



Hallandale Beach  
PROGRESS. INNOVATION. OPPORTUNITY.

DESIGN-BUILD FOR:

# HALLANDALE COMMONS

301-323 FOSTER RD.  
HALLANDALE BEACH, FL

PROJECT TEAM:

**OWNER:**  
HALLANDALE BEACH CRA  
400 N. FEDERAL HIGHWAY  
HALLANDALE BEACH, FL  
(954) 457 2228

**DEVELOPER:**  
DONALDSON-WEST VENTURE, LLC  
318 S. DIXIE HIGHWAY, SUITE 4-5  
LAKE WORTH, FL 33460  
(215) 869-9233

**GENERAL CONTRACTOR:**  
WEST CONSTRUCTION, INC.  
318 S DIXIE HIGHWAY, SUITE 4-5  
LAKE WORTH, FLORIDA 33460  
(561) 588 2027

**ARCHITECT:**  
WEST ARCHITECTURE + DESIGN, LLC  
318 S DIXIE HIGHWAY, SUITE 4-5  
LAKE WORTH, FLORIDA 33460  
(561) 588 2027

**CIVIL ENGINEER:**  
GLOBE ENGINEERING, INC.  
4839 SW 148 AVENUE, SUITE 507  
FORT LAUDERDALE, FL  
(954) 316-7628

**LANDSCAPE ARCHITECT:**  
BRUCE E. CUMMINGS, P.A.  
235 COMMERCIAL BOULEVARD, SUITE 203  
LAUDERDALE-BY-THE-SEA, FLORIDA  
(954) 771-8184

PROJECT SCOPE:

DESIGNED IN MID-CENTURY MODERN ARCHITECTURE STYLE. THIS PROJECT CONSISTS OF 3 BUILDINGS WITH 10 TOWNHOUSE UNITS IN A RESIDENTIAL AREA. THE 0.54 ACRE SITE IS LOCATED RIGHT ON FOSTER ROAD WITH A TOTAL 15,944 SF LIVING SPACE. FACADE WAS ARTICULATED TO CREATE A PEDESTRIAN SCALE WITH VARIETY OF MATERIALS. THE MODULATION OF FACADE SURFACE BOTH HORIZONTAL AND VERTICAL CREATES HIERARCHY OF ELEMENTS DEFINING THE INTERIOR SPACES. THE PROJECT ALSO INCLUDES SITE DESIGN AND ALL THE ASSOCIATED ELEMENTS.

EXHIBIT "4"

MATTHEW F. WEST  
AR 93859



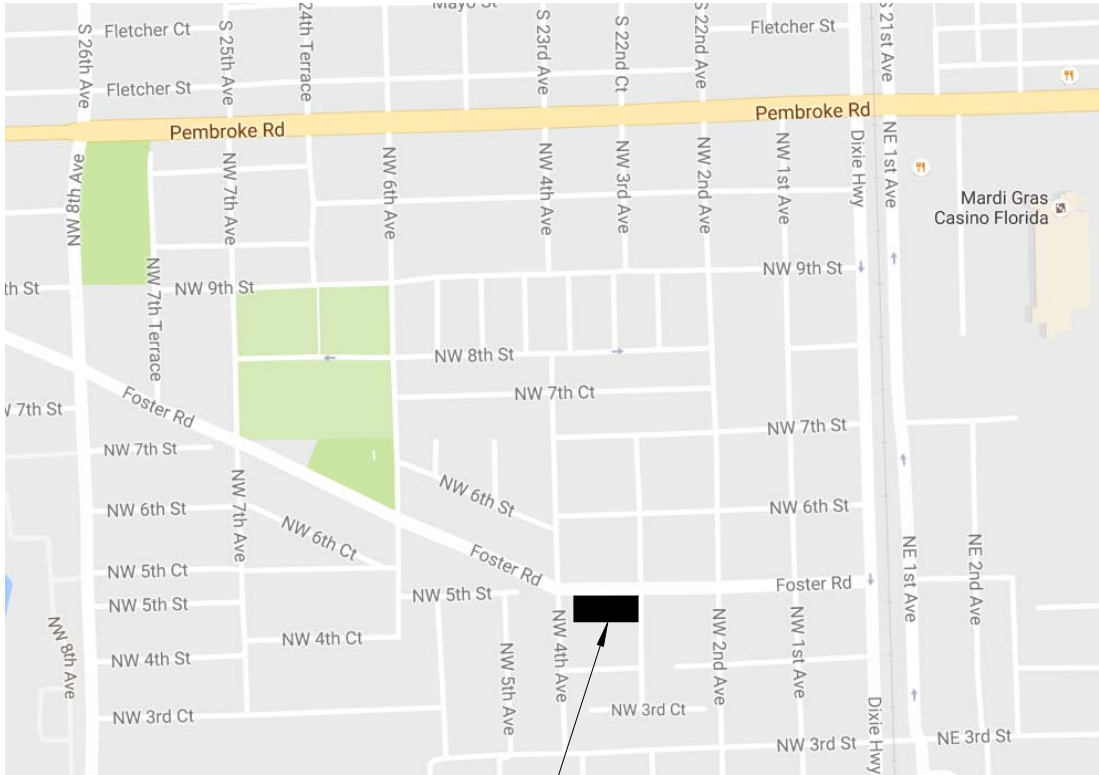
WEST  
ARCHITECTURE  
+ DESIGN, LLC  
AA26001503

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CONSULTANT:



PROJECT LOCATION

KEY PLAN  
1" = 300'-0"

SHEET INDEX:

|               |  |   |
|---------------|--|---|
| GENERAL       | A-0.00<br>S1<br>AC-1.00                                  | COVER SHEET<br>SURVEY<br>BUILDING CODE INFORMATION + LIFE SAFETY PLAN + AREA CALCULATIONS                                       |
|               | AS-1.00<br>AS-1.10<br>AS-1.20                            | ARCHITECTURAL SITE PLAN<br>ARCHITECTURAL SITE PLAN DETAILS<br>SITE PHOTOMETRICS   |
| CIVIL         | C-1<br>C-2<br>C-3  | PAVING, DRAINAGE, WATER AND SEWER PLAN<br>CIVIL ENGINEERING DETAILS<br>CIVIL ENGINEERING DETAILS                                |
| LANDSCAPE     | L-1  | LANDSCAPE PLAN  |
| ARCHITECTURAL | A-1.00<br>A-1.10<br>A-1.20<br>A-1.30<br>A-2.00<br>A-2.10 | OVERALL FLOOR PLANS<br>UNIT TYPE 'A' FLOOR PLANS<br>UNIT TYPE 'B' FLOOR PLANS<br>ROOF PLAN<br>EXTERIOR ELEVATIONS<br>RENDERINGS |

DESIGN & BUILD FOR :

## HALLANDALE COMMONS

301-323 FOSTER RD.  
HALLANDALE BEACH FL

DATE: 03-16-2017  
NUMBER: A16-011  
REVIEWED: MFW  
MANAGED: PG  
DRAWN: BG

REVISION:

FOR THE USE OF THE PLANNING & ZONING DEPARTMENT

PRELIMINARY SET  
NOT FOR  
CONSTRUCTION

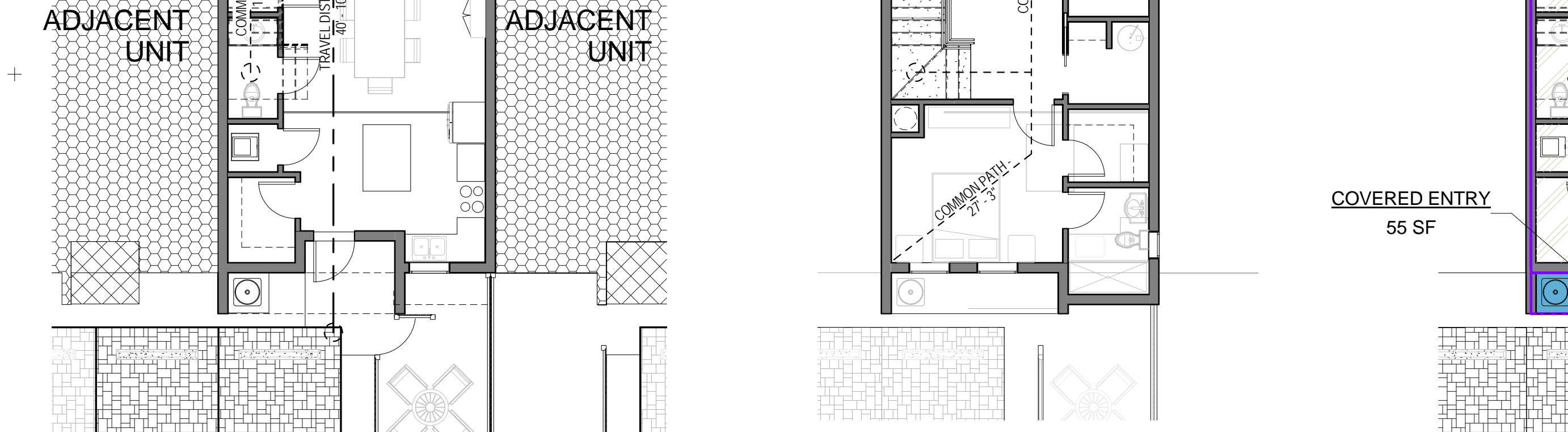
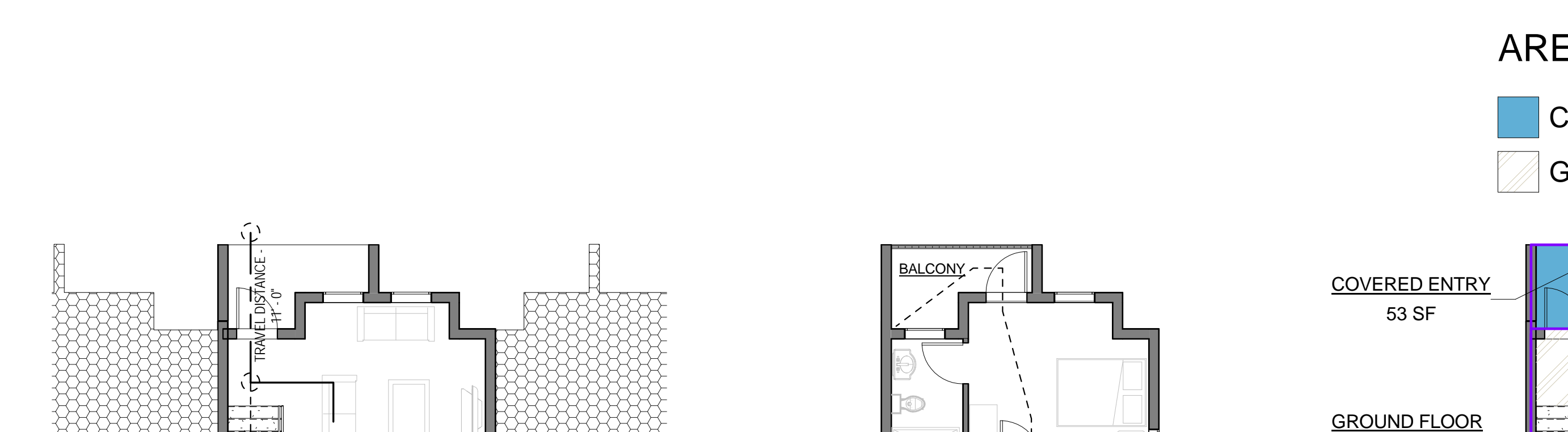
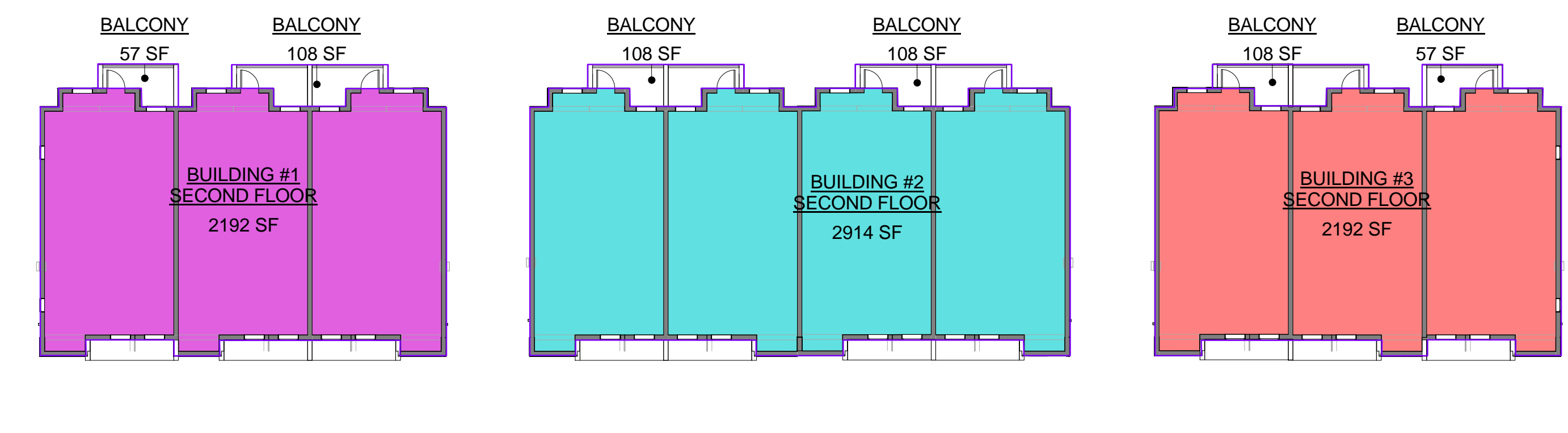
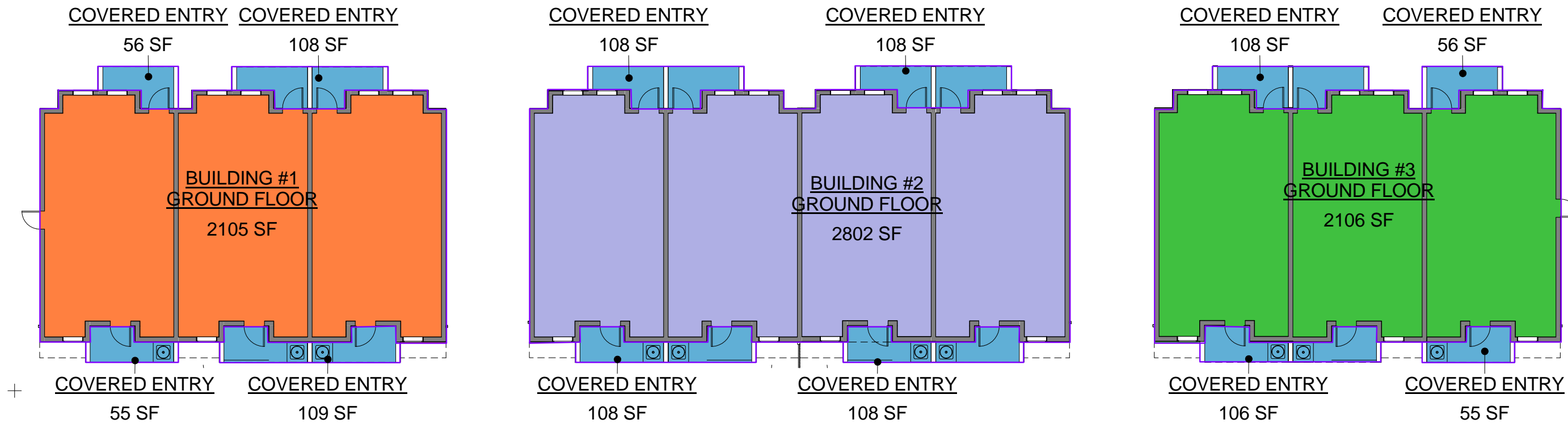
COVER SHEET

A-0.00





WestArchitect-Denry LLC - Project/310/PROJECTS/HA011 - Hallandale Commons/310/Construction Documents/310/ - RESUBMITTAL/HA011 - Hallandale Commons/310/01 - 1/16/2017 - Hallandale Commons/310/01 - 1/16/2017 - 1/16/2017



### AREA PLAN KEY

- BUILDING #1 GROUND FLOOR
- BUILDING #2 GROUND FLOOR
- BUILDING #3 GROUND FLOOR
- COVERED ENTRY

### AREA PLAN KEY

- BALCONY
- BUILDING #1 SECOND FLOOR
- BUILDING #2 SECOND FLOOR
- BUILDING #3 SECOND FLOOR

### AREA PLAN KEY

- COVERED ENTRY
- GROUND FLOOR

### AREA PLAN KEY

- BALCONY
- SECOND FLOOR

**B** TYPICAL UNIT LIFE SAFETY PLAN

AC-1.00 1/8" = 1'-0"

**A** TYPICAL UNIT AREA PLAN

AC-1.00 1/8" = 1'-0"

|   |  |  |
|---|--|--|
| LIFE SAFETY CODE:   |  |  |
| FLORIDA FIRE PREVENTION CODE, 5TH EDITION<br>NFPA 101, LIFE SAFETY CODE, 2012 EDITION |  |  |
| OCCUPANCY CLASSIFICATION  |  |  |
| (CHAPTER 10)  |  |  |
| REQUIRED SEPARATION OF OCCUPANCIES  |  |  |
| R TO R  |  |  |
| MEANS OF EGRESS   |  |  |
| OCCUPANT LOAD   |  |  |
| RESIDENTIAL   |  |  |
| TOTAL OCCUPANT LOAD   |  |  |
| REQUIRED MEANS OF EGRESS  |  |  |
| MINIMUM STAIR WIDTH   |  |  |
| MINIMUM WIDTH PER OCCUPANT SERVED   |  |  |
| PER LEVEL   |  |  |
| NUMBER OF MEANS OF EGRESS   |  |  |
| ARRANGEMENT OF MEANS OF EGRESS  |  |  |
| DEAD END  |  |  |
| COMMON PATH   |  |  |
| TRAVEL DISTANCE   |  |  |

|                           |               |              |            |
|---------------------------|---------------|--------------|------------|
| AREA CALCULATIONS         |               |              |            |
| AREA (TYPICAL UNIT)       | ENCLOSED (SF) | COVERED (SF) | TOTAL (SF) |
| TYPICAL UNIT GROUND FLOOR | 692 SF        | 108 SF       | 800 SF     |
| TYPICAL UNIT SECOND FLOOR | 723 SF        | 55 SF        | 778 SF     |
| TYPICAL UNIT TOTAL        | 1,415 SF      | 163 SF       | 1,578 SF   |
| AREA (BUILDING)           |               |              |            |
| BUILDING 1 GROUND FLOOR   | 2,105 SF      | 328 SF       | 2,433 SF   |
| BUILDING 1 SECOND FLOOR   | 2,192 SF      | 165 SF       | 2,357 SF   |
| BUILDING 1 TOTAL          | 4,297 SF      | 493 SF       | 4,790 SF   |
| BUILDING 2 GROUND FLOOR   | 2,802 SF      | 432 SF       | 3,234 SF   |
| BUILDING 2 SECOND FLOOR   | 2,914 SF      | 216 SF       | 3,130 SF   |
| BUILDING 2 TOTAL          | 5,716 SF      | 648 SF       | 6,364 SF   |
| BUILDING 3 GROUND FLOOR   | 2,105 SF      | 328 SF       | 2,433 SF   |
| BUILDING 3 SECOND FLOOR   | 2,192 SF      | 165 SF       | 2,357 SF   |
| BUILDING 3 TOTAL          | 4,297 SF      | 493 SF       | 4,790 SF   |
| TOTAL PROJECT             | 14,310 SF     | 1,634 SF     | 15,944 SF  |

