details and supporting documentation for the evaluation of the internal design quality and the physical capacity of the site to accommodate the proposed development.

### B GENERAL INFORMATION

The number of required site plan copies and the appropriate filing and review fees have been submitted with the site plan application. The site plan includes all the submittal requirements per Section 32-786 (b)(1 through 4) of the City code.

### C CERTIFIED PROPERTY SURVEY

Attached to this application is a Certified Property Survey prepared and certified by J. Bonfill & Associates.

### D EXISTING SITE CHARACTERISTICS MAP

Attached to this application is a Site Characteristics Map prepared and certified by J. Bonfill & Associates. For additional information regarding existing utilities and zoning information, please refer to the Site Plan and Conceptual Engineering Plans.

### E PROPOSED SITE DEVELOPMENT PLAN

- Finished Grade:
   Please refer to the Conceptual Paving & Drainage Plan for the grading plan.
- Erosion & Sedimentation, permanent & temporary:
   The Temporary Pollution Prevention Plan, Details & Notes which indicate the provisions for adequate control of erosion and sedimentation has been provided within the Site Plan package.
- 3 Drainage & Storm Water:

Please refer to the Conceptual Paving & Drainage Plan which indicates the provisions for adequate drainage and disposition of natural water and storm water in accordance with the adopted design standards of the City and the County. The plan illustrates the location, size, type and grade of swales, catch basins, pipes and onsite storm water retention systems including proposed drainage wells.

4 Utility Services:

Please refer to the Conceptual Water Distribution & Sewage Collection Plan for the applicable details of the water and wastewater lines and sizes and fire hydrant

locations. The solid waste receptacle locations and capacities are shown on the Site Plan and Site Plan Detail sheets.

5 Proposed Structures:

Please refer to the Site Plan and architectural details regarding the location, use, height, gross floor area, density, number, size and type of residential dwelling units. The total amount and percentage of site area to be utilized for structural coverage has been indicated within the General Site Data Table located on the Site Plan.

6 Vehicular Use Areas:

On-site parking facility and driveways (ingress-egress) have been illustrated on the Site Plan.

- Proposed Fences, Walls, Screen Planting and Hedges:
   Please refer to the Site Pan for locations of the proposed fences & walls. The Screen
   Planting and hedges are shown on the Landscape Plans.
- 8 Pedestrian Walkways:
   Please refer to the Site Plan for locations of the pedestrian walkways, their type, width and material composition.
- Open Space & Recreational Areas:
   The total amount of area provided for pervious and impervious areas has been tabulated on the Site Plan, Site Data sheet. All additional and required landscaping and details are shown on the Landscape Plans.
- 10 Signage:

Site signage has been shown on the Site Plan. The site development plans include the location, dimension, height and type of all proposed signage. The proposed signage will be in compliance with Division 17 of the City of Hallandale Beach Code known as the "Sign Code of the City of Hallandale each, Florida." All signage within the site will be properly placed and maintained, promoting traffic and pedestrian safety and aesthetics.

11 Handicapped Design Features:

Please refer to the Site and Architectural Plans for the details of the handicapped design features including ramps & parking spaces. This project will comply with ADA and Fair Housing Accessibility Guidelines.

### F OTHER REQUIREMENTS

### 1 Description of Future Residents

Based upon the average occupancy for a multi-family residential project having 2.5 persons per unit with 24 units, we anticipate that the total population of the proposed development will be 60 people.

### 2 Architectural Description

The proposed development is a three-story multi-family residential project with 24 units. This project has been designed to maximize the frontage along S.E. 4<sup>th</sup> Street. By maximizing street frontage, the developer hopes to promote pedestrian traffic along the right-of-way and beautify the street scape. The street scape will be improved by providing green space and landscape material adjacent to and along the right-of-way. Parking facilities are located around the building (North, East, West sides) which allows the building to be located along the street, which assists in screening the parking lot from public view.

### 3 Energy Consumption

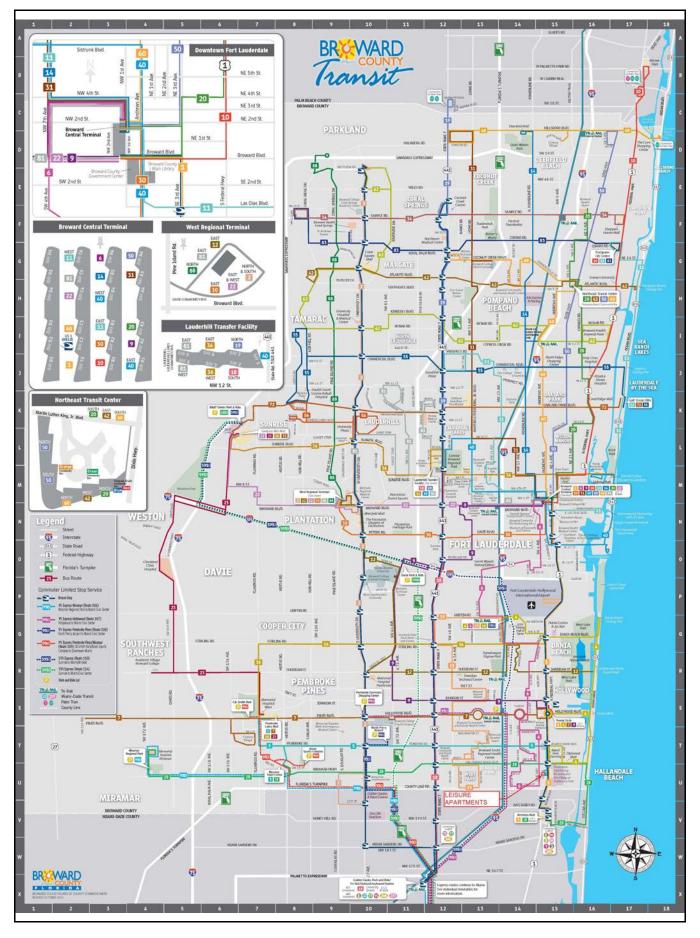
4

Energy consumption will be minimized with the use of high efficiency appliances and building materials. In utilizing current building materials, methodology and combined with the small footprint of the proposed structure, a minimum amount of energy will be required to provide adequate amenities to the future 60 residents. Also, the landscaping will assist in shading portions of the building. The developer is proposing high efficiency A/C units and well insulated roof and wall material.

### Public Mass Transportation Routes and Schedules

Broward County Transit bus route 1 and the US1 Breeze provides service along Federal Highway, located just east of the proposed project. Also, the planned construction of the Tri-rail Coastal Link and proposed location of the station located south of Hallandale Beach Boulevard lies directly west of the proposed project. With these mass transit modes of transportation available to the future residents of this development, the developers are hopeful that the residents will utilize these modes of transportation to reduce carbon emissions that would otherwise result from using their vehicles.