|   |                             |            |
|---|-----------------------------|------------|
| BUILDING DATA:                                |                             |            |
| FLORIDA BUILDING CODE 2014 5TH EDITION        |                             |            |
| OCCUPANCY CLASSIFICATION                      | R-2 RESIDENTIAL             |            |
| TYPE OF CONSTRUCTION                          | TYPE V (B) (UN-SPRINKLERED) |            |
| MAXIMUM HEIGHT IN FEET                        | 40 FT                       | +/- 27'-0" |
| MAX. NO. STORIES                              | 2                           | 2          |
| AREA: MULTISTORY                              | N/A                         | N/A        |
| AREA: ONE STORY                               | 7,000 SF                    |            |
| REQUIRED SEPARATION OF OCCUPANCIES            | R-2 TO R-2                  |            |
| FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS | ALLOWED                     |            |
| PRIMARY STRUCTURAL FRAME                      | 0 HR                        | 0 HR       |
| BEARING WALLS                                 | 0 HR                        | 0 HR       |
| NONBEARING WALLS AND PARTITIONS               | 0 HR                        | 0 HR       |
| FLOOR CONSTRUCTION                            | 0 HR                        | 0 HR       |
| ROOF CONSTRUCTION                             | 0 HR                        | 0 HR       |
| FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS    | ALLOWED                     |            |
| FIRE SEPARATION DISTANCE                      | 0 FT TO 5 FT                | 1          |
| OVER 5 FT TO 10 FT                            | 1                           | 1          |
| OVER 10 FT TO 30 FT                           | 0                           | 0          |
| OVER 30 FT                                    | 0                           | 0          |
| MEANS OF EGRESS                               | ALLOWED                     |            |
| OCCUPANT LOAD                                 | 7.23                        |            |
| RESID (R-2) - (1/200 GROSS, 1,445/200 = 7.23) | 7.23 (B)                    | 8          |
| EGRESS WIDTH PER OCCUPANT SERVED              | 36 IN                       | 36 IN      |
| STAIRS (0.3 X 7.23 (2ND FL) = 2.17)           | 2.17                        | 36 IN      |
| LEVEL (0.2 X 7.23 = 1.45)                     | 1.45 IN                     | 34 IN      |
| MINIMUM CLEAR OPENING OF EXIT DOORS           | 32 IN                       | 34 IN      |
| MINIMUM STAIR WIDTH                           | 36 IN                       | 36 IN      |
| COMMON PATH OF EGRESS                         | 75 FT (125 FT.)             | 57'-9"     |
| EXIT ACCESS TRAVEL DISTANCE                   | 200 FT. (250 FT.)           | 40'-10"    |
| DEAD ENDS                                     | 20 FT.                      | N/A        |
| MINIMUM NUMBER OF EXITS                       | 2                           | 2          |

|  |               |   |             |   |                   |   |                     |   |                     |   |  |
|--|---------------|---|-------------|---|-------------------|---|---------------------|---|---------------------|---|--|
| PLUMBING FIXTURE CALCULATIONS: TYPICAL UNIT<br>PER FLORIDA PLUMBING CODE, 6TH EDITION (2014), (TABLE 403.1.)<br>MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES |               |   |             |   |                   |   |                     |   |                     |   |  |
| OCCUPANCY  | WATER CLOSETS |   | LAVATORIES  |   | DRINKING FOUNTAIN |   | SERVICE SINK        |   | SHOWER              |   |  |
| RESIDENTIAL (R-2)  | MALE/FEMALE   |   | MALE/FEMALE |   | NOT REQ.          |   | 1 KITCHEN SINK/UNIT |   | 1 PER DWELLING UNIT |   |  |
| 1 PER DWELLING UNIT  | REQUIRED      |   | REQUIRED    |   | REQ.              |   | REQ.                |   | REQ.                |   |  |
| 1,578 SF / 200   | 7.89          | 1 | 1           | 1 | 0                 | 0 | 1                   | 1 | 1                   | 2 |  |
| TOTAL  | 8             | 1 | 3           | 1 | 3                 | 0 | 0                   | 1 | 1                   | 2 |  |

|  |   |
|--|---|
| LIFE SAFETY LEGEND   |   |
| -----  | COMMON PATH                                 |
| -----  | MAXIMUM TRAVEL DISTANCE TO AN EXIT          |
| -----  | SEPARATION OF EXITS                         |
| FE   | FIRE EXTINGUISHER - MP5 (OR APPROVED EQUAL) |
| GENERAL NOTES:   |   |
| 1. FIRE EXTINGUISHERS TO BE MULTI-PURPOSE ABC (DRY CHEM) INSTALL IN ACCORDANCE W/ NFPA 10. |   |

FOR THE USE OF THE PLANNING & ZONING DEPARTMENT

MATTHEW F. WEST  
AR 93859



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+ DESIGN, LLC  
AA2601503

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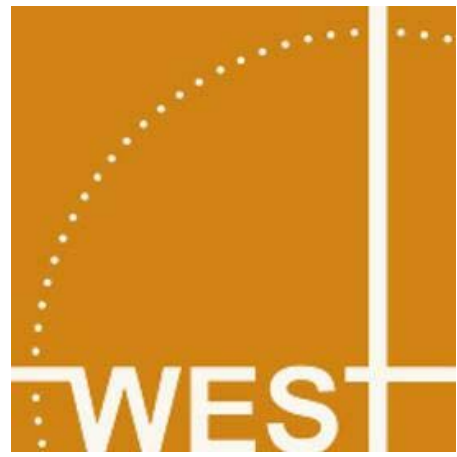
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BUILDING CODE  
INFORMATION +  
LIFE SAFETY PLAN  
+ AREA  
CALCULATIONS

AC-1.00





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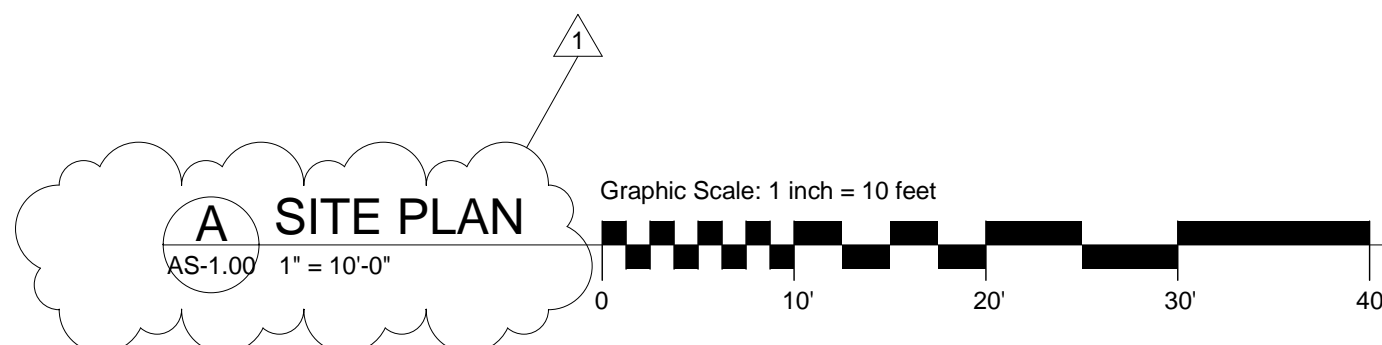
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CONSTRUCTION

ARCHITECTURAL  
SITE PLAN

AS-1.00

## FOSTER ROAD

RAC  
WEST "RAC" DISTRICT



## LEGAL DESCRIPTION:

THE EAST 112 FEET OF LOTS 9, AND 11; LOT 12 AND LOT 10, IN BLOCK D, OF GEORGE M. PHIPPEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 145, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LYING AND BEING IN BROWARD COUNTY, FLORIDA, LESS THE NORTH PORTION OF LOTS 11 AND 12 HERETOFORE CONVEYED TO THE CITY OF HALLANDALE FOR STREET PURPOSE, LESS PORTIONS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PART OF LOT 11, BLOCK D, GEORGE M. PHIPPEN'S SUBDIVISION OF PART OF BLOCK 16 AND 4 VALENTINE'S SURVEY OF HALLANDALE, FLORIDA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK B, PAGE 145, DADE COUNTY RECORDS, SAID LANDS SITUATED IN HALLANDALE BROWARD COUNTY, FLORIDA, MORE PARTICULARLY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 11, RUN WEST AND ALONG THE NORTHLINE OF SAID LOT 11, 109.35 FEET MORE OR LESS; THENCE RUN SOUTH 90°00'00", A DISTANCE OF 7.73 FEET, THENCE RUN SOUTHEASTERLY, A DISTANCE OF 109.35 FEET MORE OR LESS TO A POINT ON THE EAST LINE OF SAID LOT 11 LOCATED 9.83 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 11; THENCE RUN NORTH AND ALONG THE EAST LINE OF SAID NORTHEAST CORNER OF SAID LOT 11, 9.83 FEET TO THE NORTHEAST CORNER OF LOT 11 AND THE POINT OF BEGINNING.

THAT PART OF LOT 12, BLOCK D, GEORGE M. PHIPPEN'S SUBDIVISION OF PART OF BLOCK 16 AND 4 VALENTINE'S SURVEY OF HALLANDALE, FL, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK B, PAGE 145, DADE COUNTY RECORDS, SAID LANDS SITUATE IN HALLANDALE, BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 12, RUN WEST AND ALONG THE NORTH LINE OF SAID LOT 12, 150.00 FEET, THENCE RUN SOUTH AND ALONG THE WEST LINE OF LOT 12, 9.83 FEET, THENCE RUN SOUTHEAST, 150.02 FEET, THENCE NORTH ALONG THE EAST LINE OF SAID LOT 12, 17.71 FEET TO THE POINT OF BEGINNING.

Said Lands lying in the City of Hallandale, Broward County, Florida and containing 23,735 square feet (0.5449 acres) more or less.

## SITE DATA:

|  |  |   |
|--|--|---|
| A. ZONING DISTRICT:  | RAC - WEST RAC DISTRICT  |   |
| B. FUTURE LAND USE DESIGNATION:  | RAC - WEST RAC DISTRICT  |   |
| C. PROPOSED LOT AREA:  | REQUIRED:<br>10,000 SF   | PROPOSED:<br>23,296 SQ. FT.                           |
| D. PROPOSED LOT WIDTH:   | N/A  | 262 FT.   |
| E. PROPOSED BUILDING HEIGHT:<br>(PRIMARY STRUCTURE)  | 2 STORIES<br>OR 30 FT.   | 2 STORIES<br>27 FT.                                   |
| G. PROPOSED BUILDING SETBACKS:   | FRONT<br>2' MIN, 10' MAX<br>REAR<br>20'-0"<br>SIDE<br>15'-0"<br>SIDE STREET<br>20'-0"<br>BETWEEN BUILDINGS<br>20'-0" | 0'-0" to 8'-0"<br>47'-0"<br>7'-8"<br>10'-6"<br>12'-6" |
| H. PROPOSED RESIDENTIAL DENSITY:   | 18 Units/Acre  | 18.69 Units/Acre                                      |
| I. PROPOSED LIVING AREA:<br>(PRIMARY STRUCTURE)<br>UNIT TYPE A (NET)<br>UNIT TYPE B (NET)<br>TOTAL | N/A  | 1,415 SF P. UN.<br>1,415 SF P. UN.<br>15,944 SQ. FT.  |
| K. PROPOSED LANDSCAPE AREA:  | N/A  | 19 %<br>(4,467 SF)                                    |
| M. PROPOSED WALL HEIGHT<br>AT SIDE SETBACK:  | N/A  | 27'-0"<br>HEIGHT                                      |

## PARKING CALCULATIONS:

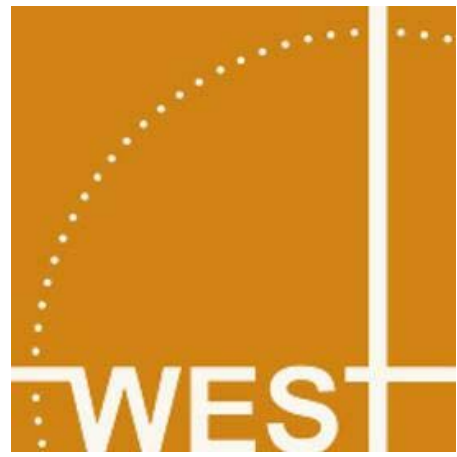
| REQUIRED PARKING:                | RATIO                               | # UNITS | NO. OF SPACES |
|----------------------------------|-------------------------------------|---------|---------------|
| BUILDING TYPE (100% - 15,944 SF) |                                     |         |               |
| RESIDENTIAL (100%)               | (2 / UNIT)                          | 10      | 20 SPACES     |
| GUEST (0%)                       | (.5 / UNIT)                         | 10      | 5 SPACES      |
| TOTAL REQUIRED:                  |                                     |         | 25 SPACES     |
| PROVIDED PARKING:                | OFF STREET STANDARD SPACES: (9x18') |         | 20 SPACES     |
| TOTAL PROVIDED:                  |                                     |         | 20 SPACES     |

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## PROPERTY KEY PLAN

AS-1.00 1" = 60'-0"





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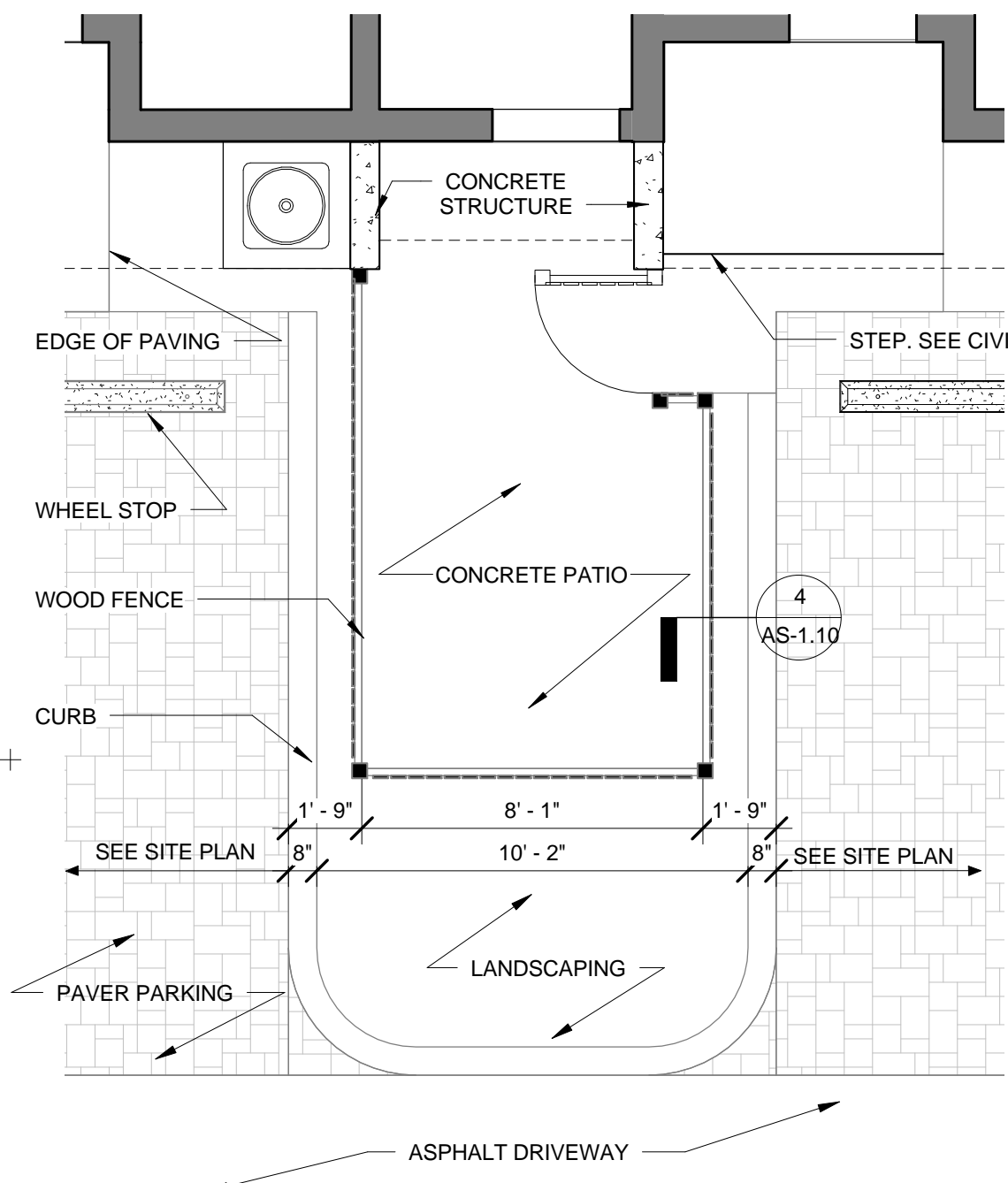
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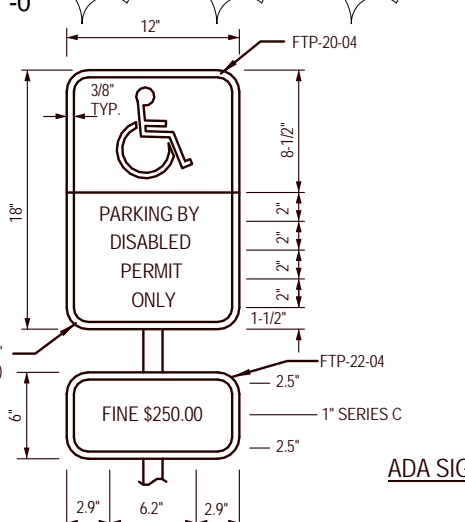
ARCHITECTURAL  
SITE PLAN  
DETAILS

AS-1.10

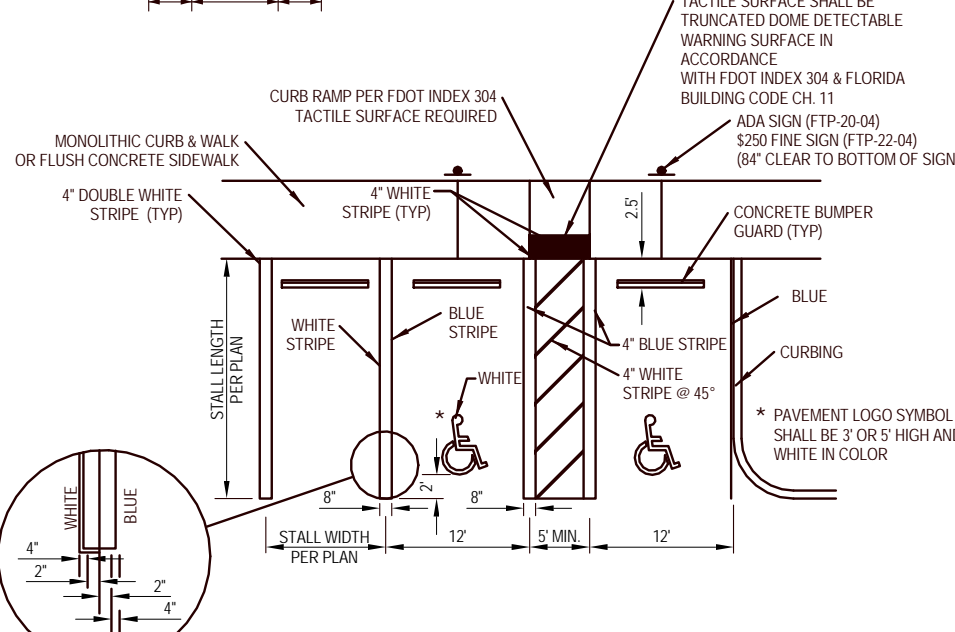


D WEST PATIO ENLARGMENT

AS-1.10 1/4" = 1'-0"

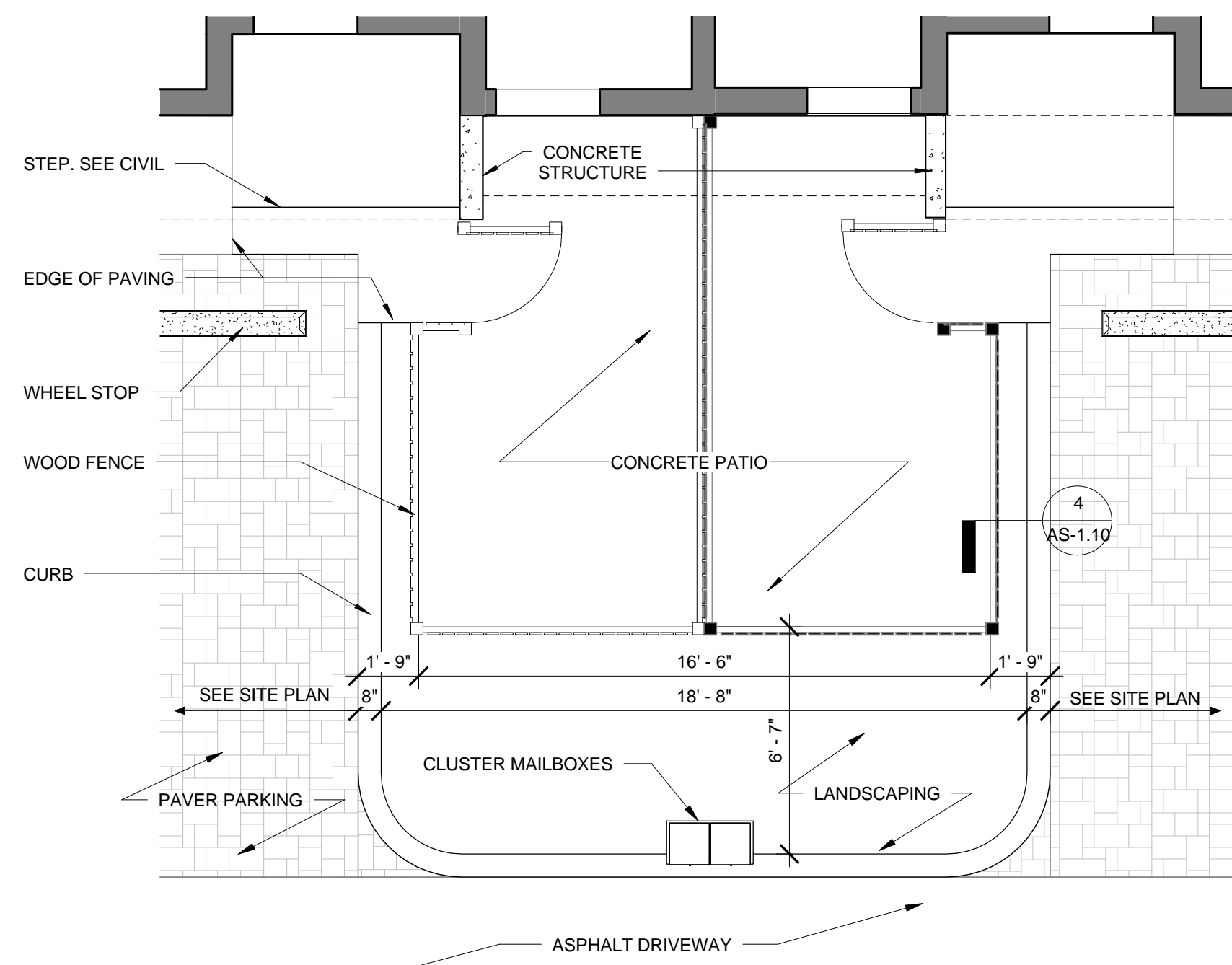


ADA SIGN DETAILS



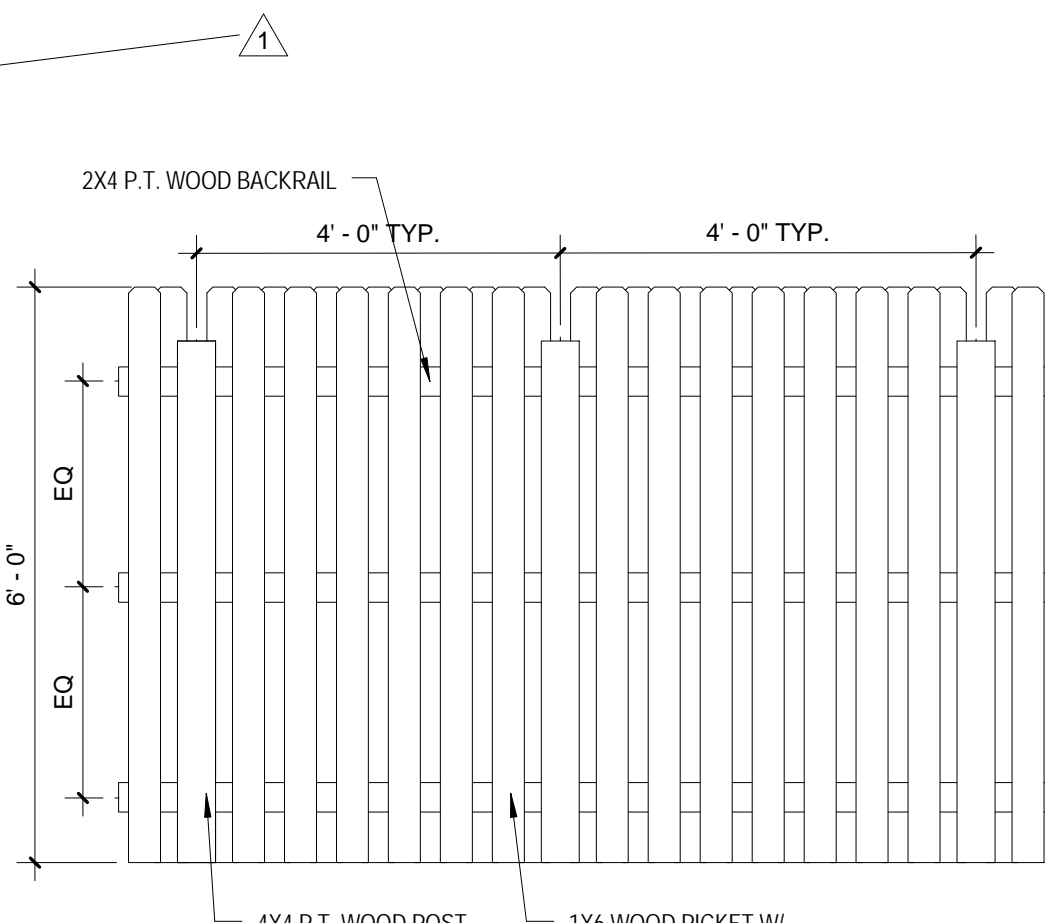
2 ADA PARKING DETAIL

AS-1.10 1/16" = 1'-0"



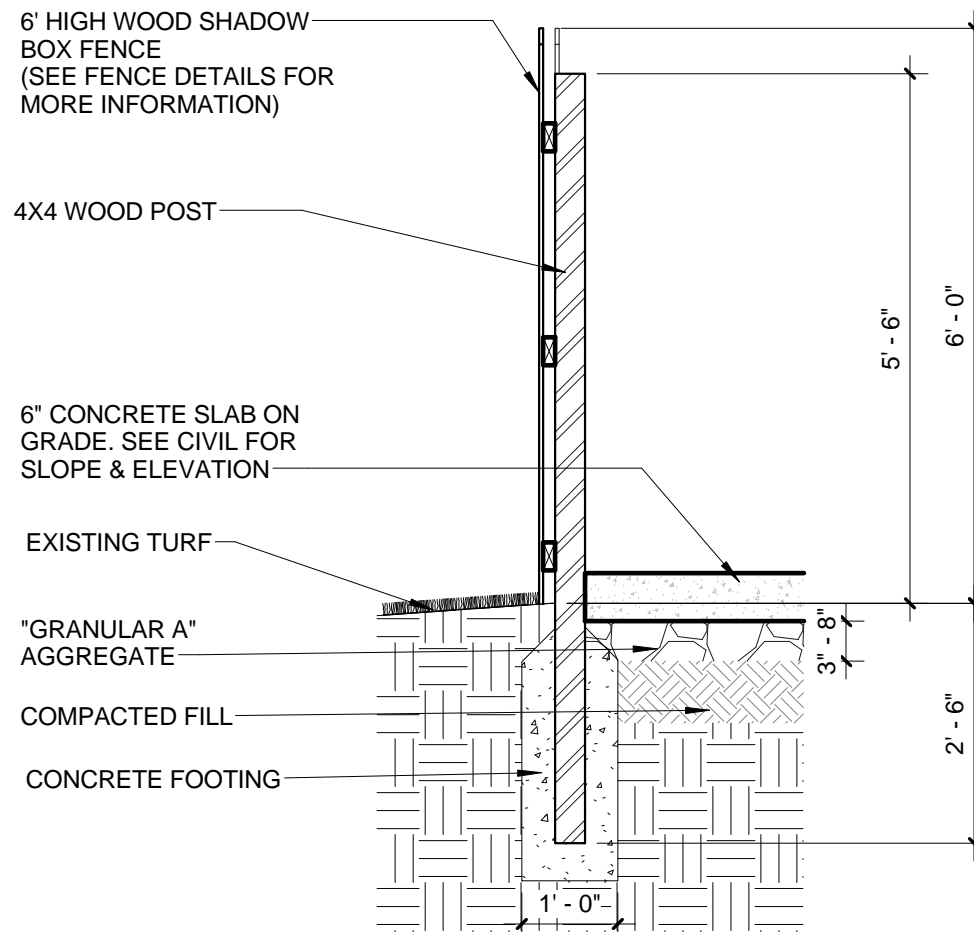
C CENTER PATIO ENLARGMENT

AS-1.10 1/4" = 1'-0"



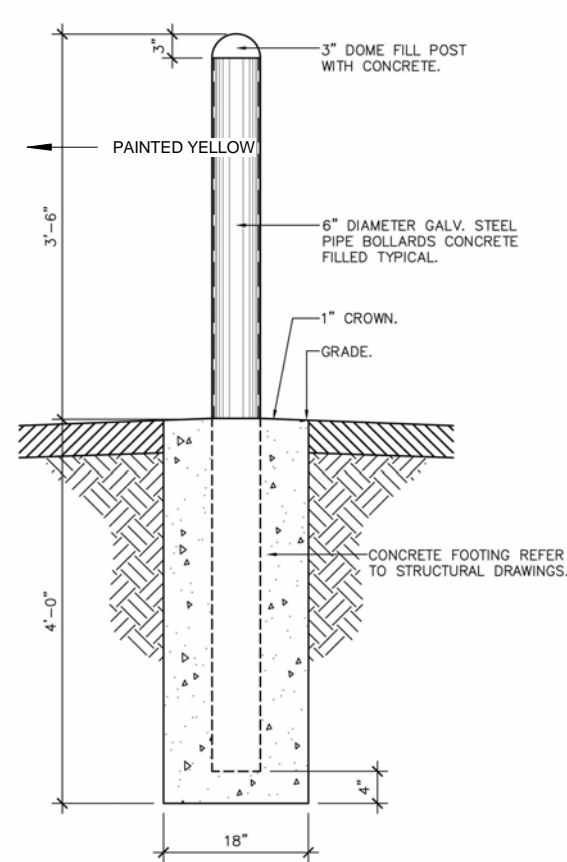
5 SHADOWBOX FENCE ELEVATION

AS-1.10 1/2" = 1'-0"



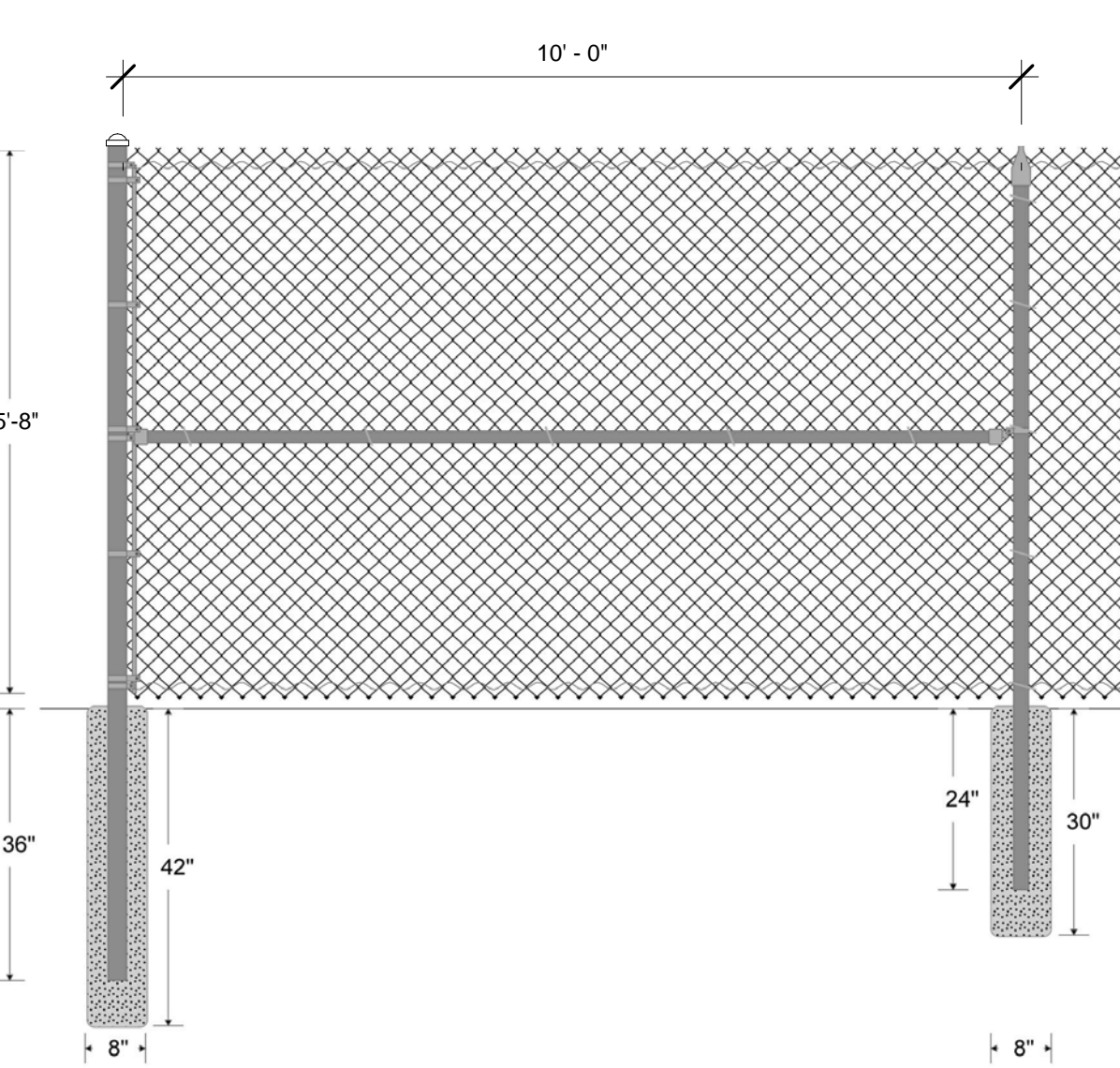
4 SHADOW BOX FENCE SECTION

AS-1.10 1/2" = 1'-0"



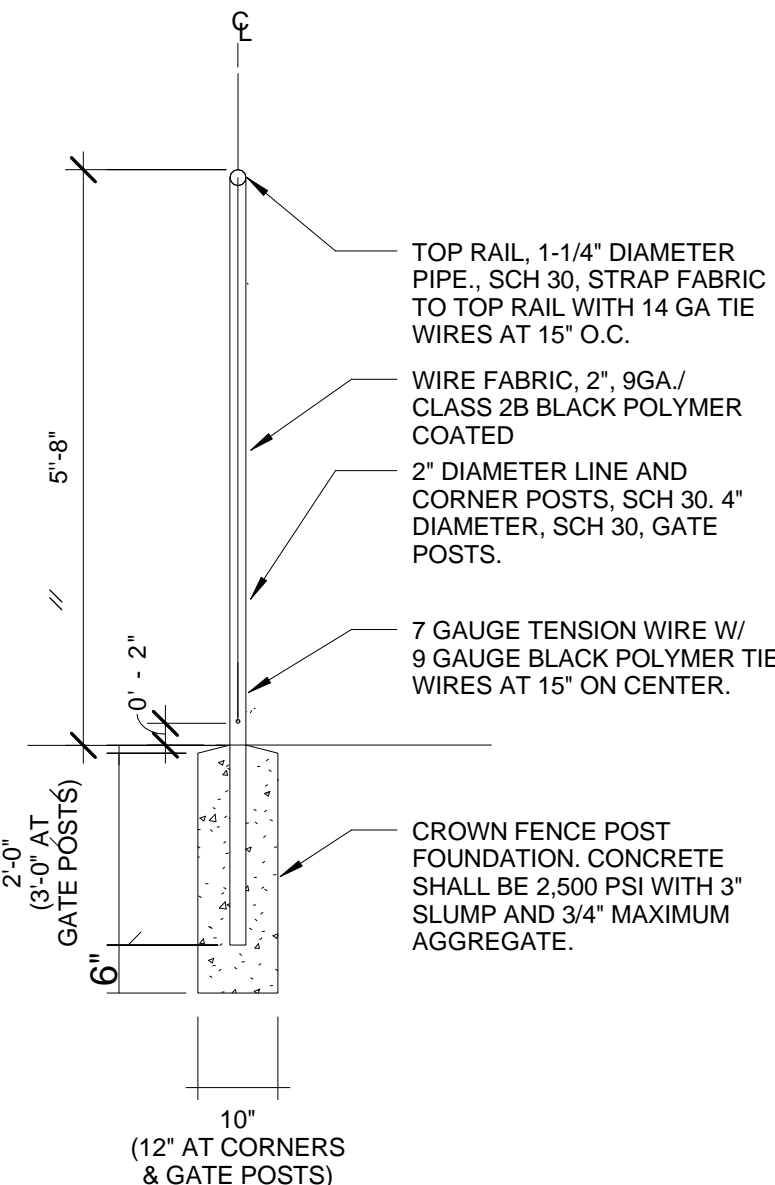
6 BOLLARD DETAIL

AS-1.10 1/2" = 1'-0"



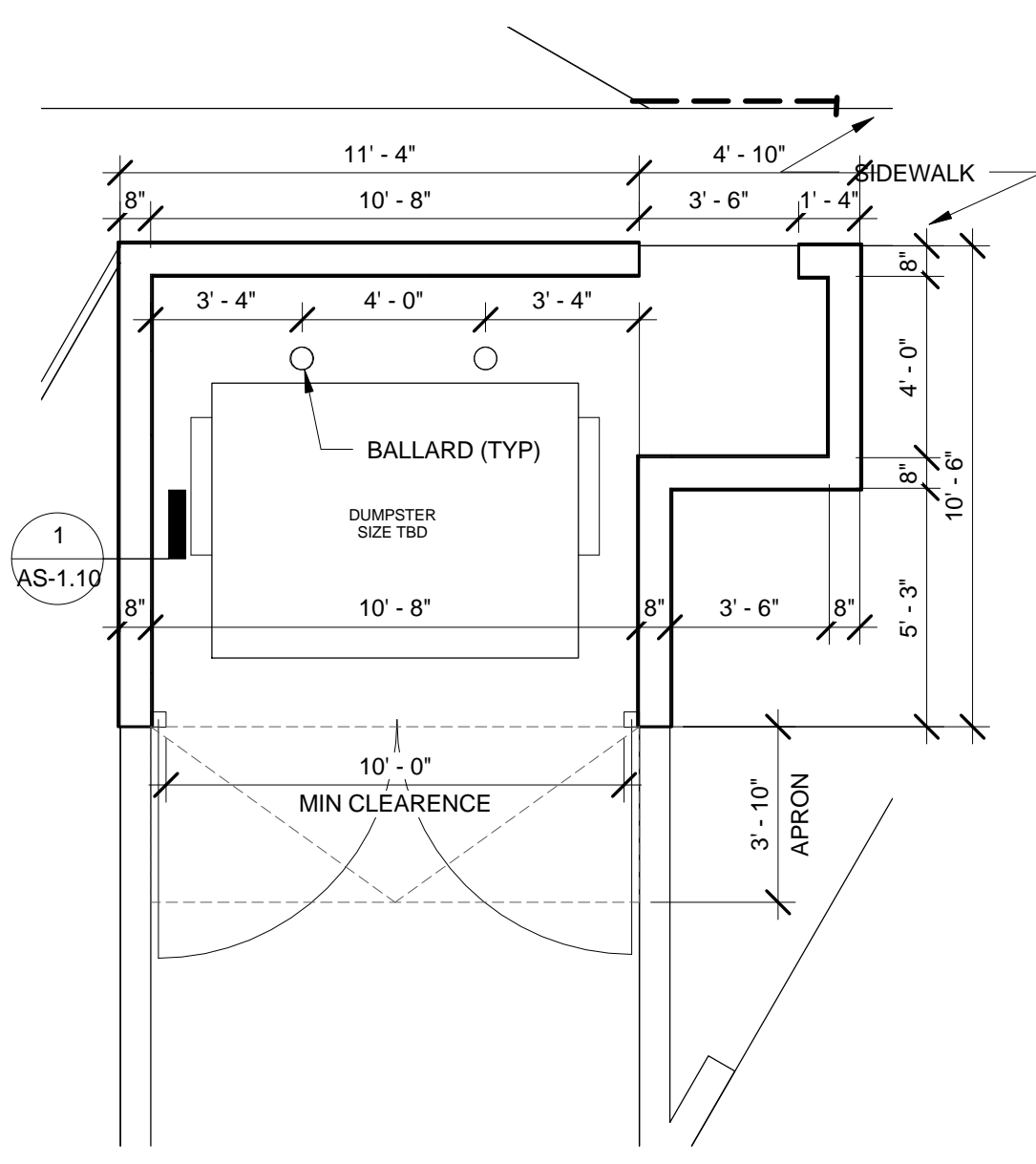
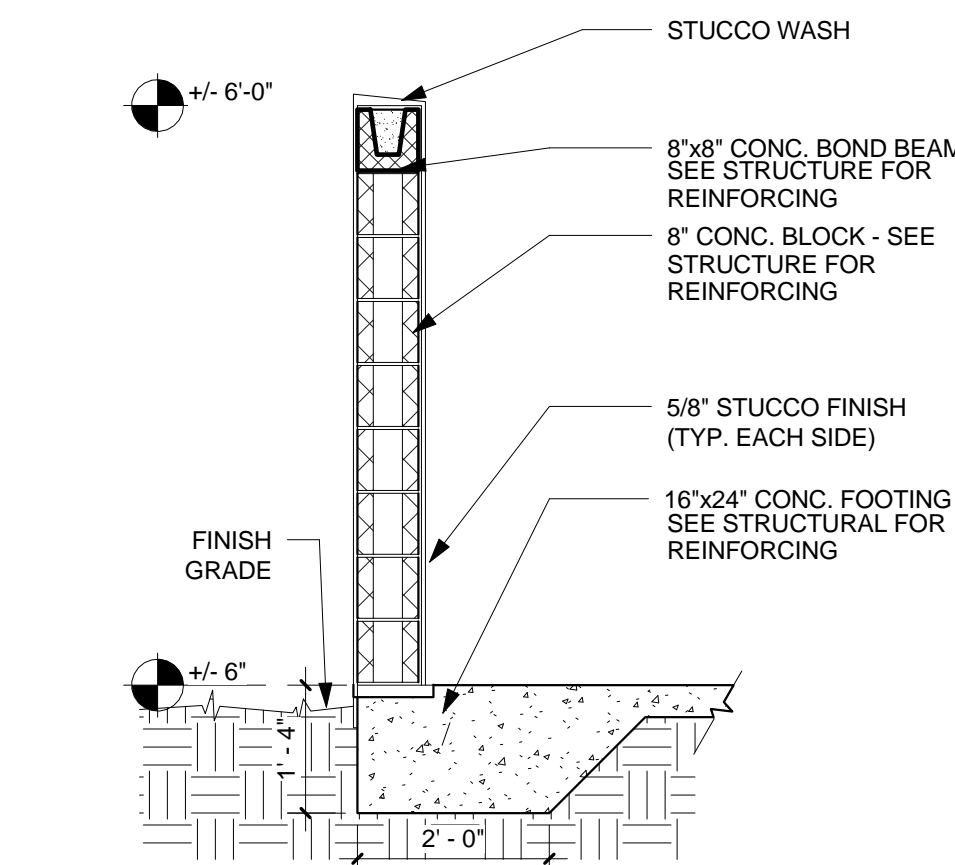
3 CHAINLINK FENCE DETAIL