The following pages contain the bus routes and schedules for Broward County Transit and US1 Breeze:



### **Customer Service**

 Trip planning
 Routes, times and transfer information
 Identifying Bus Pass sales locations
 Special event information

Lost and Found: 954-357-6414, Monday - Friday, 8:30 am - 4:30 pm

#### Holiday Bus Service

There is no service on the following observed holidays:

New Year's Day Labor Day Memorial Day Independence Day Thanksgiving Day Christmas Day

#### Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/ Medicare.\* Children (under 40 inches ride FREE)

#### Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth\*, Seniors\*, Disabled\*, Medicare\*, College Student\*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

\*\*Premium Express 10 Ride Pass: 10 rides any time, any day. Expires after tenth ride is taken.

\*\*Premium Express 31 Day Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

\*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

\*\* Premium Bus Pass can be purchased online at broward. org/bct and at select Broward County library locations.





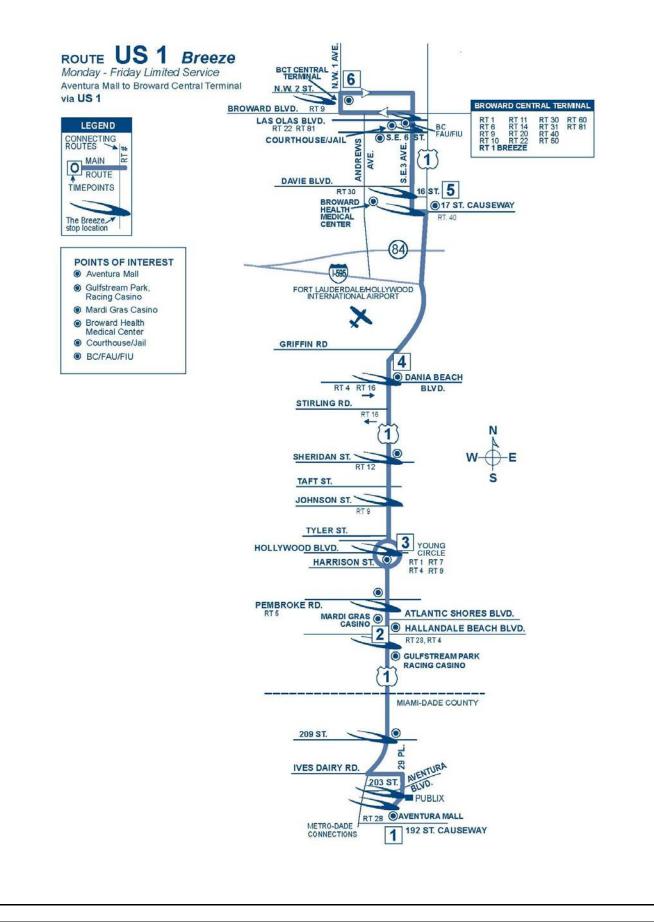
### SOUTHBOUND To Broward Central Terminal/Aventura Mall From Broward Central Terminal/Aventura Mall

AVENTURA MALL	HALLANDALE BCH BLVD & US 1	YOUNG CIRCLE	DANIA BEACH BLVD & US	SE 17 ST & US 1	BROWARD CENTRAL TERMINAL
1	2	3	4	5	6
6:01a	6:12a	6:21a	6:32a	6:41a	6:51a
6:21a	6:32a	6:41a	6:52a	7:01a	7:12a
6:41a	6:52a	7:01a	7:13a	7:23a	7:34a
7:01a	7:13a	7:23a	7:35a	7:46a	7:58a
7:21a	7:33a	7:43a	7:56a	8:07a	8:19a
7:41a	7:53a	8:03a	8:16a	8:27a	8:39a
8:01a	8:13a	8:23a	8:36a	8:47a	8:59a
8:21a	8:33a	8:43a	8:56a	9:07a	9:19a
8:41a	8:53a	9:03a	9:16a	9:27a	9:38a
9:01a	9:13a	9:23a	9:36a	9:46a	9:57a
<u>9:21a</u>	9:33a	9:43a	9:55a	10:05a	10:16a
9:41a	9:53a	10:03a	10:15a	10:25a	10:36a
10:01a	10:13a	10:23a	10:35a	10:45a	10:56a
10:21a	10:33a	10:43a	10:55a	11:05a	11:16a
10:41a	10:53a	11:03a	11:15a	11:25a	11:36a
<u>11:01a</u>	11:13a	11:23a	11:35a	11:45a	11:56a
11:21a	11:33a	11:43a	11:55a	12:05p	12:16p
11:41a	11:53a	12:03p	12:15p	12:25p	12:36p
12:01p	12:13p	12:23p	12:35p	12:45p	12:56p
12:21p	12:33p	12:43p	12:55p	1:05p	1:16p
12:41p	12:53p	1:03p	1:15p	1:25p	1:36p
1:01p	1:13p	1:23p	1:35p	1:45p	1:56p
1:21p	1:33p	1:43p	1:55p	2:05p	2:16p
1:41p	1:53p	2:03p	2:15p	2:25p	2:36p
2:01p	2:13p	2:23p	2:35p	2:45p	2:56p
2:21p	2:33p	2:43p	2:55p	3:05p	3:16p
2:41p	2:53p	3:03p	3:15p	3:25p	3:37p
3:01p	3:13p	3:23p	3:35p	3:45p	3:57p
3:21p	3:34p	3:44p	3:56p	4:06p	4:18p
3:41p	3:55p	4:05p	4:17p	4:27p	4:40p
4:01p 4:21p 4:41p	4:15p 4:36p 4:57p	4:05p 4:25p 4:47p 5:08p	4:17p 4:37p 4:59p 5:20p	4:27p 4:48p 5:10p 5:30p	5:01p 5:23p 5:43p
5:01p	5:17p	5:28p	5:40p	5:50p	6:03p
5:21p	5:37p	5:48p	6:00p	6:10p	6:22p
5:41p	5:57p	6:07p	6:19p	6:29p	6:40p G
6:01p	6:15p	6:25p	6:37p	6:47p	6:58p G
6:21p	6:34p	6:44p	6:56p	7:06p	7:17p G

BROWARD CENTRAL TERMINAL	SE17 ST & US 1	DANIA BEACH BLVD & US 1	YOUNG CIRCLE	HALLANDALE BCH BLVD & US 1	AVENTURA MALL
6	5	4	3	2	1