AS-1.10 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE

AS-1.10 1/2" = 1'-0"



A DUMPSTER ENLARGEMENT

AS-1.10 1/4" = 1'-0"





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CONSULTANT:

DESIGN & BUILD FOR :

HALLANDALE  
COMMONS

301-323 FOSTER RD.  
HALLANDALE BEACH FL

DATE: 03-16-2017  
NUMBER: A16-011  
REVIEWED: MFW  
MANAGED: PG  
DRAWN: Author

REVISION:  
1 04-27-2017 DRC COMMENTS

PRELIMINARY SET  
NOT FOR  
CONSTRUCTION

SITE  
PHOTOMETRICS

Type SA  
MH: 12

Type SA  
MH: 12

Type SA  
MH: 12

Type SA  
MH: 12

BUILDING #1

BUILDING #2

BUILDING #3

Type WP  
MH: 22

Type WP  
MH: 22

Type WP  
MH: 22

Type WP  
MH: 22

Type WP  
MH: 22

Graphic Scale: 1 inch = 10 feet

0 10' 20' 30' 40'

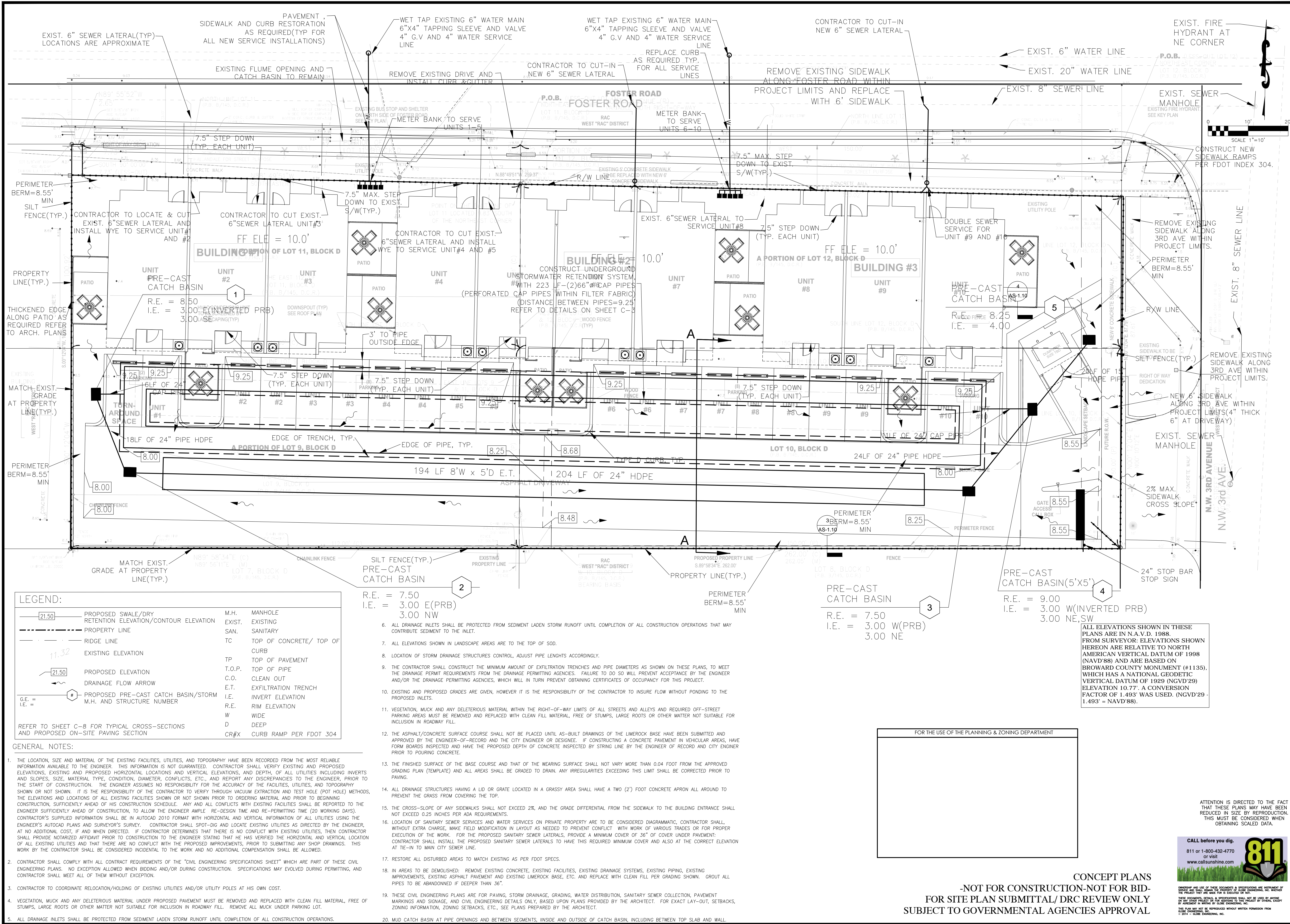
Luminaire Schedule

| Label   | Symbol | Qty | Description                           | LLF   | Lum. Lumens | Lum. Watts |
|---------|--------|-----|---------------------------------------|-------|-------------|------------|
| Type SA | +      | 4   | LA 4421 70W LED T5 5K                 | 0.900 | 6010        | 69.76      |
| Type WP | +      | 5   | MCGRAW-EDISON#: GWC-AF-01-LED-E1-T4FT | 0.900 | 6395        | 59         |

Calculation Summary

| Label           | CalcType    | Units | Avg  | Max  | Min  | Avg/Min | Max/Min |
|-----------------|-------------|-------|------|------|------|---------|---------|
| East Sidewalk   | Illuminance | Fc    | 0.91 | 1.6  | 0.3  | 3.03    | 5.33    |
| North Sidewalk  | Illuminance | Fc    | 1.55 | 2.72 | 0.25 | 6.20    | 10.88   |
| Parking         | Illuminance | Fc    | 1.43 | 2.5  | 0.5  | 2.86    | 5.00    |
| Property Line_1 | Illuminance | Fc    | 0.73 | 1.0  | 0.4  | 1.83    | 2.50    |





# HALLANDALE COMMONS

301-323 FOSTER ROAD  
HALLANDALE, FLORIDA

PAVING, DRAINAGE, WATER AND SEWER PLAN

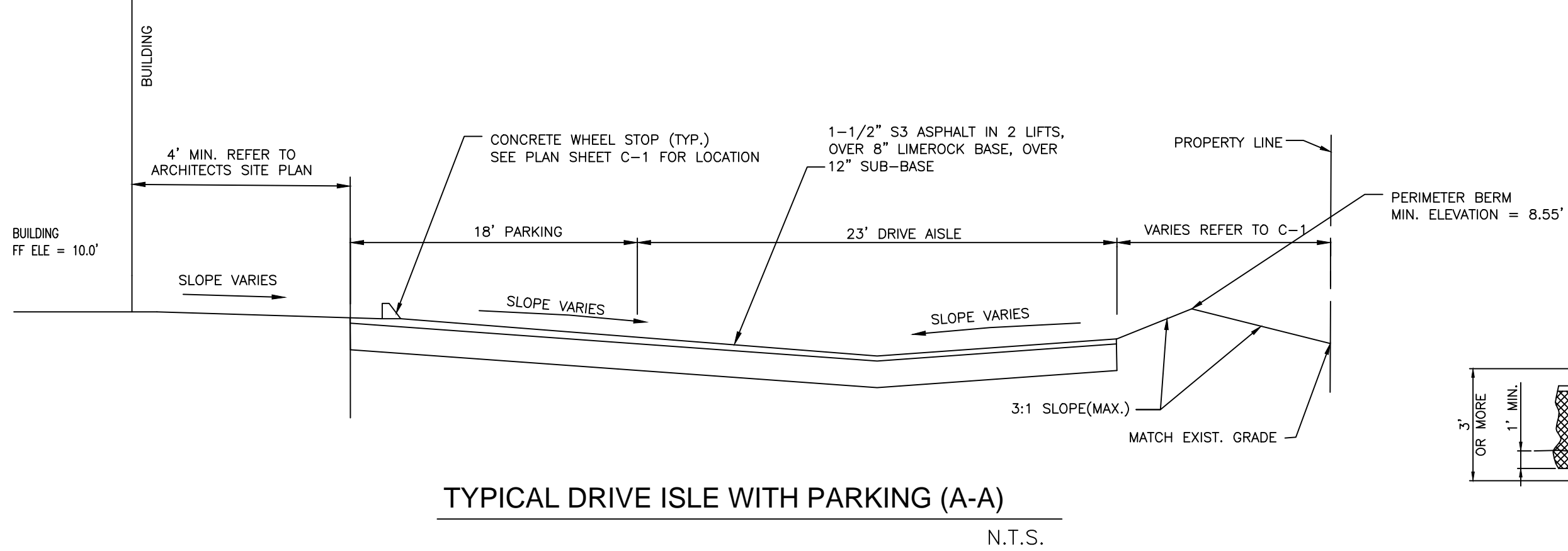
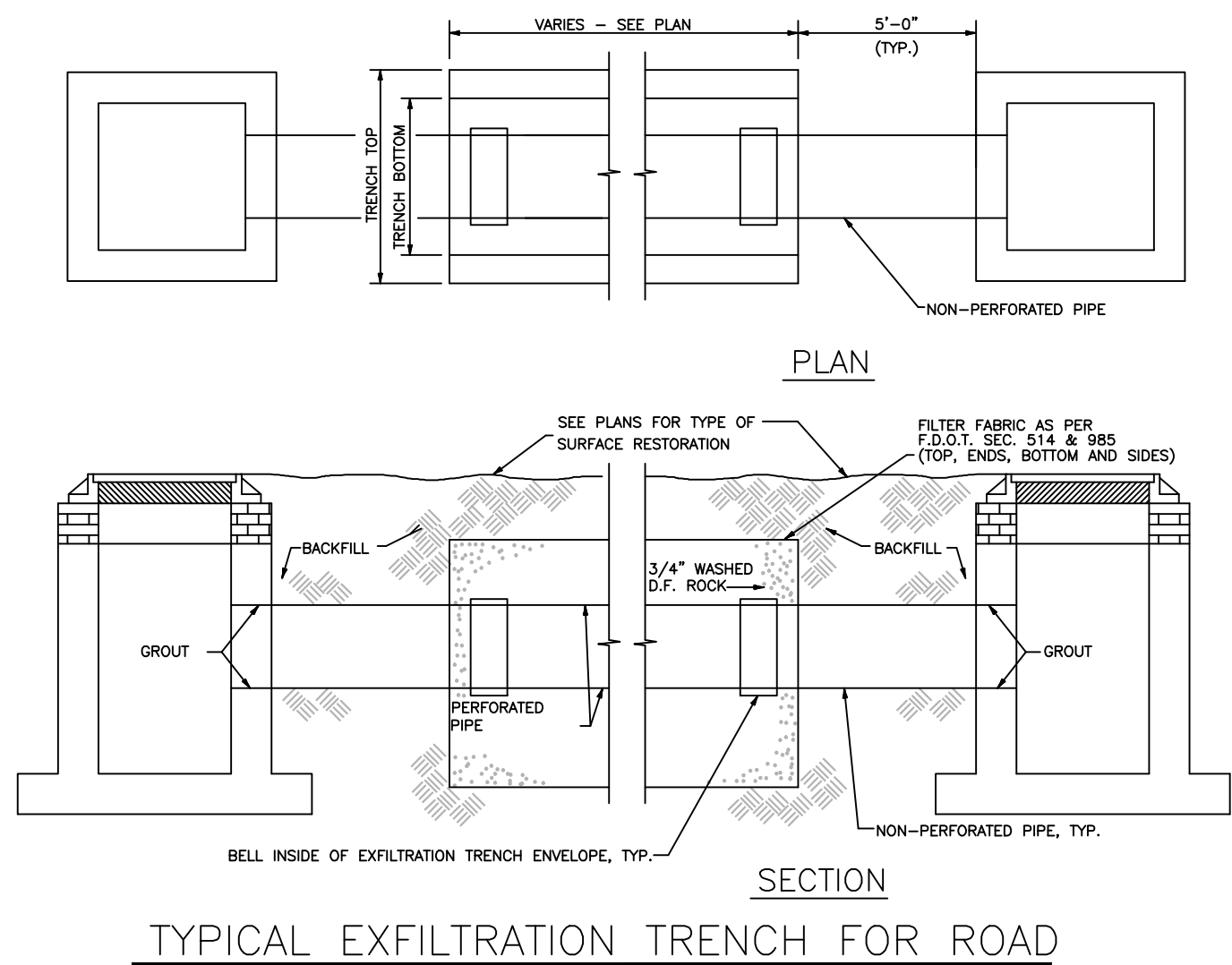
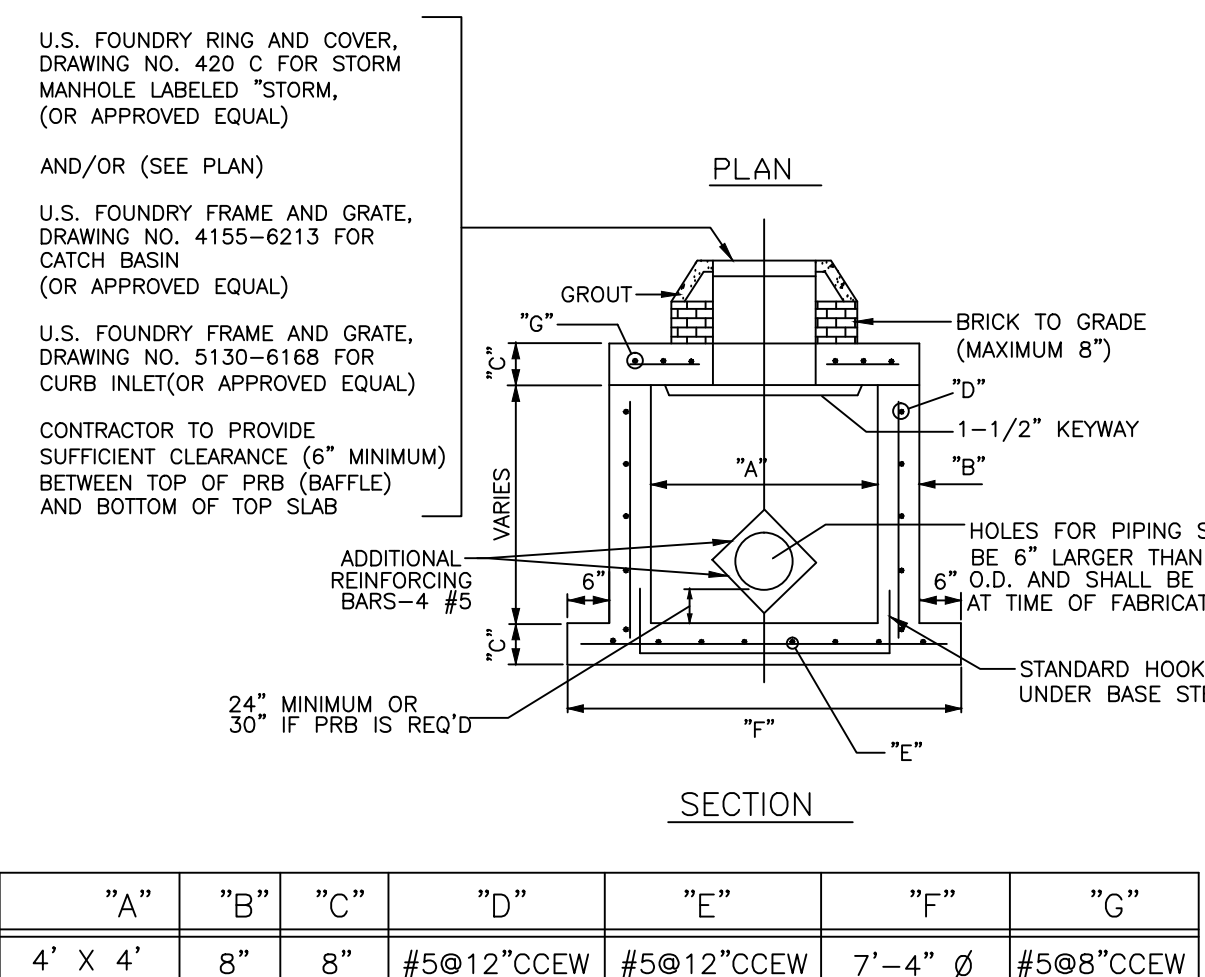
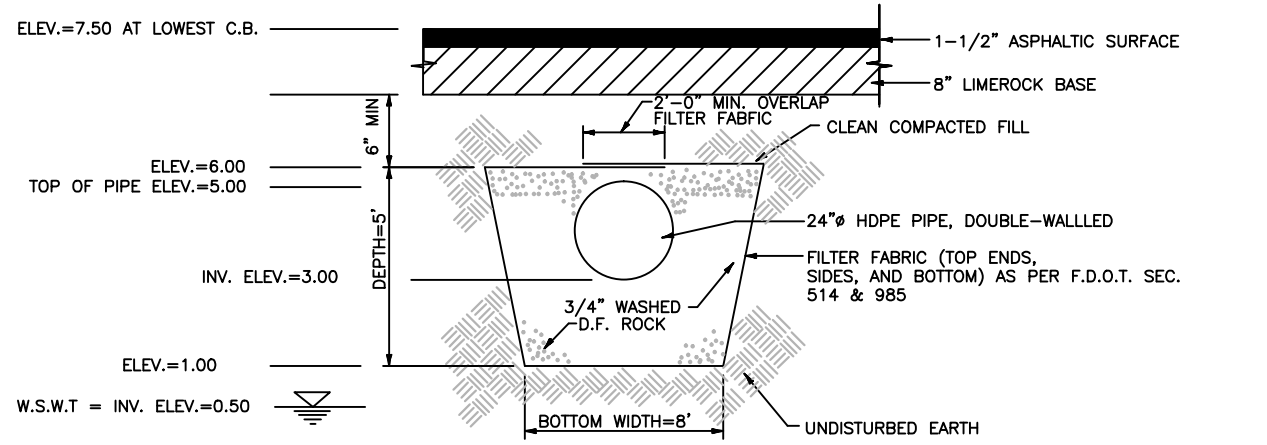
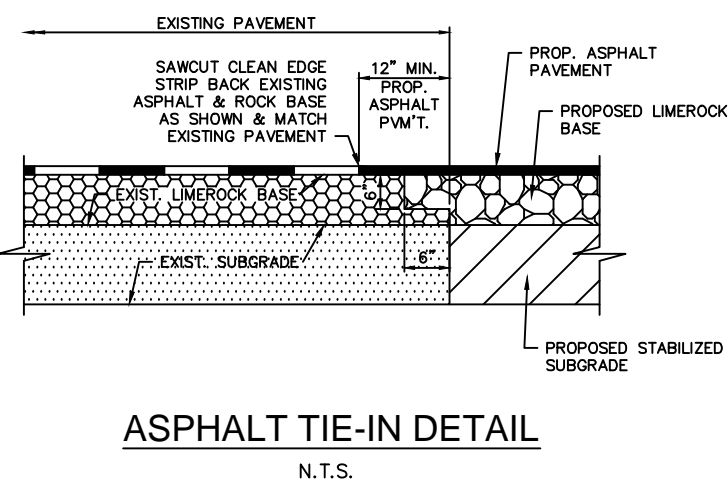
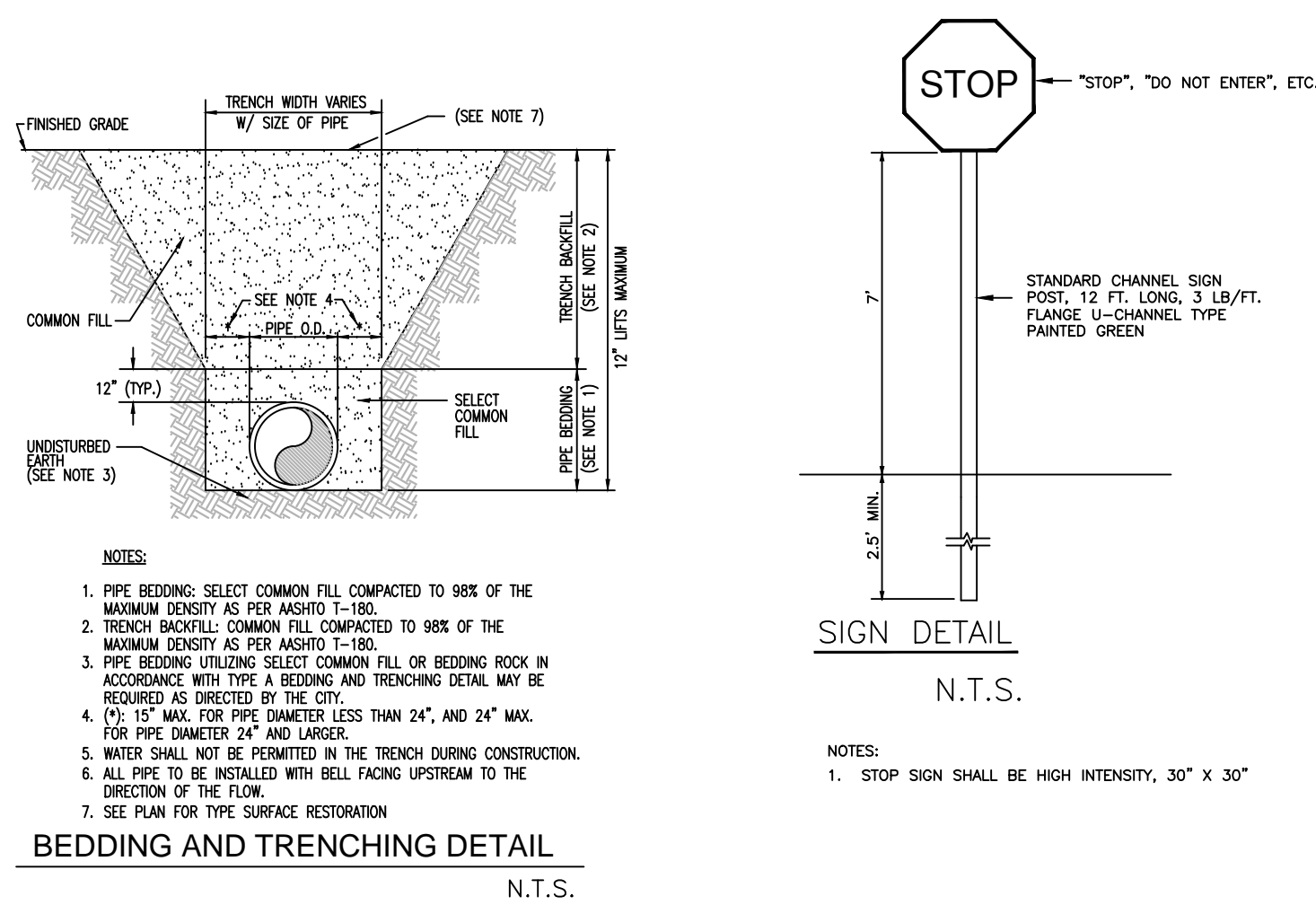
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Phone: 954-316-7628  
www.civil-engineer.us

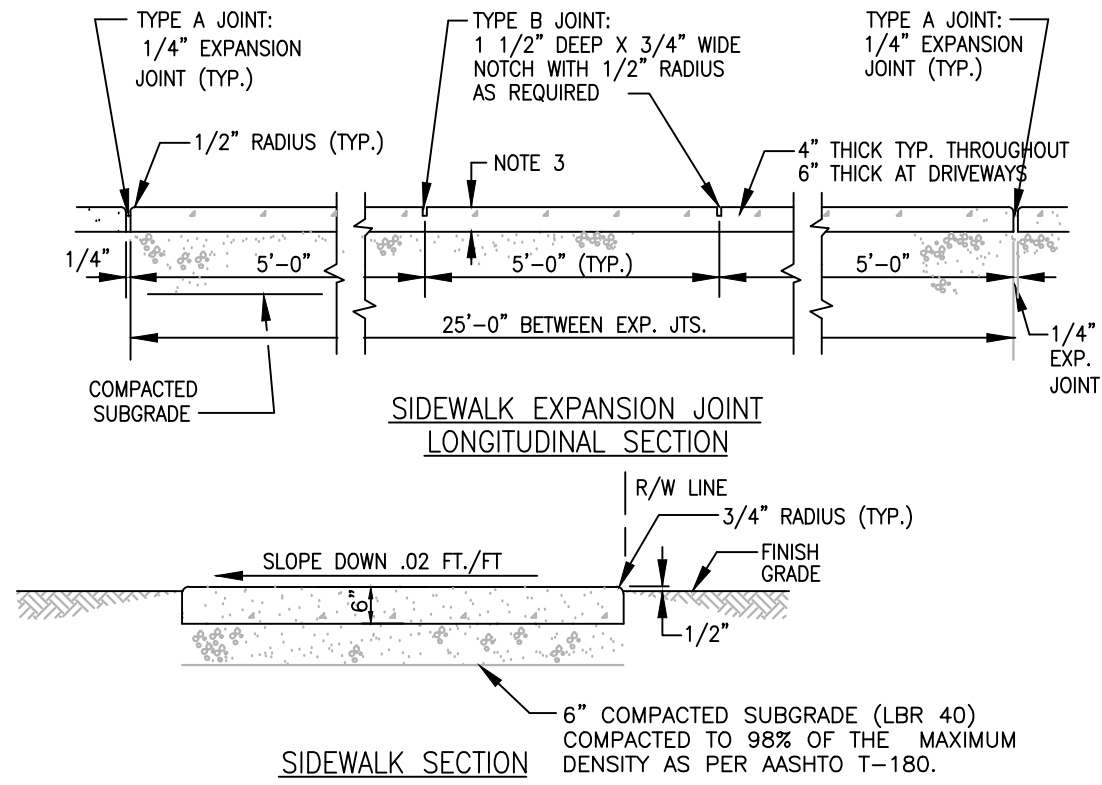
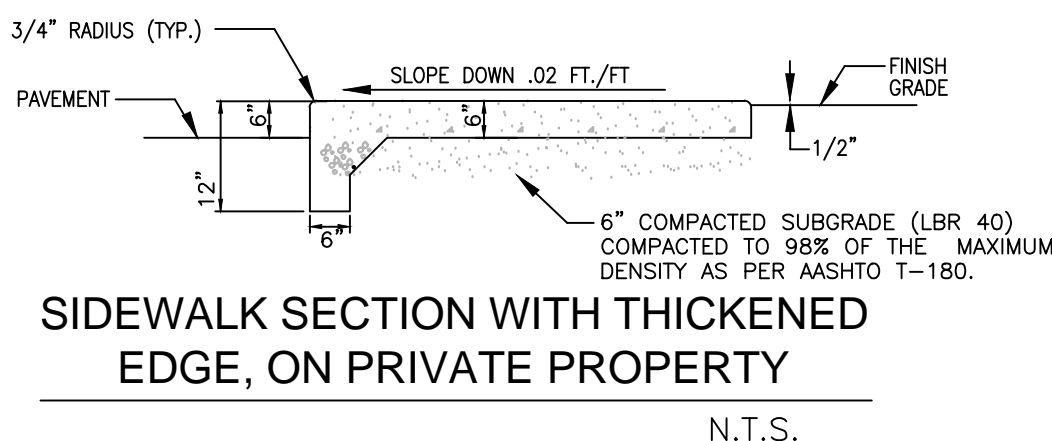
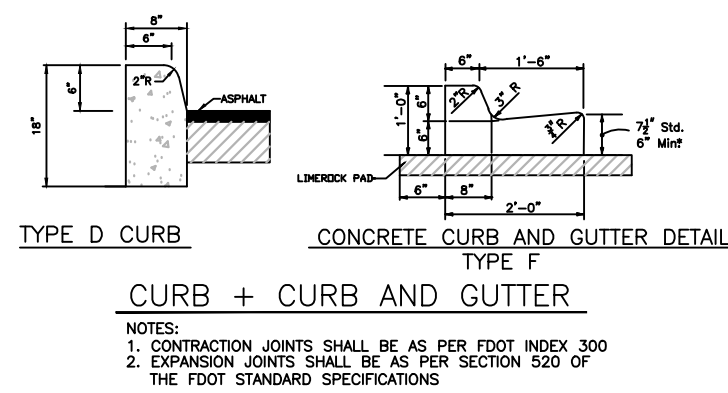
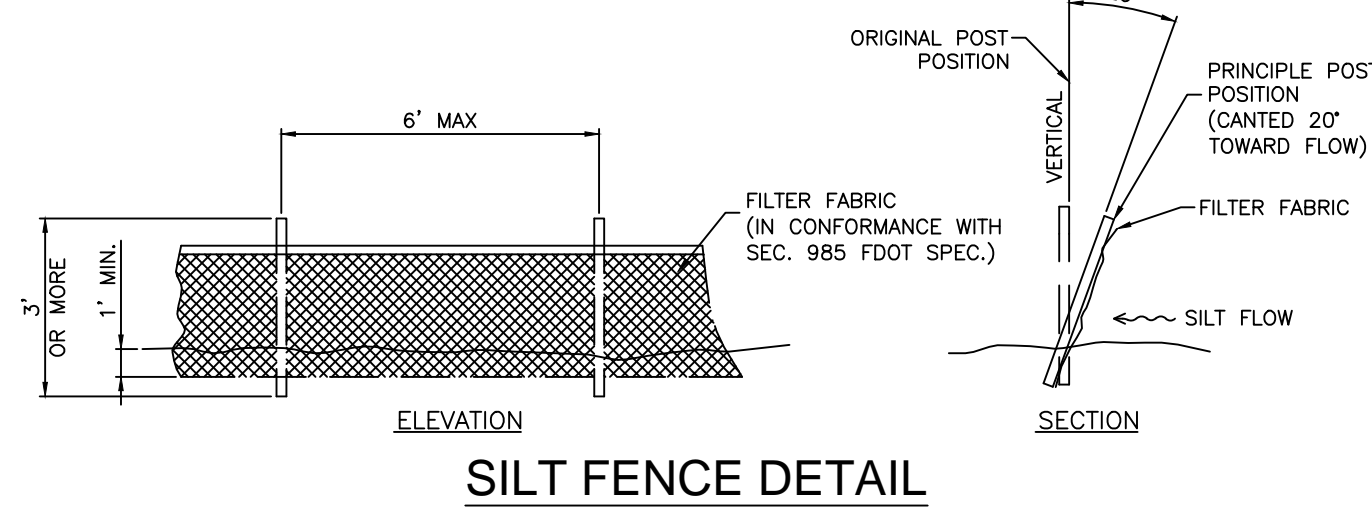
Certificate of Authorization No. 8604  
MARTIN PILOTE  
FLORIDA PE LICENCE # 55992

|                         |                 |
|-------------------------|-----------------|
| DESIGNED: MP            | DATE: 3-12-2017 |
| DRAWN: DC               |                 |
| PROJECT NO: 2017-003    |                 |
| DRAWING NAME: C-P&D/W&s |                 |
| SHEET NO: C-1           |                 |
| 1 OF 3                  |                 |



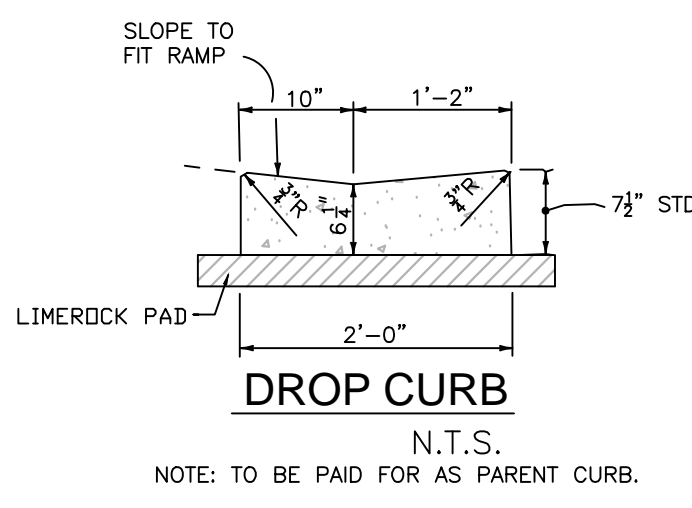
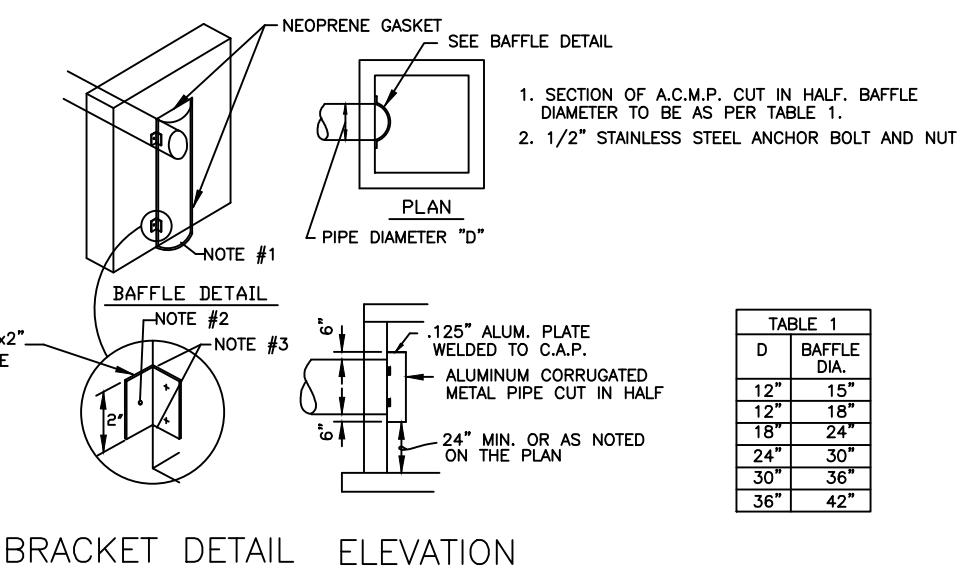


**TYPICAL ONSITE PAVING SECTION:**  
1-1/2" Type S-III Asphaltic Concrete (IN 2 LIFTS) Tack Coat at 0.05 gal/sy  
8" Baserock (6" max lifts) (LBR 100)  
12" Compacted Subgrade (LBR 40)  
Both base and subbase shall be compacted to 98% Dry Density per AASHTO T-180.



| SIDEWALK JOINTS |                                     |
|-----------------|-------------------------------------|
| TYPE            | LOCATION                            |
| "A"             | P.C. P.T. OF CURVES                 |
| "B"             | 5'-0" CENTER TO CENTER ON SIDEWALKS |

**SIDEWALK DETAIL**  
N.T.S.



FOR THE USE OF THE PLANNING & ZONING DEPARTMENT

| TABLE 1 |             |
|---------|-------------|
| D       | BAFFLE DIA. |
| 12"     | 15"         |
| 18"     | 24"         |
| 24"     | 30"         |
| 30"     | 36"         |
| 36"     | 42"         |

**CONCEPT PLANS**  
**-NOT FOR CONSTRUCTION-NOT FOR BID-**  
**FOR SITE PLAN SUBMITTAL/ DRC REVIEW ONLY**  
**SUBJECT TO GOVERNMENTAL AGENCIES APPROVAL**

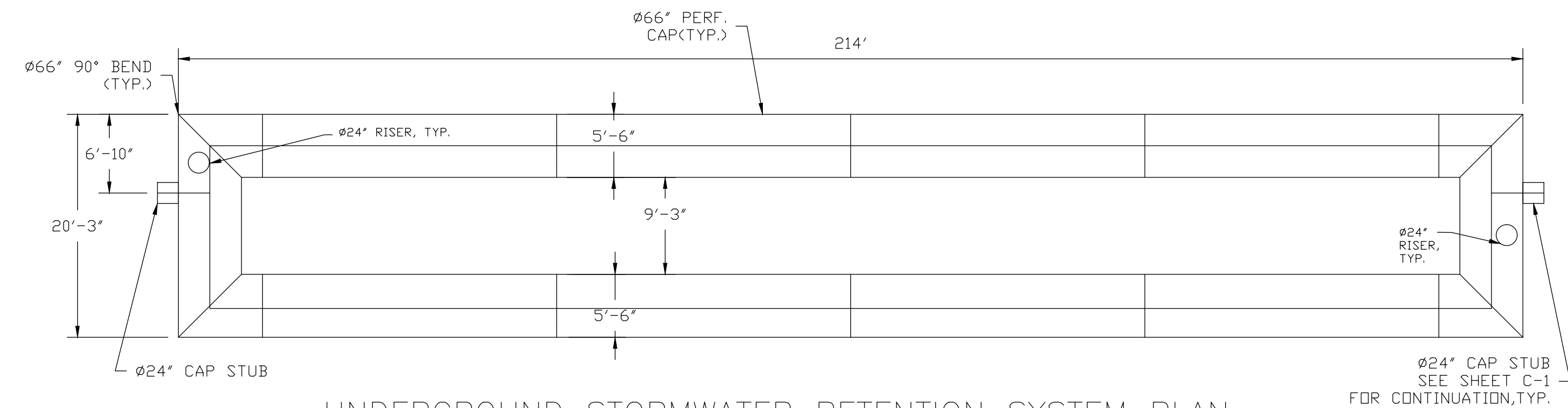
**CALL before you dig.**  
811 or 1-800-432-4770  
or visit  
www.call811sunshine.com