6:10a	6:20a	6:29a	6:41a	6:51a	7:02a
6:30a	6:40a	6:49a	7:01a	7:12a	7:24a
6:50a	7:00a	7:10a	7:23a	7:35a	7:48a
7:10a	7:21a	7:31a	7:44a	7:57a	8:10a
7:30a	7:41a	7:51a	8:04a	8:17a	8:30a
7:50a	8:01a	8:11a	8:24a	8:37a	8:50a
8:10a	8:21a	8:31a	8:44a	8:57a	9:10a
8:30a	8:41a	8:51a	9:04a	9:17a	9:30a
8:50a	9:01a	9:11a	9:24a	9:36a	9:48a
9:10a	9:21a	9:31a	9:44a	9:55a	10:07a
9:30a	9:41a	9:51a	10:04a	10:15a	10:27a
9:50a	10:01a	10:11a	10:24a	10:35a	10:47a
10:10a	10:21a	10:31a	10:44a	10:55a	11:07a
10:30a	10:41a	10:51a	11:04a	11:15a	11:27a
10:50a	11:01a	11:11a	11:24a	11:35a	11:47a
11:10a	11:21a	11:31a	11:44a	11:55a	12:07p
11:30a	11:41a	11:51a	12:04p	12:15p	12:27p
11:50a	12:01p	12:11p	12:24p	12:35p	12:47p
12:10p	12:21p	12:31p	12:44p	12:55p	1:07p
12:30p	12:41p	12:51p	1:04p	1:15p	1:27p
12:50p	1:01p	1:11p	1:24p	1:35p	1:47p
1:10p	1:21p	1:31p	1:44p	1:55p	2:07p
1:30p	1:41p	1:51p	2:04p	2:15p	2:27p
1:50p	2:01p	2:11p	2:24p	2:35p	2:47p
2:10p	2:21p	2:31p	2:44p	2:55p	3:07p
2:30p	2:41p	2:51p	3:04p	3:15p	3:27p
2:50p	3:01p	3:11p	3:24p	3:35p	3:47p
3:10p	3:21p	3:31p	3:45p	3:56p	4:08p
3:30p	3:42p	3:53p	4:07p	4:18p	4:30p
3:50p	4:02p	4:13p	4:27p	4:39p	4:51p
4:10p	4:22p	4:34p	4:48p	5:00p	5:12p
4:30p	4:42p	4:55p	5:09p	5:21p	5:33p
4:50p	5:02p	5:15p	5:29p	5:41p	5:53p
5:10p	5:22p	5:35p	5:49p	6:01p	6:13p
5:30p	5:42p	5:55p	6:09p	6:20p	6:32p G
5:50p	6:02p	6:13p	6:27p	6:38p	6:50p G
6:10p	6:22p	6:33p	6:46p	6:57p	7:09p G
6:30p	6:41p	6:51p	7:04p	7:15p	7:27p G

Times with the letter "G" before them indicate bus returns to garage.



### For more details on our fares please visit our web site at broward.org/BCT/FaresAndPasses/ Pages/FaresPasses.aspx or call customer service: 954.357.8400.

### Reading A Timetable - It's Easy

- 1. The map shows the exact bus route.
- 2. Major route intersections are called time points. Time points are shown with the symbol
- The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
- 4. Reading from left to right, indicates the time for each bus trip.
- 5. Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

Information: 954.357.8400

## Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS An equal opportunity employer and provider of services.

20,000 copies of this public document were promulgated at a gross cost of \$780., or \$.039 per copy to inform the public about the Transit Division's schedule and route information. Reprinted 1/15

#### PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.

#### TRANSFER POLICY 7/10/11

#### TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

#### TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

#### TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

#### TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT Systems and premium express bus service

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$ .50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.



WHEN IT COMES TO OUR SAFETY, WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS. BE ALERT. CALL 954-357-LOOK (5665). TELL US.

### **Customer Service**

Transit Operations Agents help with:

- Trip planning
   Ide
   Routes, times and
   sal
- Identifying Bus Pass sales locations

Memorial Day

Christmas Day

transfer information • Special event information Lost and Found: 954-357-6414, Monday - Friday,

9:00 am - 4:00 pm

#### Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

New Year's Day Labor Day Independence Day Thanksgiving Day

#### Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/ Medicare.\* Children (under 40 inches ride FREE)

#### Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

7 Day Pass: Unlimited rides for seven consecutive days. Starts on the first day card is used. Expires after the seventh day.

31 Day Adult Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

31 Day Reduced Pass: Youth\*, Seniors\*, Disabled\*, Medicare\*, College Student\*. Unlimited rides for 31 consecutive days. Starts on the first day card is used.

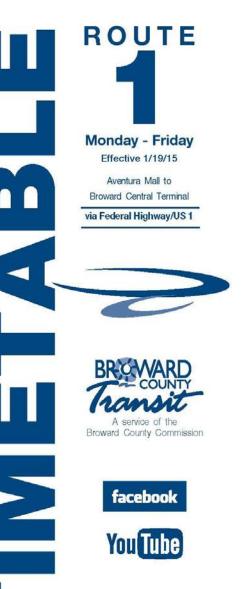
\*\*Premium Express 10 Ride Pass: 10 rides any time, any day. Expires after tenth ride is taken.

\*\*Premium Express 31 Day Pass: Unlimited rides for 31 consecutive days. Starts on the first day card is used.

Bus Passes are not exchangeable, refundable or transferrable. Damaged cards are invalid. Lost, stolen or damaged cards will not be replaced.

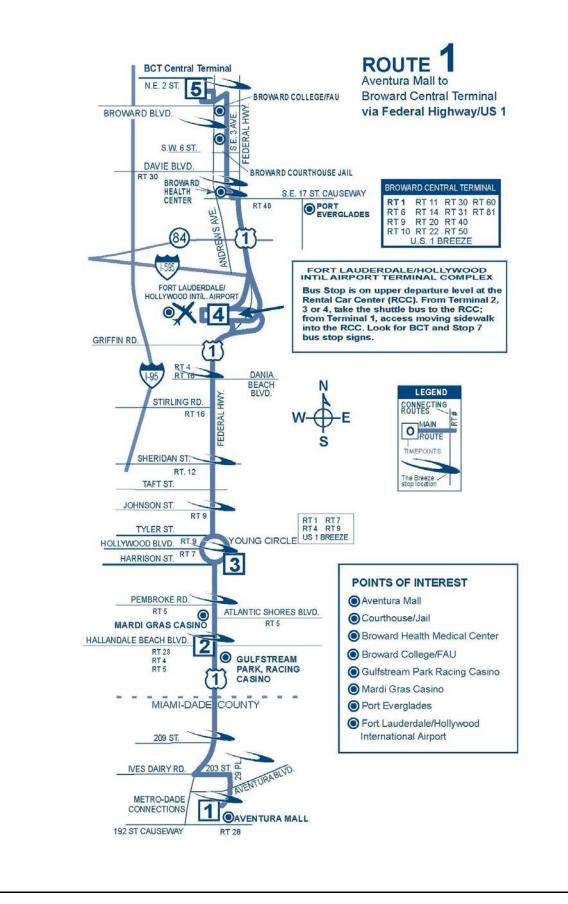
\*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

\*\* Premium Bus Pass can be purchased online at Broward. org/BCT and at select Broward County library locations.



Download & Print at Broward.org/BCT Wheelchair Accessible Bike Racks

5:18a 5:38a 5:58a	HALLANDALE BCH BLV & US 1		DNAL						
5:18a 5:38a		YOUNG CIRCLE	AIRPORT	BROWARD CENTRAL TERMINAL	BROWARD CENTRAL TERMINAL	AIRPORT	YOUNG CIRCLE	HALLANDALE BCH BLV & US 1	AVENTURA MALL
5:18a 5:38a	HAL US	NON	ABP	BRO' TERI	BROUTERN	FTL/HWD AIRPORT	NOA	HALL	AVEN
5:38a	2	3	4	5	5	4	3	2	1
5:38a	5:30a	5:11a 5:41a	5:29a 6:01a	5:51a 6:25a					
5.504	5:51a	6:02a	6:24a	6:48a					
5:53a	6:06a	6:18a	6:40a	7:04a			5:18a	5:29a	5:42a
6:13a	6:27a	6:39a	7:01a	7:26a	5:05a	5:23a	5:48a	6:00a	6:14a
6:33a 6:53a	6:47a 7:08a	6:59a 7:21a	7:22a 7:45a	7:48a 8:11a	5:25a	5:44a	6:11a	6:24a	6:38a
7:13a	7:28a	7:42a	8:06a	8:32a	5:40a	6:00a	6:28a	6:41a	6:55a
7:33a	7:49a	8:03a	8:27a	8:52a	6:00a	6:22a	6:50a	7:03a	7:18a
7:53a 8:13a	8:09a 8:29a	8:23a 8:42a	8:46a 9:05a	9:11a 9:29a	6:20a 6:40a	6:42a 7:02a	7:10a 7:31a	7:24a 7:46a	7:40a 8:02a
8:33a	8:48a	9:01a	9:23a	9:47a	7:00a	7:24a	7:54a	8:09a	8:25a
8:53a	9:07a	9:19a	9:41a	10:05a	7:20a	7:45a	8:15a	8:30a	8:45a
9:13a	9:27a	9:39a	10:01a	10:25a	7:40a	8:05a	8:35a	8:49a	9:04a
9:33a 9:53a	9:47a 10:07a	9:59a 10:19a	10:21a 10:41a	10:45a 11:05a	8:00a 8:20a	8:25a 8:44a	8:54a 9:13a	9:07a 9:26a	9:21a 9:40a
10:13a	10:27a	10:19a	11:01a	11:25a	8:40a	9:04a	9:32a	9:45a	9:59a
10:33a	10:47a	10:59a	11:21a	11:45a	9:00a	9:23a	9:51a	10:04a	10:18
10:53a	11:07a	11:19a	11:41a	12:05p	9:20a	9:43a	10:11a	10:24a	10:38a
11:13a 11:33a	11:27a 11:47a	11:39a 11:59a	12:01p	12:25p	9:40a 10:00a	10:03a 10:23a	10:31a 10:51a	10:44a 11:04a	10:58a 11:18a
11:53a	12:07p	12:19p	12:21p 12:41p	12:45p 1:05p	10:20a	10:23a	11:11a	11:24a	11:38a
12:13p	12:27p	12:39p	1:01p	1:25p	10:40a	11:03a	11:31a	11:44a	11:58a
12:33p	12:47p	12:59p	1:21p	1:45p	11:00a	11:23a	11:51a	12:04p	12:18
12:53p	1:07p	1:19p	1:41p	2:05p	11:20a 11:40a	11:43a 12:03p	12:11p 12:31p	12:24p	12:38p 12:58p
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3:13p	3:28p	3:41p	4:04p	4:30p	1:40p	2:03p	2:31p	2:24p	2:580
3:33p	3:48p	4:01p	4:25p	4:51p	2:00p	2:23p	2:51p	3:04p	3:19p
3:53p	4:09p	4:23p	4:47p	5:13p	2:20p	2:43p	3:11p	3:25p	3:40p
4:13p	4:29p	4:43p	5:07p	5:33p	2:40p	3:03p	3:32p	3:46p	4:01p
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5:13p	5:29p	5:43p	6:07p	6:32p	3:40p	4:04p	4:34p	4:49p	5:05p
5:33p	5:49p	6:03p	6:26p	6:51p	4:00p	4:25p	4:55p	5:10p	5:26p
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8:13p	8:26p	8:37p	8:57p	9:17p G	6:40p	7:04p	7:32p	7:45p	7:59p
8:33p	8:46p	8:57p	9:15p	9:35p	7:00p	7:22p	7:50p	8:03p	8:16p
0.00	0.45	0.05	0.10	10.00-	7:20p	7:42p	8:09p	8:21p	8:34p
9:03p 9:33p	9:15p 9:45p	9:25p 9:55p	9:43p 10:13p	10:03p 10:33p	7:40p 8:00p	8:02p 8:22p	8:28p 8:48p	8:40p 9:00p	8:53p 9:13p
a.30b	9.40P	9.00p	10.15P	10.330	8:20p	8:40p	9:06p	9:17p	9:29p
10:03p	10:15p	10:25p	10:43p	11:03p	8:45p	9:05p	9:29p	9:40p	9:52p
10:33p	10:45p	10:55p	11:13p	11:33p G	9:15p	9:33p	9:57p	10:08p	10:200
11:03p	11:15p	11:25p	11:43p	12:03a G	9:45p 10:15p	10:03p 10:33p	10:27p 10:57p	10:38p 11:08p	10:50p
					10:15p	11:03p	11:27p	11:38p	11:50p
					11:15p	11:33p	11:57p	12:08a	12:20



### For more details on our fares please visit our web site at Broward.org/BCT or call customer service: 954.357.8400.

### Reading A Timetable - It's Easy

- 1. The map shows the exact bus route. 2. Major route intersections are called time points.
- Time points are shown with the symbol  $\Box$ . 3. The timetable lists major time points for bus route.
- Listed under time points are scheduled departure times.
- 4. Reading from left to right, indicates the time for each bus trip.
- 5. The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
- Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

### Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

### Information: 954.357.8400

## Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BOARD OF COUNTY COMMISSIONERS An equal opportunity employer and provider of services.

21,000 copies of this public document were promulgated at a gross cost of \$819., or \$.039 per copy to inform the public about the Transit Division's schedule and route information. Reprinted 1/15

#### **TRANSFER POLICY 7/10/11**

## TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

#### TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

#### TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

#### TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$ .50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

#### PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager,

1 N. University Drive, Suite 3100A, Plantation, FL 33324.



WHEN IT COMES TO OUR SAFETY, WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS. BE ALERT. CALL 954-357-LOOK (5665). TELL US.

#### **Customer Service**

 Trip planning
 Routes, times and transfer information
 Identifying Bus Pass sales locations
 Special event information

Lost and Found: 954-357-6414, Monday - Friday, 9:00 am - 4:00 pm

#### Holiday Bus Service

Sunday bus service is provided on the following observed holidays:

Memorial Day Christmas Day

New Year's Day Labor Day Independence Day Thanksgiving Day

Fares

Exact fare, dollar bill or coins required. Operators do not carry change.

Fares are: Regular, Premium Express, Senior/Youth/Disabled/ Medicare.\* Children (under 40 inches ride FREE)

#### Fare Deals

All Day Bus Pass offers unlimited rides on all routes. On sale aboard all BCT buses.

NOTE: Other cost saving passes cannot be purchased on BCT buses, but are available at the Central Bus Terminal and at authorized distributors.