**811**

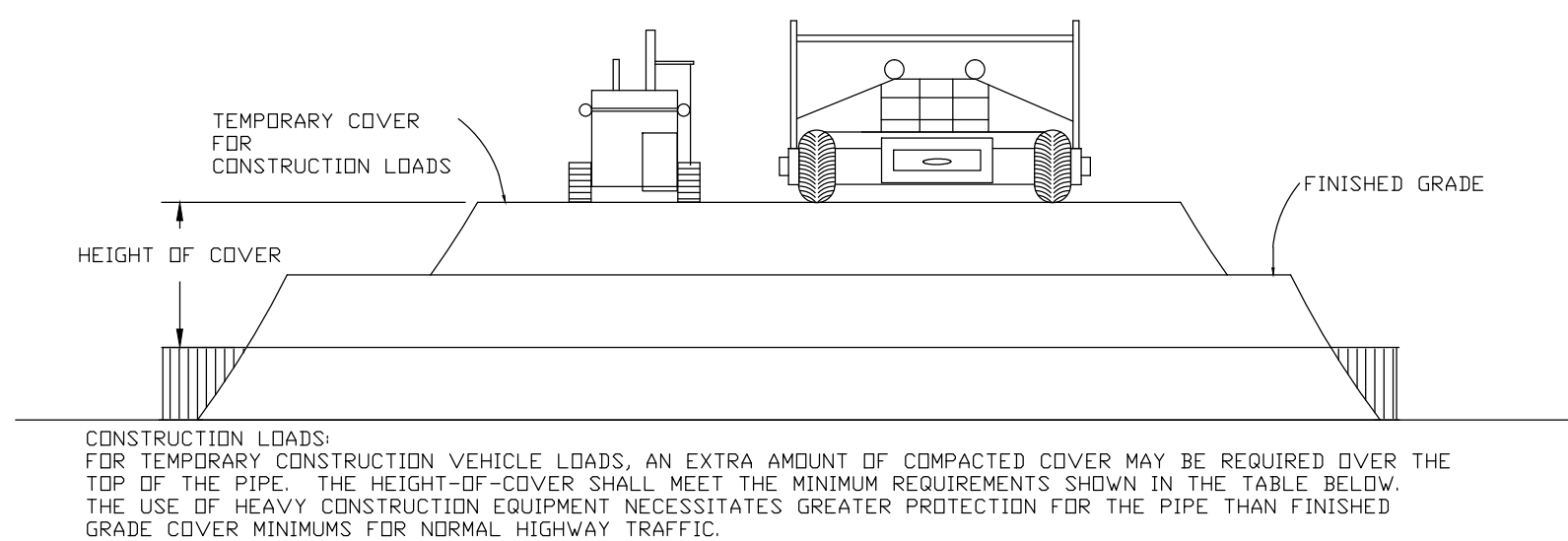
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|  |  |  |
|--|--|--|
| <b>HALLANDALE COMMONS</b><br>301-323 FOSTER ROAD<br>HALLANDALE, FLORIDA<br>CIVIL ENGINEERING DETAILS   |  | DESIGNED: MP<br>DRAWN: DC<br>PROJECT NO: 2017-003<br>DRAWING NAME: C-2<br>SHEET NO: 2 OF 3 |
| GLOBE ENGINEERING, Inc.<br>Civil Engineering - Land Planning - Construction Management<br>Phone: 954-316-7628<br>www.civil-engineer.us<br>4839 SW 148 Avenue, Suite 507<br>Fort Lauderdale, FL 33330 |  | CERTIFICATE OF AUTHORIZATION No. 8604<br>MARTIN PILOTE<br>FLORIDA P.E. LICENSE # 55922     |
| REVISIONS<br>NO. DATE DESCRIPTION<br>1 4/27/17 EPC COMMENTS  |  |  |

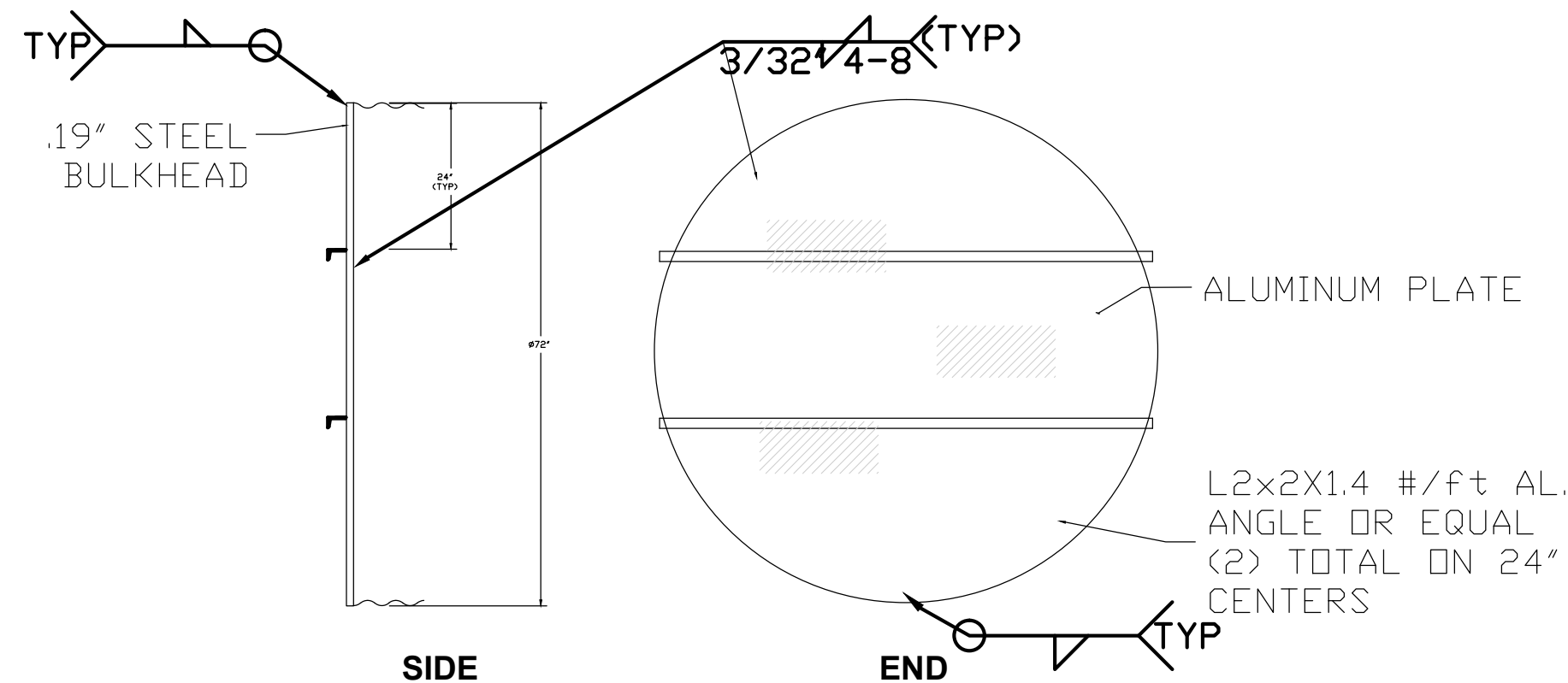




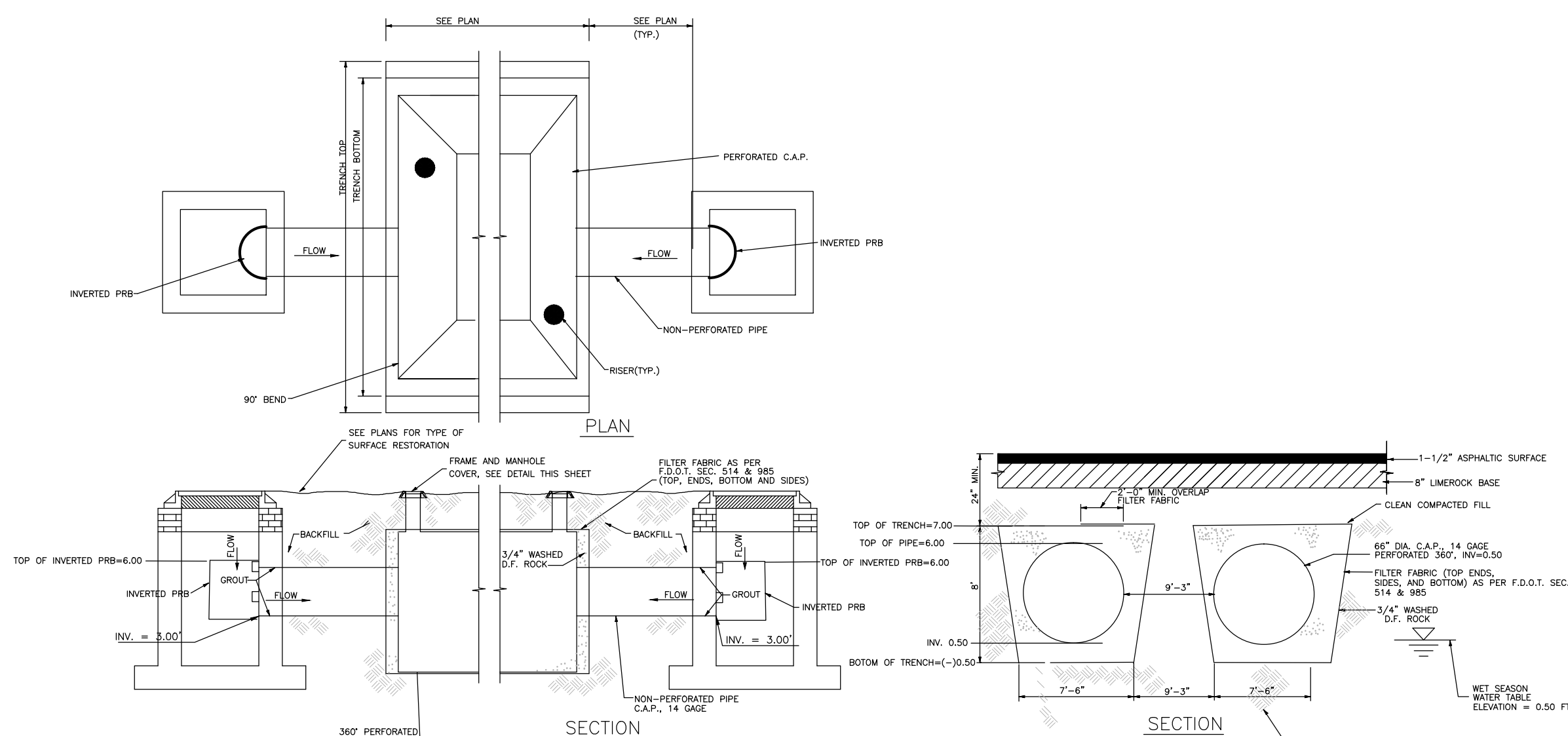
UNDERGROUND STORMWATER RETENTION SYSTEM PLAN



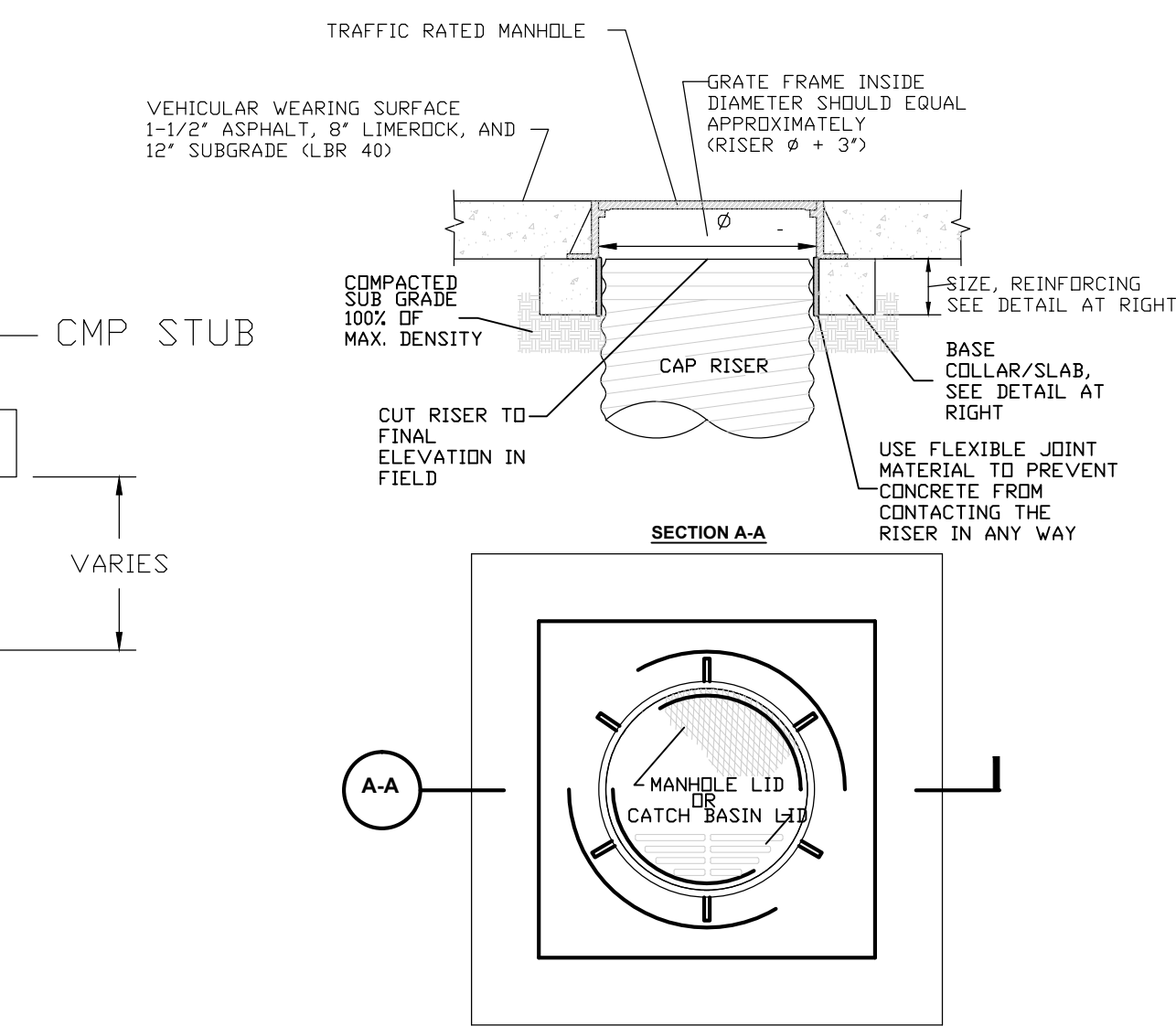
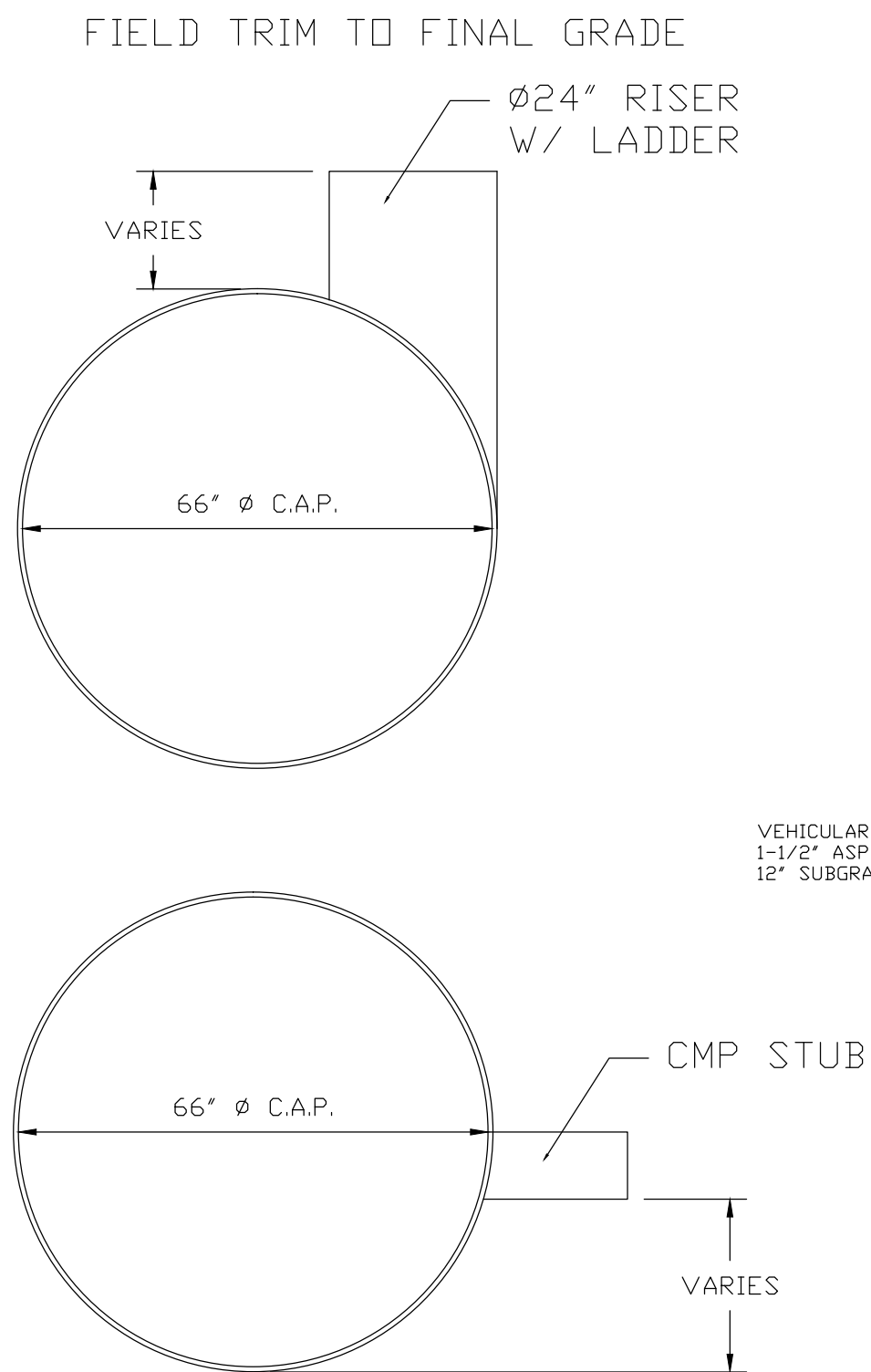
CONSTRUCTION LOADING DIAGRAM



END PLATE DETAIL

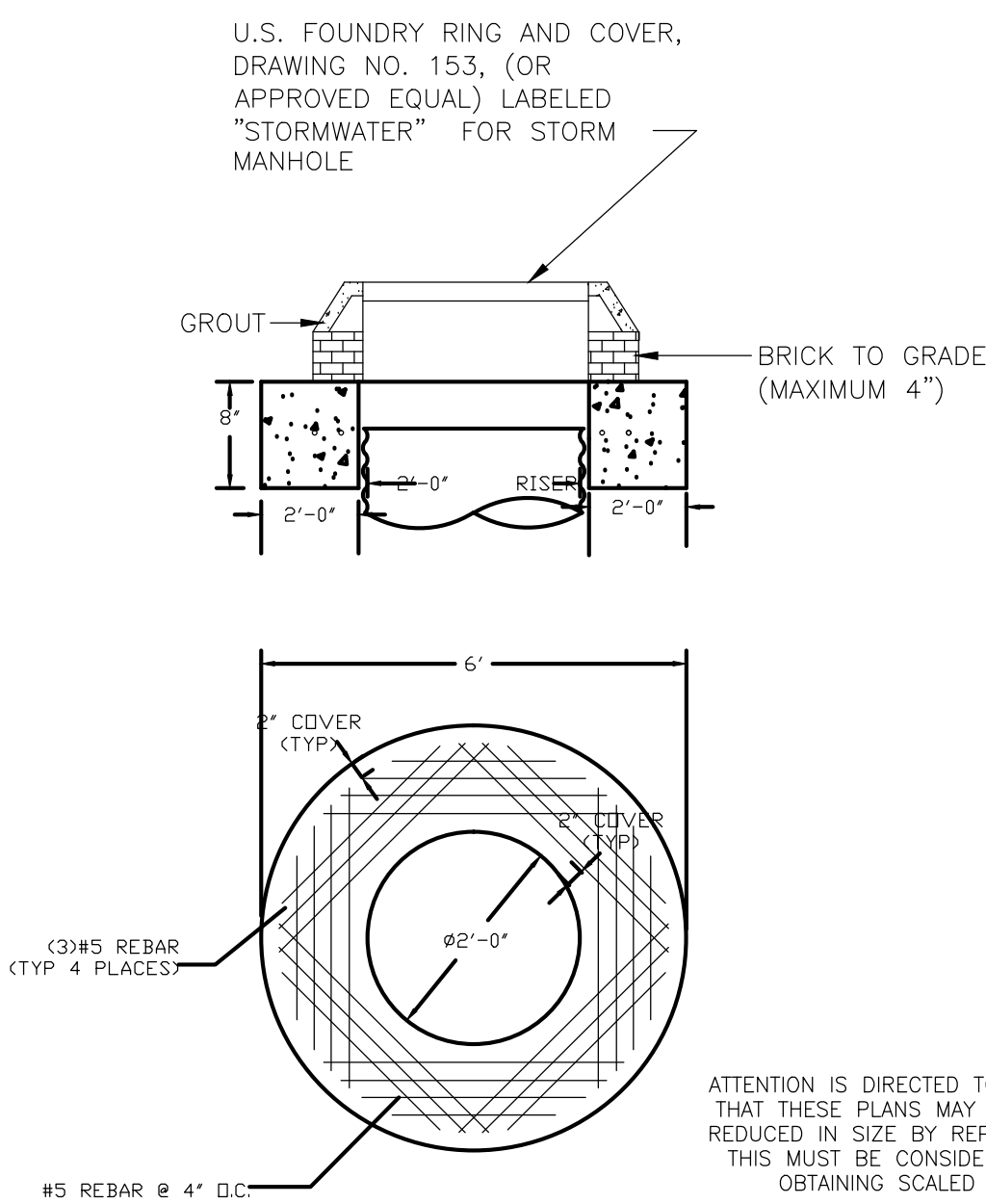


UNDERGROUND STORMWATER RETENTION SYSTEM



- NOTES:
1. THE CONCRETE CAP SHALL TRANSMIT THE LOADS TO THE SOIL, AND NOT THE RISER.
  2. THE FLEXIBLE JOINT MATERIAL (RECYCLED VINYL OR EQ) TO BE STIFF ENOUGH SO THAT THE CONCRETE CAN NEVER ENGAGE WITH THE RISER CORRUGATIONS.