10 Ride Pass: 10 Rides any time, any day. Expires after the tenth ride is taken.

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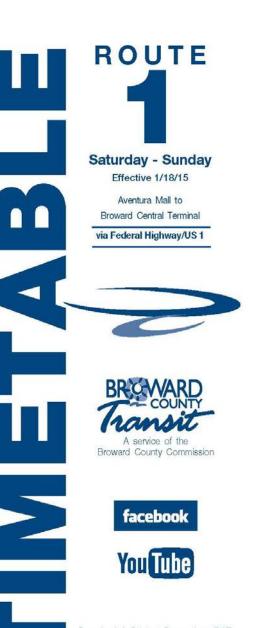
\*\*Premium Express 10 Ride Pass: 10 rides any time, any day. Expires after tenth ride is taken.

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\*NOTICE: Proof of age is required for Youth fare (18 years or younger) and for Senior fare (65 years or older). For College Student Bus Pass, a college photo ID card is required. For Disabled and Medicare fare, proof of disability (Medicare card) and photo I.D. is required. Eligible Senior fare patrons are encouraged to acquire their BCT Reduced Fare Photo ID cards.

\*\* Premium Bus Pass can be purchased online at Broward. org/BCT and at select Broward County library locations.



Download & Print at Broward.org/BCT Wheelchair Accessible Bike Racks

Aventura Mall to

Broward Central Terminal

via Federal Highway/US 1

### SATURDAY .....

### There are additional bus stops in between those listed.

HALLANDALE BCH BLV & US 1

2

6:13a

6:33a

6:53a

7:15a

7:36a 7:58a

8:13a

8:28a

8:43a

8:59a

9:15a

9:31a

9:48a

10:04a

10:19a

10:34a

10:49a

11:04a

11:19a

11:34a

11:49a

12:04p

12:19p

12:35p

12:52p

1:08p

1:23p

1:38p

1:53p

2:08p

2:23p

2:38p 2:53p

3:08p

3:23p

3:38p

3:53p

4:08p

4:23p

4:38p

4:53p

5:08p

5:23p

5:38p

5:53p

6:08p

6:22p

6:36p

6:50p

7:04p

7:19p

7:34p

AVENTURA

1

6:25a

6:45a

7:05a

7:28a

7:49a

8:11a

8:26a

8:41a

8:56a

9:13a

9:29a

9:45a

10:02a

10:18a

10:33a

10:48a

11:03a

11:18a

11:33a

11:48a

12:03p

12:18p

12:33p

12:49p

1:06p

1:220

1:37p

1:52p

2:07p

2:22p

2:37p

2:52p 3:07p

3:22p

3:37p

3:52p

4:07p

4:22p

4:37p

4:52p

5:07p

5:22p

5:37p

5:52p

6:07p

6:22p

6:36p

6:50p G

7:04p

7:18p

7:33p

7:48p G

NORTH	BOUND	To Broward	Central Ter	minal	SOUTH	BOUND TO AN	entura Mall
AVENTURA MALL	HALLANDALE BCH BLV & US 1	YOUNG CIRCLE	FTL/HWD INTERNATIONAL AIRPORT	BROWARD CENTRAL TERMINAL	BROWARD CENTRAL TERMINAL	FTL/HWD I NTERNATIONAL AIRPORT	YOUNG CIRCLE
1	2	3	4	5	5	4	3
5:23a	5:35a	5:45a	6:04a	6:24a			
5:43a	5:55a	6:05a	6:24a	6:44a			
6:03a	6:15a	6:25a	6:44a	7:04a	5:20a	5:38a	6:02a
6:23a	6:35a	6:45a	7:04a	7:26a	5:40a	5:58a	6:22a
6:43a	6:55a	7:06a	7:27a	7:49a	6:00a	6:18a 6:38a	6:42a 7:03a
7:03a 7:18a	7:16a 7:31a	7:27a 7:42a	7:48a 8:03a	8:10a 8:25a	6:20a 6:40a	6:58a	7:03a 7:24a
7:18a 7:33a	7:31a 7:46a	7:42a 7:57a	8:03a	8:20a	7:00a	7:20a	7:46a
7:48a	8:01a	8:12a	8:33a	8:55a	- 7:15a	7:35a	8:01a
8:03a	8:16a	8:27a	8:48a	9:10a	_7:30a	7:50a	8:16a
8:18a	8:31a	8:42a	9:03a	9:26a	7:45a	8:05a	8:31a
8:33a	8:46a	8:57a	9:19a	9:42a	8:00a	8:20a	8:46a
8:48a	9:01a	9:13a	9:35a	9:58a	- 8:15a	8:35a	9:01a
9:03a	9:18a	9:30a	9:52a	10:15a	<u>8:30a</u>	8:50a	9:17a
9:18a	9:33a	9:45a	10:07a	10:30a	8:45a 9:00a	9:06a 9:22a	9:34a 9:50a
9:33a	9:48a	10:00a	10:22a	10:45a	- 9:15a	9:37a	10:05a
9:48a	10:03a	10:15a	10:37a	11:00a	9:30a	9:52a	10:20a
0:03a	10:18a	10:30a	10:52a	11:15a	9:45a	10:07a	10:35a
0:18a	10:33a	10:45a	11:07a	11:30a	10:00a	10:22a	10:50a
0:33a	10:48a	11:00a	11:22a	11:45a	10:15a	10:37a	11:05a
0:48a	11:03a	11:15a	11:37a	12:00p	<u>10:30a</u>	10:52a	11:20a
1:03a	11:18a	11:30a	11:52a	12:16p	10:45a	11:07a	11:35a
1:18a	11:33a	11:45a	12:07p	12:31p	11:00a	11:22a	11:50a
1:33a 1:48a	11:48a 12:03p	12:00p 12:16p	12:23p 12:39p	12:47p 1:03p	11:15a	11:37a 11:52a	12:05p 12:21p
2:03p	12:19p	12:32p	12:55p	1:19p	11:30a 11:45a	12:08p	12:38p
2:18p	12:34p	12:47p	1:10p	1:34p	12:00p	12:24p	12:54p
2:33p	12:49p	1:02p	1:25p	1:49p	12:15p	12:39p	1:09p
2:48p	1:04p	1:17p	1:40p	2:04p	12:30p	12:54p	1:24p
1:03p	1:19p	1:32p	1:55p	2:19p	12:45p	1:09p	1:39p
1:18p	1:34p	1:47p	2:10p	2:34p	1:00p	1:24p	1:54p
1:33p	1:49p	2:02p	2:25p	2:49p	1:15p	1:39p	2:09p
1:48p	2:04p	2:17p	2:40p	3:04p	<u>1:30p</u>	1:54p	2:24p
2:03p	2:19p	2:32p	2:55p	3:19p	1:45p 2:00p	2:09p 2:24p	2:39p 2:54p
2:18p	2:34p	2:47p	3:10p	3:34p	2:15p	2:39p	3:09p
2:33p	2:49p	3:02p	3:25p	3:49p	- 2:30p	2:54p	3:24p
2:48p	3:04p	3:17p	3:40p	4:04p	2:45p	3:09p	3:39p
3:03p	3:19p	3:32p	3:55p	4:19p	3:00p	3:24p	3:54p
3:18p	3:34p	3:47p	4:10p	4:34p	3:15p	3:39p	4:09p
3:33p	3:49p	4:02p	4:25p	4:49p	<u>3:30p</u>	3:54p	4:24p
3:48p	4:04p	4:17p	4:40p	5:04p	3:45p	4:09p	4:39p
4:03p 4:18p	4:19p 4:34p	4:32p 4:47p	4:55p 5:10p	5:19p 5:34p	4:00p	4:24p	4:54p
4:33p	4:49p	5:02p	5:25p	5:49p	4:15p 4:30p	4:39p 4:54p	5:09p 5:24p
4:48p	5:04p	5:17p	5:40p	6:04p	4:45p	5:09p	5:24p 5:39p
5:03p	5:19p	5:32p	5:55p	6:18p	5:00p	5:24p	5:54p
5:18p	5:34p	5:47p	6:10p	6:33p	5:15p	5:39p	6:08p
5:33p	5:49p	6:02p	6:24p	6:47p	5:30p	5:54p	6:22p
5:48p	6:04p	6:16p	6:38p	7:01p	5:45p	6:08p	6:36p
6:03p	6:18p	6:30p	6:52p	7:15p G	6:00p	6:22p	6:50p
	6:33p	6:45p	7:07p	7:30p	6:15p 6:30p	6:37p	7:05p
6:18p						6:52p	7:20p

### NORTHBOUND To Broward Central Terminal

6:53p	7:08p	7:20p	7:42p	8:05p
7:13p	7:28p	7:40p	8:02p	8:25p
7:33p	7:48p	8:00p	8:22p	8:45p G
7:53p	8:08p	8:20p	8:42p	9:05p
8:13p	8:28p	8:40p	9:02p	9:25p
8:33p	8:48p	9:00p	9:21p	9:43p G
9:03p	9:16p	9:27p	9:47p	10:08p
9:33p	9:46p	9:57p	10:16p	10:36p
10:03p	10:15p	10:25p	10:44p	11:04p
10:33p	10:45p	10:55p	11:14p	11:34p G
11:03p	11:15p	11:25p	11:44p	12:04a G

### SOUTHBOUND To Aventura Mall

SOUTHBOUND To Aventura Mall

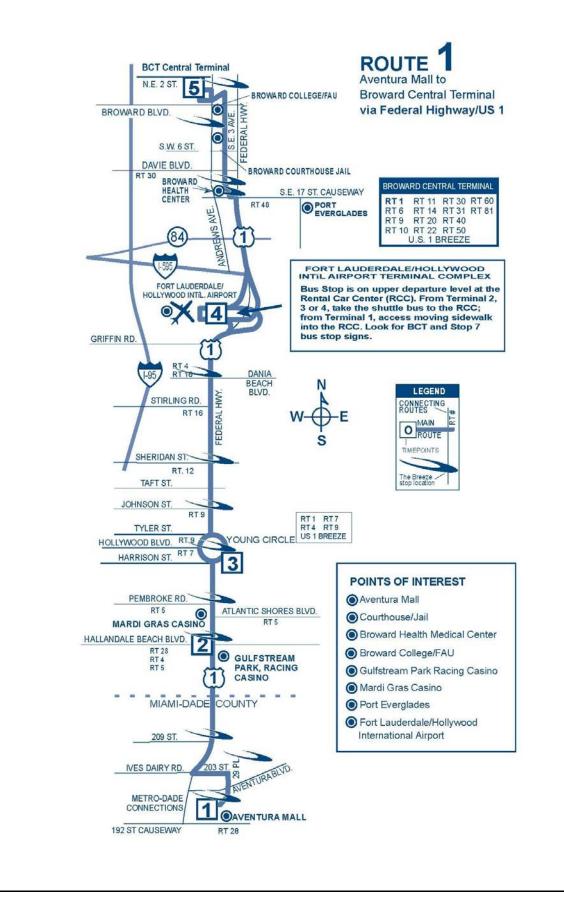
6:45p	7:07p	7:35p	7:49p	8:03p
7:00p	7:22p	7:50p	8:04p	8:18p
7:20p	7:42p	8:10p	8:24p	8:38p G
7:40p	8:02p	8:30p	8:43p	8:56p
8:00p	8:22p	8:50p	9:03p	9:16p
8:20p	8:42p	9:09p	9:21p	9:34p G
8:45p	9:05p	9:31p	9:43p	9:56p
9:15p	9:35p	10:01p	10:12p	10:24p
9:45p	10:05p	10:29p	10:40p	10:52p
10:15p	10:33p	10:57p	11:08p	11:20p G
10:45p	11:03p	11:27p	11:38p	11:50p G
11:15p	11:33p	11:57p	12:08a	12:20a G

## SUNDAY

### NORTHBOUND To Broward Central Terminal

#### FTL/HWD I NTERNATIONAL AIRPORT HALLANDALE BCH BLV & US 1 YOUNG CIRCLE AVENTURA BROWARD CENTRAL TERMINAL 2 3 1 4 5 6:03a 6:16a 6:25a 6:44a 7:03a 6:23a 6:36a 6:45a 7:04a 7:23a 7:24a 6:43a 6:56a 7:05a 7:43a 7:03a 7:16a 7:25a 7:44a 8:03a 7:23a 7:36a 7:45a 8:04a 8:23a 7:43a 7:56a 8:05a 8:24a 8:43a 8:03a 8:16a 8:25a 8:44a 9:03a 8:23a 8:36a 8:45a 9:04a 9:24a 8:43a 8:56a 9:06a 9:26a 9:46a 9:03a 9:17a 9:27a 9:47a 10:07a 9:23a 9:37a 9:47a 10:07a 10:28a 9:43a 9:57a 10:08a 10:29a 10:50a 10:03a 10:18a 10:29a 10:50a 11:11a 10:23a 10:38a 10:49a 11:10a 11:31a 10:43a 10:58a 11:09a 11:30a 11:51a 11:29a 11:50a 12:11p 11:03a 11:18a 11:23a 11:38a 11:49a 12:10p 12:31p 11:43a 11:58a 12:09p 12:30p 12:51p 12:29p 12:50p 1:11p 12:03p 12:18p 12:23p 12:38p 12:49p 1:10p 1:31p 12:43p 12:58p 1:09p 1:30p 1:51p 1:03p 1:18p 1:29p 1:50p 2:11p 2:31p 1:23p 1:38p 1:49p 2:10p 2:51p 2:30p 1:58p 2:09p 1:430 2:03p 2:18p 2:29p 2:50p 3:11p 2:23p 2:38p 2:49p 3:10p 3:31p 2:58p 3:09p 3:51p 2:43p 3:30p 3:03p 3:29p 3:50p 4:11p 3:18p 3:23p 3:38p 3:49p 4:10p 4:31p 3:43p 3:58p 4:09p 4:30p 4:51p 4:03p 4:18p 4:29p 4:50p 5:11p 4:38p 5:31p 4:23p 4:49p 5:10p 4:43p 4:58p 5:09p 5:30p 5:51p 5:03p 5:18p 5:29p 5:50p 6:11p 5:23p 5:38p 5:49p 6:10p 6:31p 6:51pG 5:58p 6:09p 5:43p 6:30p 6:03p 6:18p 6:29p 6:48p 7:08p 6:33p 6:48p 6:59p 7:18p 7:38p 7:03p 7:17p 7:27p 7:47p 8:07p 8:37p 7:33p 7:47p 7:57p 8:17p 8:03p 8:17p 8:27p 8:47p 9:07p 8:33p 8:47p 8:57p 9:16p 9:35p G 9:03p 9:16p 9:25p 9:44p 10:03p G