MANWAY DETAILS



ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



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HALLANDALE COMMONS

301-323 FOSTER ROAD  
HALLANDALE, FLORIDA

CIVIL ENGINEERING DETAILS

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Civil Engineering - Land Planning - Construction Management

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www.civil-engineer.us

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|               |           |
|---------------|-----------|
| DESIGNED: MP  | DATE:     |
| DRAWN: DC     | 3-12-2017 |
| PROJECT NO:   |           |
| 2017-003      |           |
| DRAWING NAME: |           |
| C-3           |           |
| SHEET NO:     |           |
| 3 OF 3        |           |









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HALLANDALE BEACH FL

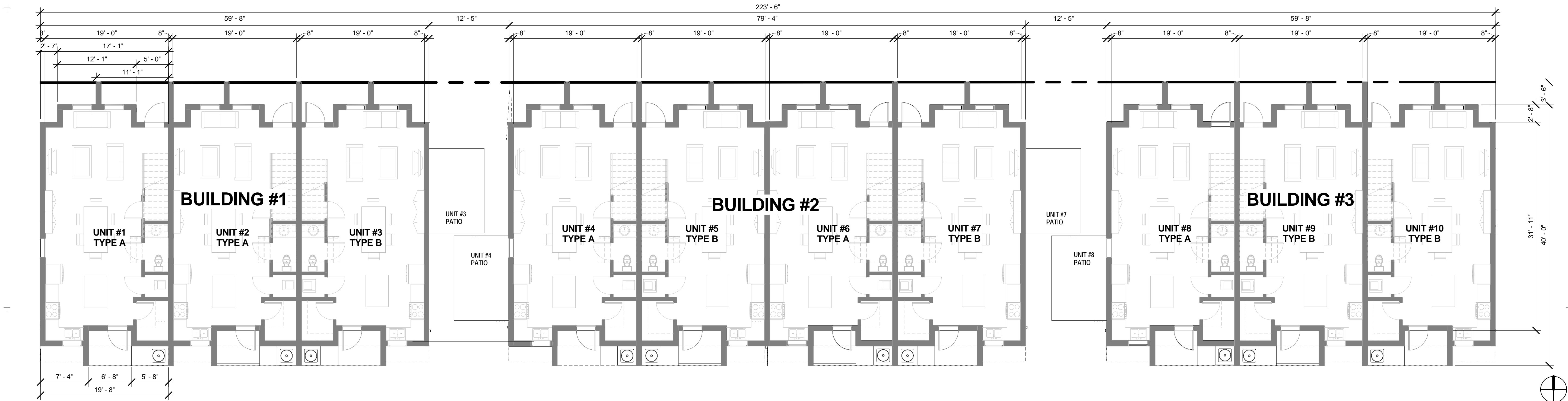
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DRAWN: NI

REVISION:

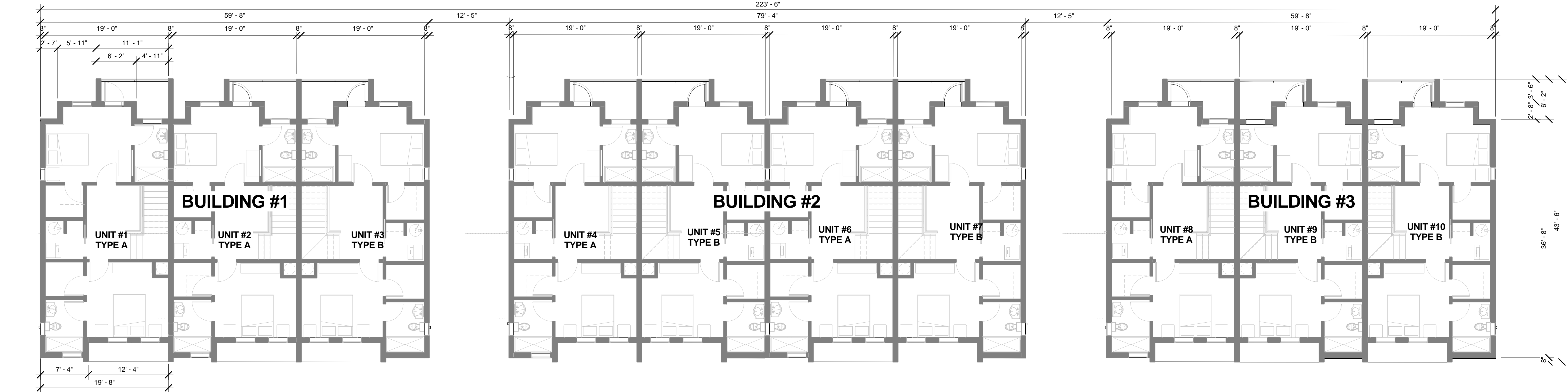
PRELIMINARY SET  
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OVERALL FLOOR  
PLANS

A-1.00



1 OVERALL FIRST FLOOR PLAN  
A-1.00 1/8" = 1'-0"



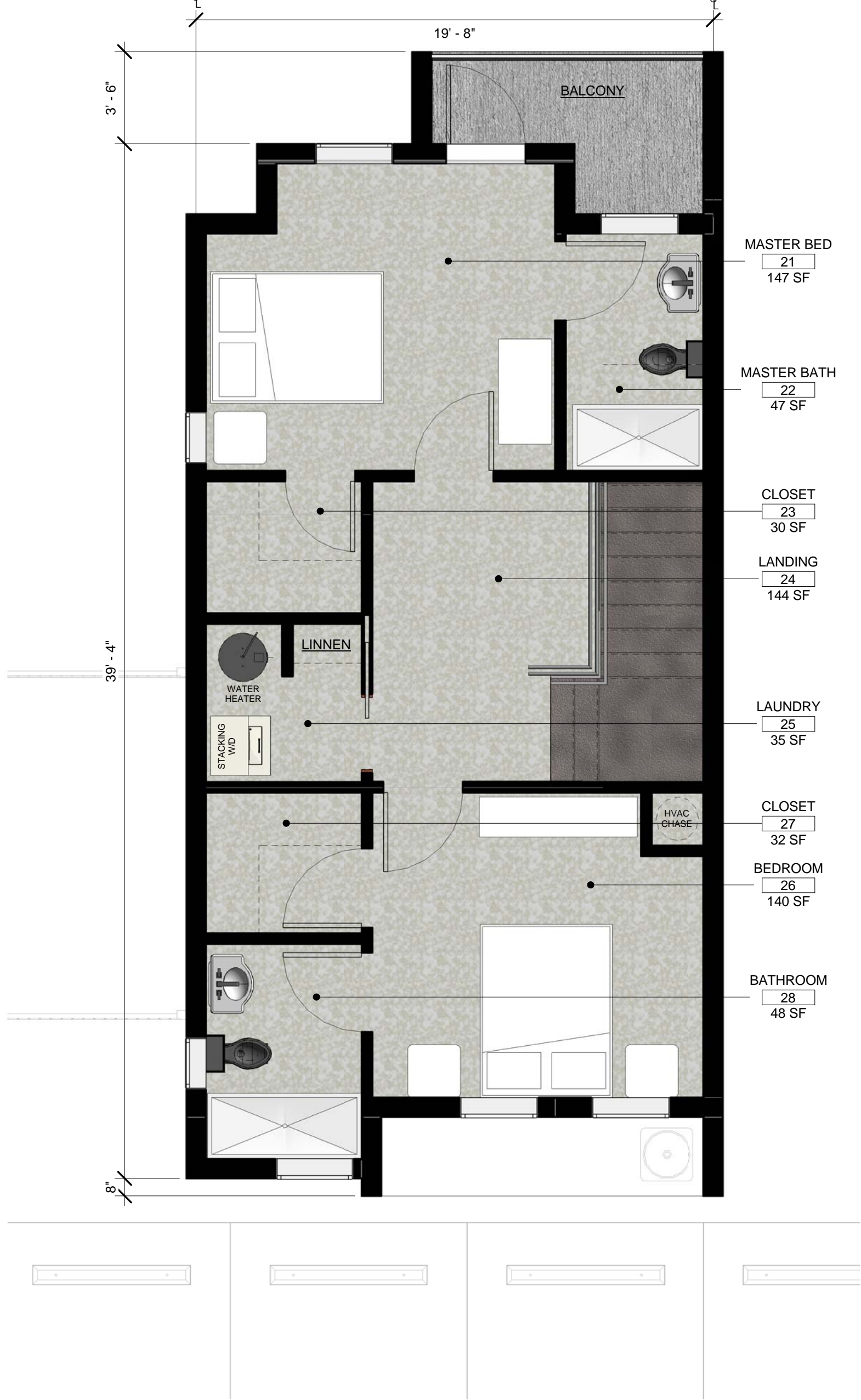
2 OVERALL SECOND FLOOR PLAN  
A-1.00 1/8" = 1'-0"

FOR THE USE OF THE PLANNING & ZONING DEPARTMENT





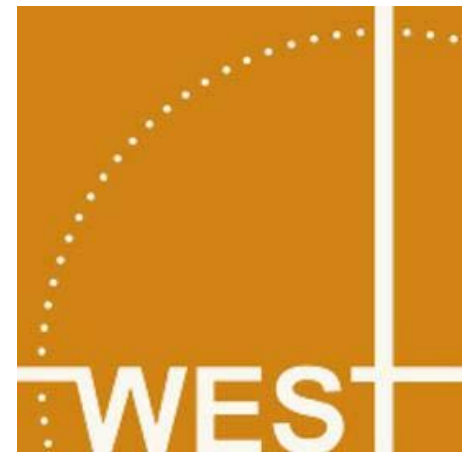
1 TYPICAL "UNIT TYPE A" FIRST FLOOR PLAN  
A-1.10 1/4" = 1'-0"



2 TYPICAL "UNIT TYPE A" SECOND FLOOR PLAN  
A-1.10 1/4" = 1'-0"

## PLAN NOTES:

1. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. PROVIDE SOLID WOOD BACKING FOR ALL WALLS TO RECEIVE COUNTERS, CABINETS, DOOR STOPS, SINKS, TOILET ACCESSORIES, CHAIR RAILS AND OTHER RATED INSTALLATIONS. THE INSTALLATIONS SHALL BE REVIEWED BY THE OWNER/ARCHITECT PRIOR TO COVERING.



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HALLANDALE BEACH FL

DATE: 03-16-2017  
NUMBER: A16-011  
REVIEWED: MFW  
MANAGED: PG  
DRAWN: BG

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FOR THE USE OF THE PLANNING & ZONING DEPARTMENT

PRELIMINARY SET  
NOT FOR  
CONSTRUCTION

UNIT TYPE "A"  
FLOOR PLANS

A-1.10





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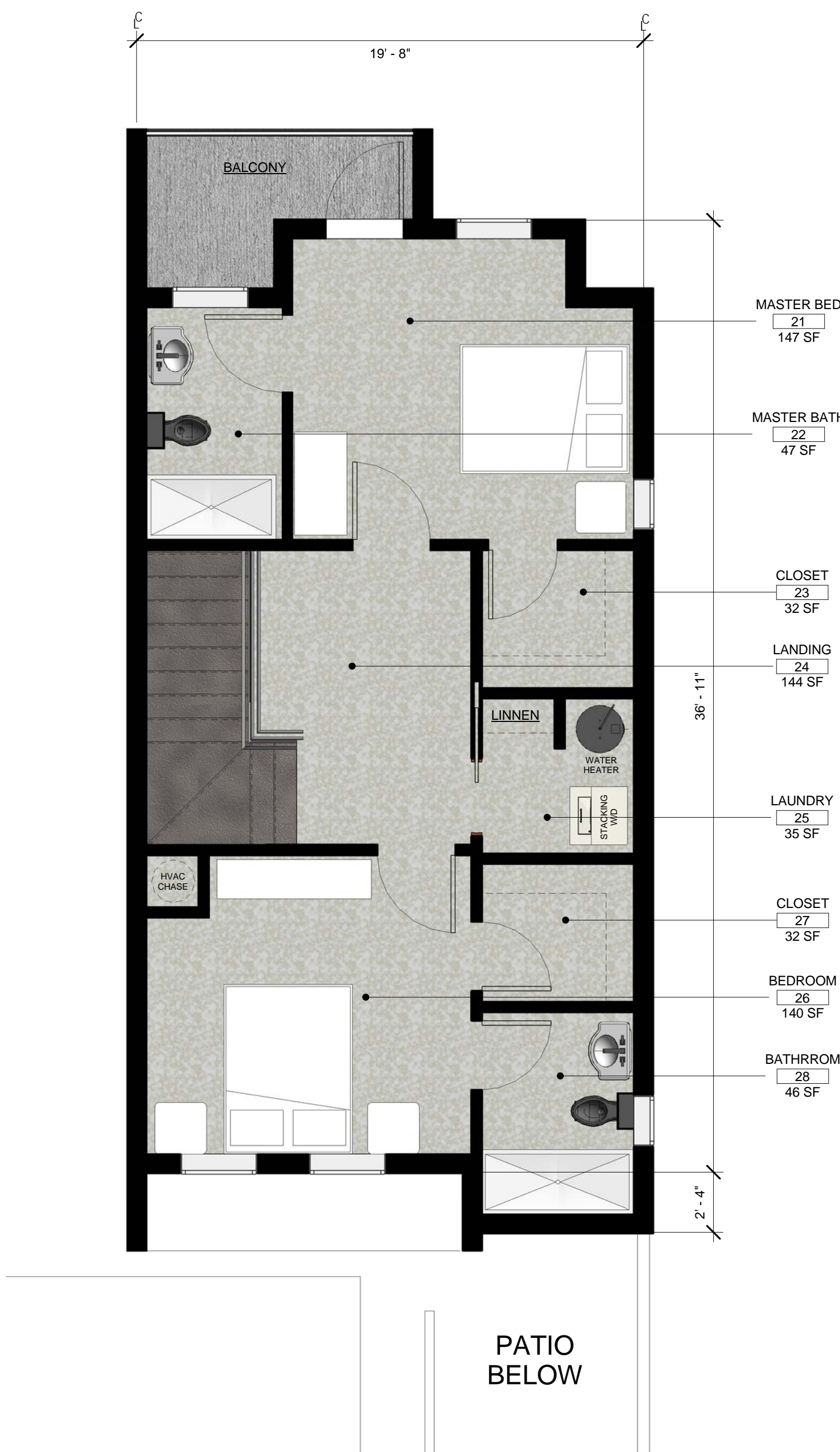
PRELIMINARY SET  
NOT FOR  
CONSTRUCTION

UNIT TYPE "B"  
FLOOR PLANS

A-1.20



1 TYPICAL "UNIT TYPE B" FIRST FLOOR PLAN  
A-1.20 1/4" = 1'-0"



2 TYPICAL "UNIT TYPE B" SECOND FLOOR PLAN  
A-1.20 1/4" = 1'-0"





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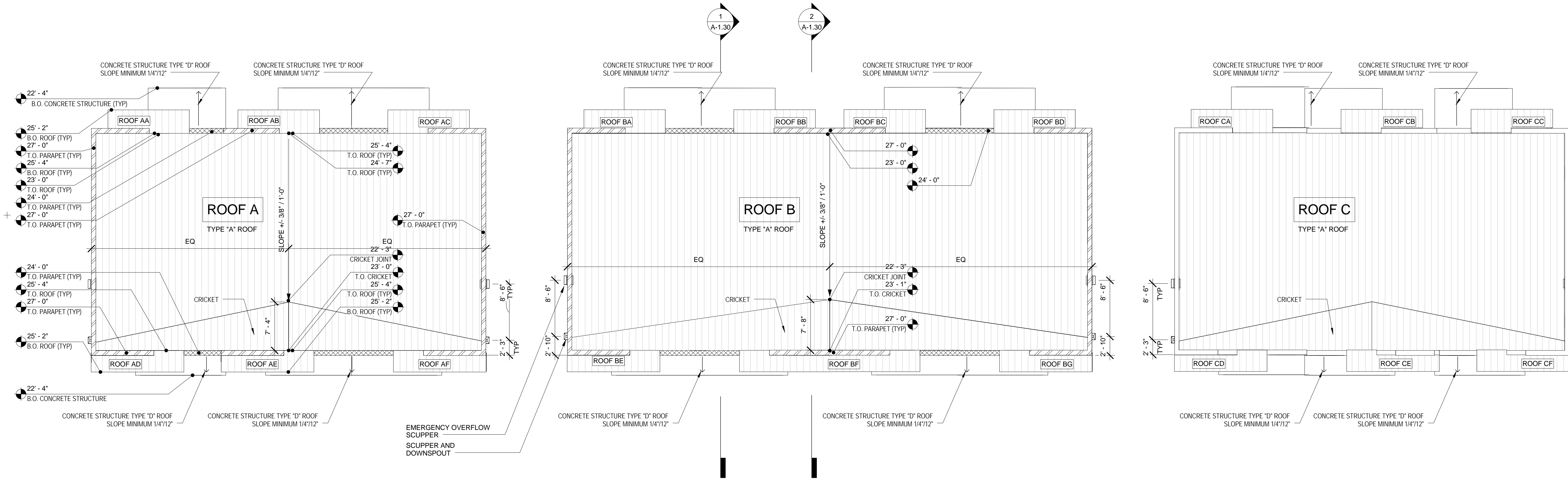
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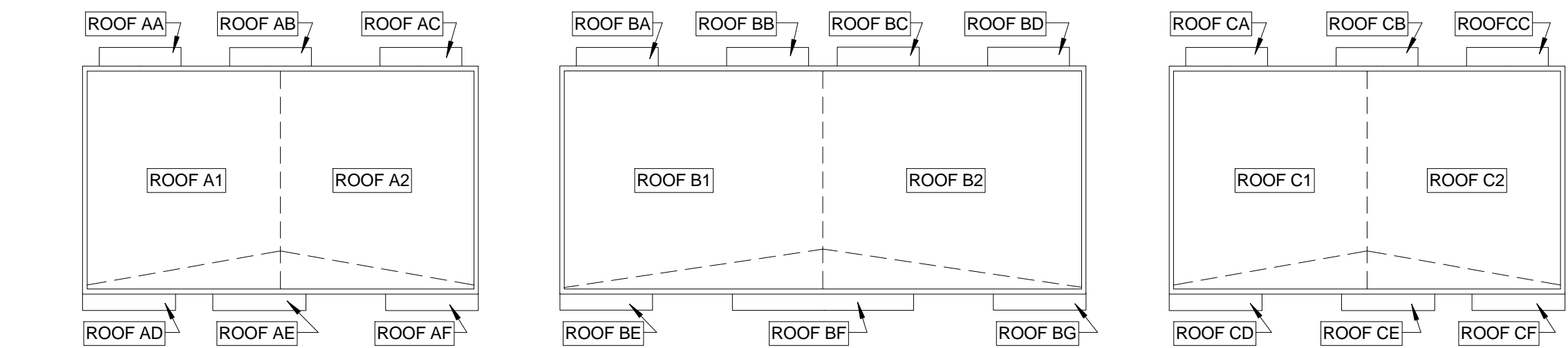
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ROOF PLAN