8-	J L	D		LANDALE BLV & US 1	RA
BROWARD	TERMINAL	FTL/HWD INTERNATIONAL AIRPORT	YOUNG	HALLANDALE BCH BLV & US	AVENTURA MALL
4	5	4	3	2	1
6:0	00a	6:19a	6:44a	6:55a	7:06a
6:	20a	6:39a	7:04a	7:15a	7:26a
6:	40a	6:59a	7:24a	7:35a	7:46a
	00a	7:19a	7:44a	7:55a	8:06a
	20a	7:39a	8:04a	8:15a	8:26a
	40a	7:59a	8:24a	8:35a	8:46a
	00a	8:19a	8:44a	8:55a	9:07a
	20a	8:39a	9:04a	9:16a	9:28a
1000	40a	8:59a	9:25a	9:37a	9:49a
	00a	9:20a	9:46a	9:58a	10:11a
	20a	9:40a	10:06a	10:19a	10:32a
	40a	10:00a	10:27a	10:40a	10:53a
	00a 20a	10:21a 10:41a	10:48a 11:08a	11:01a 11:21a	11:14a 11:34a
	20a 40a	11:01a	11:08a 11:28a	11:21a 11:41a	11:34a 11:54a
1000	40a 00a	11:21a	11:48a	12:01p	12:14p
	20a	11:41a	12:08p	12:21p	12:34p
	40a	12:01p	12:28p	12:21p	12:54p
	40a	12:21p	12:48p	1:01p	1:14p
	20p	12:41p	1:08p	1:21p	1:34p
	40p	1:01p	1:28p	1:41p	1:54p
	00p	1:21p	1:48p	2:01p	2:14p
	20p	1:41p	2:08p	2:21p	2:34p
	40p	2:01p	2:28p	2:41p	2:54p
	00p	2:21p	2:48p	3:01p	3:14p
	20p	2:41p	3:08p	3:21p	3:34p
2:	40p	3:01p	3:28p	3:41p	3:54p
	00p	3:21p	3:48p	4:01p	4:14p
3:	20p	3:41p	4:08p	4:21p	4:34p
3:	40p	4:01p	4:28p	4:41p	4:54p
	00p	4:21p	4:48p	5:01p	5:14p
	20p	4:41p	5:08p	5:21p	5:34p
	40p	5:01p	5:28p	5:41p	5:54p
	00p	5:21p	5:48p	6:01p	6:14p
	20p	5:41p	6:08p	6:21p	6:34p G
	40p	6:01p	6:28p	6:41p	6:54p
	00p	6:21p	6:48p	7:01p	7:13p
	20p	6:41p	7:08p	7:20p	7:32p G
	45p	7:06p	7:32p	7:44p	7:56p
	15p	7:35p	8:01p	8:13p	8:25p
7:0	45p	8:05p	8:31p	8:43p	8:55p
	15p	8:35p	9:01p	9:12p	9:23p G
	45p	9:05p	9:30p	9:41p	9:52p G
9:	15p	9:34p	9:59p	10:10p	10:21p G



#### **TRANSFER POLICY 7/10/11**

## TRANSFERS BETWEEN REGULAR BUS ROUTE SERVICE AND PREMIUM EXPRESS BUS SERVICE

A BCT 31-Day Premium Express Bus Pass is acceptable on all BCT regular bus service. Passengers transferring from regular route bus service to express bus service with an All Day, 7-Day or 31-Day bus pass, must pay a premium upgrade fee of \$1.00. Passengers with a regular 10-Ride bus pass or paying by cash on regular service will not be able to transfer between bus services and must pay the full premium fare when boarding the Express bus.

#### TRANSFERS FROM BCT TO OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When boarding a BCT bus, passenger pays the appropriate BCT fare and may request a transfer from the bus operator if transferring to Miami-Dade Transit (MDT), Palm Tran or Tri-Rail.

#### TRANSFERS TO BCT FROM OTHER SOUTH FLORIDA TRANSIT SYSTEMS

When transferring from MDT, Palm Tran and Tri-Rail to BCT regular fixed-route bus service, passenger pays \$.50 with a transfer issued by MDT or Palm Tran and proof of fare payment such as Easy Card and receipt issued by Tri-Rail. Tri-Rail passengers boarding BCT at any locations other than at a Tri-Rail station will be required to pay the full fare.

#### TRANSFERS BETWEEN OTHER SOUTH FLORIDA TRANSIT SYSTEMS AND PREMIUM EXPRESS BUS SERVICE

Transfers to MDT or Tri-Rail from Express, a transfer is issued and passenger must pay appropriate MDT or Tri-Rail fare.

Transfer from MDT or Tri-Rail to Express, a \$ .50 transfer fee is required with the appropriate transfer from MDT or Tri-Rail.

The Express does not connect with Palm Tran.

The Easy Card issued by MDT and Tri-Rail is not accepted as payment on any BCT bus.

#### For more details on our fares please visit our web site at broward.org/bct or call customer service: 954.357.8400.

#### Reading A Timetable - It's Easy

- 1. The map shows the exact bus route.
- 2. Major route intersections are called time points. Time points are shown with the symbol □.
- The timetable lists major time points for bus route. Listed under time points are scheduled departure times.
- 4. Reading from left to right, indicates the time for each bus trip.
- The bus picks up and drops off riders at all BCT bus stop signs along the route where there is a Broward County bus stop sign.
- Arrive at the bus stop five minutes early. Buses operate as close to published timetables as traffic conditions allow.

### Not paying your fare is a crime per Florida Statute 812.015. Violation constitutes a misdemeanor, punishable by jail time and/or a fine.

### Information: 954.357.8400

## Hearing-speech impaired/TTY: 954.357.8302

This publication can be made available in large print, tape cassette, or Braille, by request.



This symbol is used on bus stop signs to indicate accessible bus stops.



BOARD OF COUNTY COMMISSIONERS An equal opportunity employer and provider of services.



WHEN IT COMES TO OUR SAFETY, WE CAN ALWAYS USE AN EXTRA PAIR OF EYES AND EARS. BE ALERT. CALL 954-357-LOOK (5665). TELL US.

#### PROTECTIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED

Any person(s) or group(s) who believes that they have been subjected to discrimination because of race, color, or national origin, under any transit program or activity provided by Broward County Transit (BCT), may call 954-357-8481 to file a Title VI discrimination complaint or write to Broward County Transit Division, Compliance Manager, 1 N. University Drive, Suite 3100A, Plantation, FL 33324.

- Conformity with Broward County Land Use Plan, City's Comprehensive Plan &
   Platting, Zoning Codes, Ordinances or Regulations
   This development complies with all the sections of Broward County's & the City of
   Hallandale Beach's Land Use Code.
  - a. City Comprehensive Plan & Land Use Designation:
     All policies under the City's Comprehensive Plan, Objective 1.1 shall be met. The applicant has submitted this pursuant to Policy 1.1.3. The development adheres to all other concurrency items listed therein.
  - Broward County Comprehensive and Land Use Plans:
     This site conforms with the Broward County Comprehensive and Land Use Plans
- Coordination with Agencies having jurisdiction over the development
   All applicable permits and coordination with applicable agencies shall be accomplished prior to the commencement of construction on this property.

### b. SCOPE

After detailed evaluation of the project requirements and the impact to the existing public services and facilities, it was determined that the proposed development will not adversely affect any of the existing public facilities, services and the current levels of service of the City of Hallandale Beach.

### c. Ground Water Quality

This project will be designed in accordance with County, State, and Federal provisions for the protection of groundwater quality. This will include provisions required for water quality treatment including on-site retention for the greater of one inch (1") of runoff from the total project area or two and a half inches (2 ½") times the percent impervious as required by Broward County Chapter 27. In addition, the Federal NPDES guidelines will be incorporated in the design for the elimination of pollutant discharges during construction. The storm water system proposed is a series of exfiltration trenches and pollution retardant devices within the catch basins with ultimate discharge to on-site drainage wells.

### d. Waste Water

The City sends it wastewater to the City of Hollywood Southern Regional Wastewater Treatment Plant (WWTP) located at 1621 North 14th Avenue in Hollywood, Florida. The plant is currently permitted to treat 48.75 MGD had has a utilized capacity (existing and committed flow) of 41.94 MGD. This means that the plant is 86% committed capacity. Due to the small demand projected for this development, the City most likely will approve the additional connections required for this development.

Existing single family homes flow of 2 units x 350 gpd = 700 gpd. New multi-family residential units flow of 24 units x 250 gpd = 6,000 gpd. The net increase in flow is 5,300 gpd.

Proposed sewer discharge is into the existing 8-inch gravity system along S.E. 4<sup>th</sup> Street, on the south side of the project.

### e. Potable Water

The City of Hallandale Beach Water plant, located at 215 NW 6<sup>th</sup> Avenue, currently has adequate potable water supply to serve this site.

Existing single family flow of 2 units x 350 gpd = 700 gpd. New multi-family residential units flow of 24 units x 350 gpd = 8,400 gpd. The net increase in flow demand is 7,700 gpd. Proposed water meter connection(s) will be to the existing 8-inch water main along SE 4<sup>th</sup> Street on the south side of the project.

### f. Solid Waste

As this project is a residential development, the normal amount of refuse will be generated by the population of this 24 unit development. Refuse and recyclables will be collected within the dumpster enclosures to be picked up by the sanitation division of the City of Hallandale Beach.

### g. Other Utilities

Other Utility companies having franchises within this area include FP&L, AT&T, Comcast Cable TV, and TECO Gas. All of these utility companies that currently serve the immediate area, are not expected to burden the existing infrastructure of these utility companies.

### h. Traffic

A traffic impact analysis is attached to this report. Please refer to the supporting documents prepared by TrafTech.

### i. Public Safety

There are three fire stations within the city of Hallandale Beach available to serve the site at the following locations:

- Fire Station #7 121 SW 3rd Street. Fire Station #7 houses several fire suppression and emergency medical units. From this station, Rescue #7, Engine #7, Quint #7 and Battalion Chief #7 respond to calls in their assigned zone. This station provides housing for emergency personnel 24 hours a day, 7 days a week.
- Fire Station 60 2801 E. Hallandale Beach Boulevard. Fire Station #60 is located under the water tower on North Beach. From this station, Rescue #60 and Engine #60 respond to emergencies on South Ocean Drive. This station is also staffed 24 hours a day, 7 days a week.
- 3. Fire Station 90-101 Three Island Boulevard. Fire Station #90 houses a single rescue unit. Rescue #90 responds to medical calls in their zone, as well as fire calls and motor vehicle crashes. Station #90 is fully staffed 24 hours a day, 7 days a week.

The City of Hallandale Police Department provides police service within this service. It is not anticipated that the proposed development will provide additional demand on police service in this area, assuming that conforms with the C.P.T.E.D. criteria is adhered to.

Entrances and exits shall be clearly defined by walkways and signage. Parking areas, access

points and walkways shall be well lit.

### j. School Facilities

This project contains 24 units. School facilities impacts will be offset by paying the concurrency fee to Broward County.

### k. Parks and Open Spaces

This project will contribute a minimal amount of visitor traffic and is not expected to cause any significant problems to the existing infrastructure of the City's Parks and Open Spaces.

The City currently has 58.76 acres of public parks and open spaces and 106.68 acres of public waterways. Below is a listing of the parks and open spaces in the vicinity of the project.

### Peter Bluesten Park, 501 Southeast 1st Avenue

Fifteen-acre facility consisting of a community center, tennis courts, racquet courts, outdoor basketball courts, sand volleyball courts, ball fields, in-line skating area, concession stand and a playground.

### B.F. James Park, 101 Northwest 9th Street

Two-acre park with playground, baseball field, outdoor basketball courts and pavilion.

### Foster Park, 609 Northwest 6th Avenue

One-acre park with playground, outdoor basketball court, pavilion and community center.

### Golden Isles and Tennis Complex, Egret Drive and Layne Boulevard

This facility contains a tot lot, pavilion, basketball court, tennis complex and walking trail.

### Ingalls Park, 735 Southwest 1st Street

This 4.6-acre park houses a community center, fitness trail, pavilions, gazebo and playground area.

### Oresta Blake Johnson Park, 900 Northwest 8th Avenue

This park is a 4.5-acre facility that consists of a gymnasium, recreation rooms, tennis courts, racquetball courts, outdoor basketball courts, fields, in-line skating area, concession stand and a playground.

Joseph Scavo Park, 900 Three Island Boulevard This Seven-acre facility includes a walking trail, benches and a tot lot. I. Community Facilities

This project is not expected to have any negative impacts on the following four City's community facilities:

- 1. Hallandale Beach Cultural Community Center
- 2. Hallandale Beach YMCA Family Center
- 3. BF James Park and Municipal Swimming Pool
- 4. Broward County Library located at 300 Federal Highway

### m. Historical Aspects

There are no known historical or archeological sites which currently existing on this property.

### n. Scenic Vistas There are no observable scenic vistas from the existing property.

# Low- and Moderate-Priced Housing This project's 24 units will contribute to the City's inventory of moderate-priced housing.

J:/2019/19031-Leisure Apartments/WP/Impact Analysis/Leisure Apartments - Impact Analysis.wpd