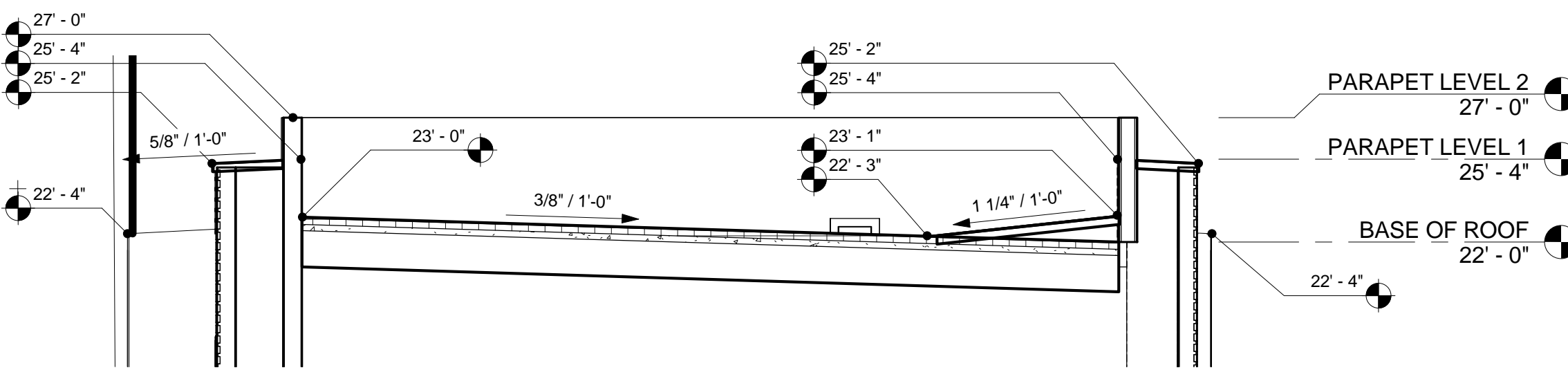
A-1.30



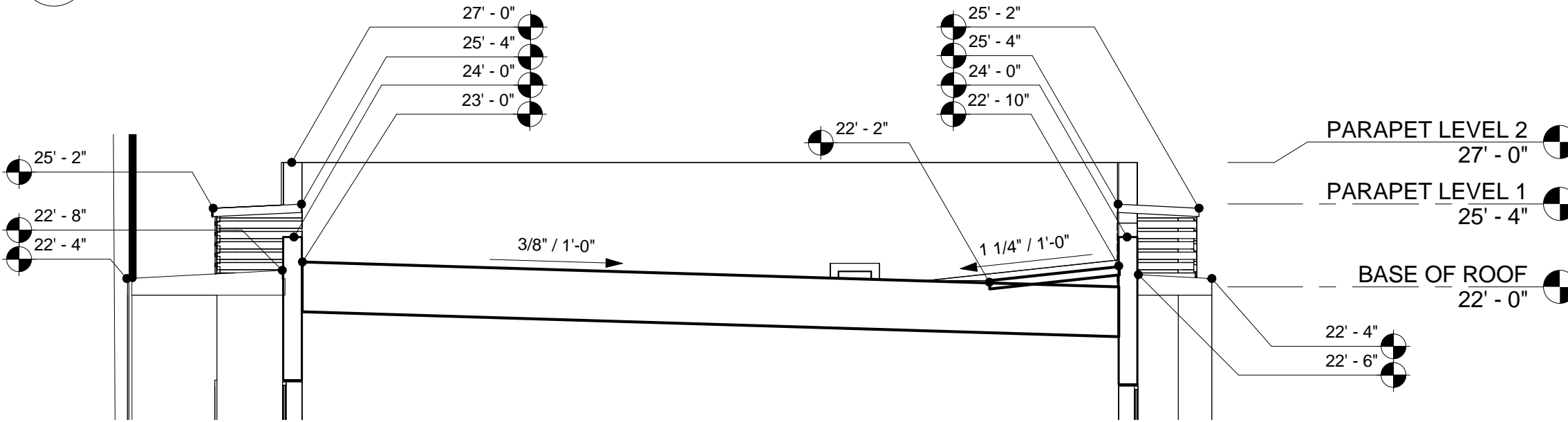
A-1.30  
1/8" = 1'-0"



ROOF AREA LEGEND  
1" = 20'-0"



2  
3/16" = 1'-0"



1  
3/16" = 1'-0"

## ROOF AREAS AND DRAINAGE CALCULATIONS

| MAX ROOF DRAIN PROJECTED AREA |            |                        |                      |        |
|-------------------------------|------------|------------------------|----------------------|--------|
|                               | ROOF SIZE  | VERTICAL WALL AREA / 2 | TTL CALCULATED AREA: | NOTES: |
| ROOF 'A'                      | 2,119.1 SF | 385.68 SF              | 2,504.78 SF          | -      |
| ROOF 'A1'                     | 955.0 SF   | 169.23 SF              | 1,124.23 SF          | -      |
| ROOF 'A2'                     | 955.0 SF   | 169.23 SF              | 1,124.23 SF          | -      |
| ROOF 'AA'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'AB'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'AC'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'AD'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'AE'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'AF'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'B'                      | 2,836.1 SF | 462.9 SF               | 3,299.0 SF           | -      |
| ROOF 'B1'                     | 1,279.5 SF | 199.96 SF              | 1,479.46 SF          | -      |
| ROOF 'B2'                     | 1,279.5 SF | 199.96 SF              | 1,479.46 SF          | -      |
| ROOF 'BA'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'BB'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'BC'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'BD'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'BE'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'BF'                     | 68.3 SF    | 19.0 SF                | 87.3 SF              | -      |
| ROOF 'BG'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'C'                      | 2,119.1 SF | 385.68 SF              | 2,504.78 SF          | -      |
| ROOF 'C1'                     | 955.0 SF   | 169.23 SF              | 1,124.23 SF          | -      |
| ROOF 'C2'                     | 955.0 SF   | 169.23 SF              | 1,124.23 SF          | -      |
| ROOF 'CA'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'CB'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'CC'                     | 34.7 SF    | 6.24 SF                | 40.94 SF             | -      |
| ROOF 'CD'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'CE'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |
| ROOF 'CF'                     | 35.0 SF    | 9.5 SF                 | 44.5 SF              | -      |

| ROOF DRAIN CALCULATIONS   |             |                          |                                   |
|---|-------------|--------------------------|-----------------------------------|
| VERTICAL LEADERS & ROOF GUTTERS - (AS PER FLORIDA PLUMBING CODE, TABLE 1106.2-BASED ON 12 INCHES ANNUAL RAINFALL) |             |                          |                                   |
|   | ROOF SIZE   | SIZE OF VERTICAL LEADERS | SIZE OF SEMICIRCULAR ROOF GUTTERS |
| ROOF 'A1'   | 1,124.23 SF | 2 3/4" x 4 1/4"          | N/A                               |
| ROOF 'A2'   | 1,124.23 SF | 2 3/4" x 4 1/4"          | N/A                               |
| ROOF 'B1'   | 1,479.46 SF | 2 3/4" x 4 1/4"          | N/A                               |
| ROOF 'B2'   | 1,479.46 SF | 2 3/4" x 4 1/4"          | N/A                               |
| ROOF 'C1'   | 1,124.23 SF | 2 3/4" x 4 1/4"          | N/A                               |
| ROOF 'C2'   | 1,124.23 SF | 2 3/4" x 4 1/4"          | N/A                               |

## ROOF NOTES:

1. THE ROOF SYSTEM SHALL BE AS SPECIFIED OR APPROVED EQUAL.
2. ALL ROOFING INSTALLATION METHODS, CONNECTIONS, ATTACHMENTS, OVERLAPS, PENETRATIONS, FLASHINGS AND DETAILS SHALL MEET THE SUBMITTED AND APPROVED ROOF SYSTEMS PRODUCT APPROVAL AND MANUFACTURES SPECIFICATIONS.
3. ALL EXPOSED METAL SHALL BE GALVANIZED AND APPROPRIATE FOR COASTAL WEATHER CONDITIONS.
4. PROVIDE FLASHING AT ALL WALL AND CURB ADJOINMENTS.
5. MINIMUM 26 GAUGE GALVANIZED SCUPPERS AT ALL SCUPPER LOCATIONS. (OR APPROVED EQUAL)
6. SEE THE CIVIL DRAWING FOR SITE DRAINAGE.
7. COORDINATE LOCATIONS AND EXACT SIZES OF OPENINGS FOR PLUMBING PIPING WITH PLUMBING CONTRACTOR.
8. ROOF DRAINAGE PER FLORIDA PLUMBING CODE - 2010, CHAPTER 11 AND FLORIDA BUILDING CODE - SECTION 1503.4 ROOF DRAINAGE.
9. OVERFLOW DRAINS OR SCUPPERS SHALL BE PLACED TO PREVENT AN ACCUMULATION OF MORE THAN TWO INCHES OF WATER ON ANY PORTION OF THE ROOF.
10. ALL ROOFS SHALL BE DESIGNED WITH A MINIMUM SLOPE AT A MAXIMUM DEFLECTION PLUS ONE-QUARTER INCH PER FOOT TO ASSURE ADEQUATE DRAINAGE.

### ROOF TYPES

#### TYPE 'A'

MODIFIED BITUMEN ROOFING SYSTEM OVER WOOD DECK AS MANUFACTURED BY SOPREMA, INC.

MEMBRANE TYPE: SBS MODIFIED  
DECK TYPE: WOOD, INSULATED  
INSULATION LAYER: ANY APPROVED POLYISOCYANURATE OR SECURROCK GYPSUM-FIBER ROOF BAORD  
MINIUM .5" THICK.  
BASE SHEET: SOPRAFIX BASE 622  
FASTENING: ATTACH BASE SHEET USING SOPRAFIX MBB-R WITH SOPREMA #15 FASTENERS SPACED 6" O.C.  
IN THE MINIMUM 5" WIDE GAP  
MEMBRANE: SOPRELENE FLAM 180 FR GR

MAXIMUM DESIGN PRESSURE: -90 PSF (SEE GENERAL LIMITATION #7 ON NOA)

#### TYPE 'D'

#### LOW SLOPED ROOF - CONCRETE EYEBROW

PRODUCT SPECIFICATION: R NOVA PLUS WHITE  
CONTAINER SIZE: ASTM D6083  
USE: 5 GAL. PAIL  
HYBRID ACRYLIC / URETHANE RESIN USED AS BASE OR TOP COAT  
RATE: BASE COAT 3.0 GAL/SQFT, TOP COAT 1.0GAL/SQFT

- NOTES:
1. PROVIDE THE REQUIRED FLASHINGS AT EACH CONDITION.
  2. PROVIDE A MINIMUM 15 YEAR GUARANTEE (OR APPROVED EQUAL)
  3. ROOF DRAINAGE BY THRU WALL SCUPPERS, COLLECTION BOXES AND DOWNSPOTS.
  4. OVERFLOW DRAINAGE BY THRU WALL SCUPPERS LOCATED IN THE PARAPET WALLS.
  5. PROVIDE CRICKETS AS REQUIRED TO ACHIEVE PROPER DRAINAGE.





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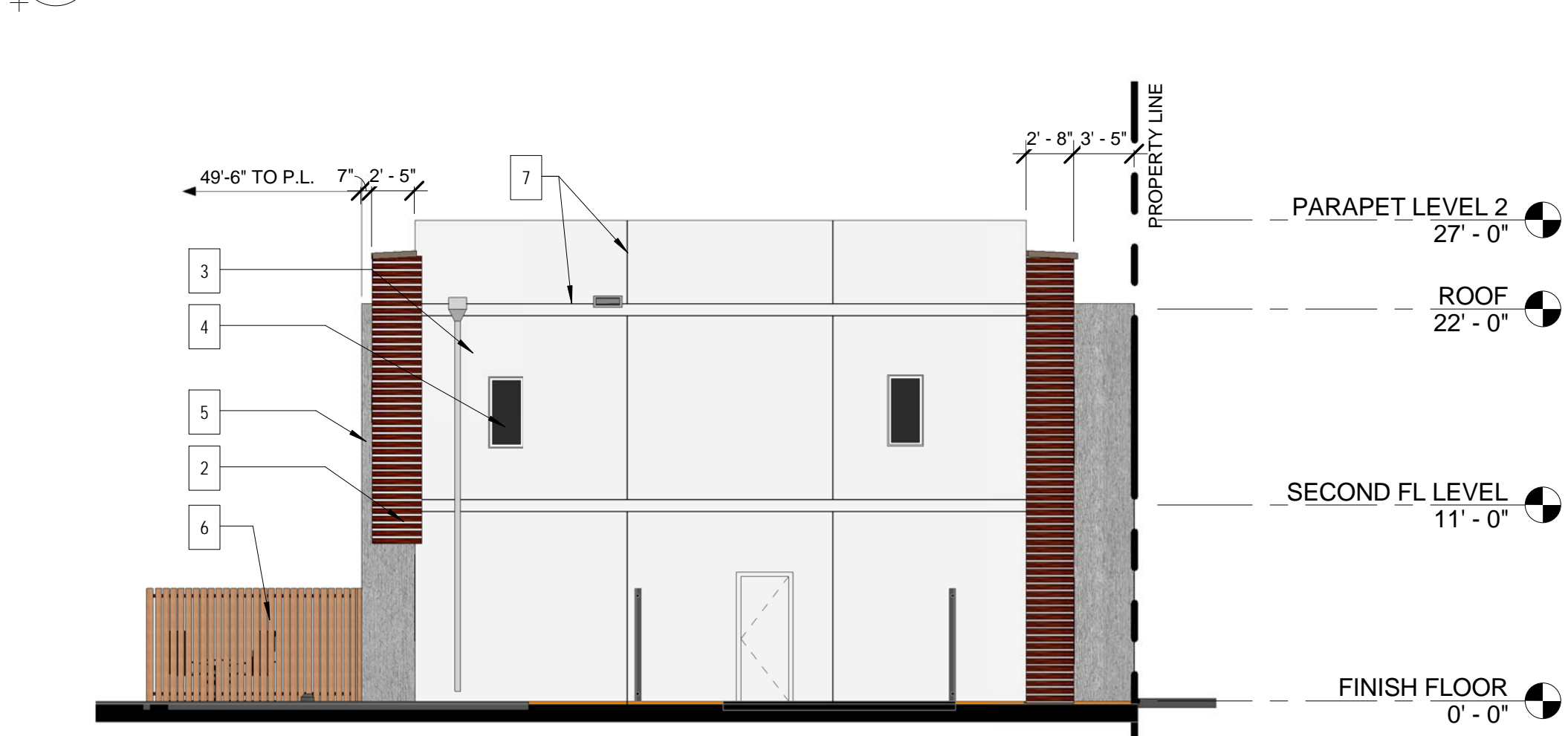
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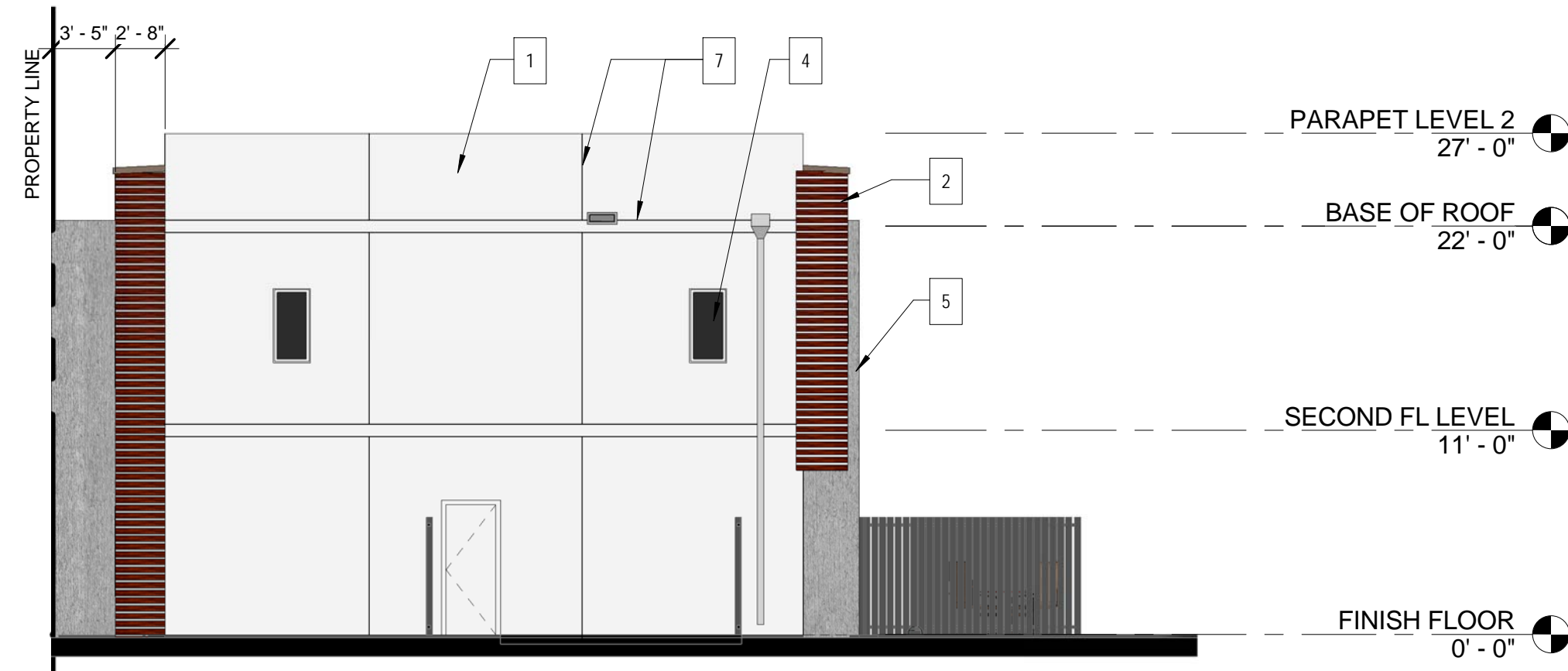
1 NORTH ELEVATION



2 SOUTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION

FINISH MATERIAL LEGEND

| SYMBOL | DESCRIPTION        | NAME / MANUF. / FINISH                 |
|--------|--------------------|--|
| 1      | SCORED STUCCO 1    | 2172-10 COPPER CLAY/BENJAMIN MOORE     |
| 2      | SCORED STUCCO 2    | 2165-40 DARK BEIGE/BENJAMIN MOORE      |
| 3      | SMOOTH STUCCO      | WHITE (MANUF. STANDARD)/BENJAMIN MOORE |
| 4      | WINDOW             | TINTED, IMPACT RESISTANT               |
| 5      | CONCRETE STRUCTURE | SMOOTH CONCRETE, COLOR TBD             |
| 6      | FENCE              | WOOD SHADOW BOX                        |
| 7      | 1/2" SCORELINE     | TOOLED JOINT                           |

EXTERIOR ELEVATIONS NOTES:

1. STUCCO FINISHES TO BE FINE SAND FINISHED STUCCO, UNLESS NOTED OTHER WISE.  
PROVIDE 4'X4' MOCK UP FOR APPROVAL

FOR THE USE OF THE PLANNING & ZONING DEPARTMENT

DESIGN & BUILD FOR :

HALLANDALE  
COMMONS

301-323 FOSTER RD.  
HALLANDALE BEACH FL

DATE: 03-16-2017  
NUMBER: A16-011  
REVIEWED: MFW  
MANAGED: PG  
DRAWN: BG

REVISION:  
1 04-27-2017 DRC COMMENTS

PRELIMINARY SET  
NOT FOR  
CONSTRUCTION

EXTERIOR  
ELEVATIONS

A-2.00





VIEW FROM NW 3RD AVENUE ENTRANCE



VIEW FROM NORTHWEST



VIEW FROM RESIDENTS ENTRY



VIEW FROM NW 3RD AVENUE ENTRANCE

MATTHEW F. WEST  
AR 93859



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CONSULTANT:

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**RENDERINGS**

**A-2.10**