

"Exhibit 4"

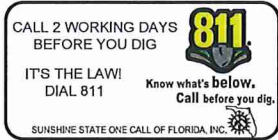


NEIGHBORHOOD VETERINARIAN CLINIC

JSA GROUP INC.
JULIO SANCHEZ, RA
12229 S.W. 132 Ct. MIAMI, FL 33186
ARCHITECT*INTERIOR DESIGNER
305-251-7923/ JULIO@JSAGROUP.NET

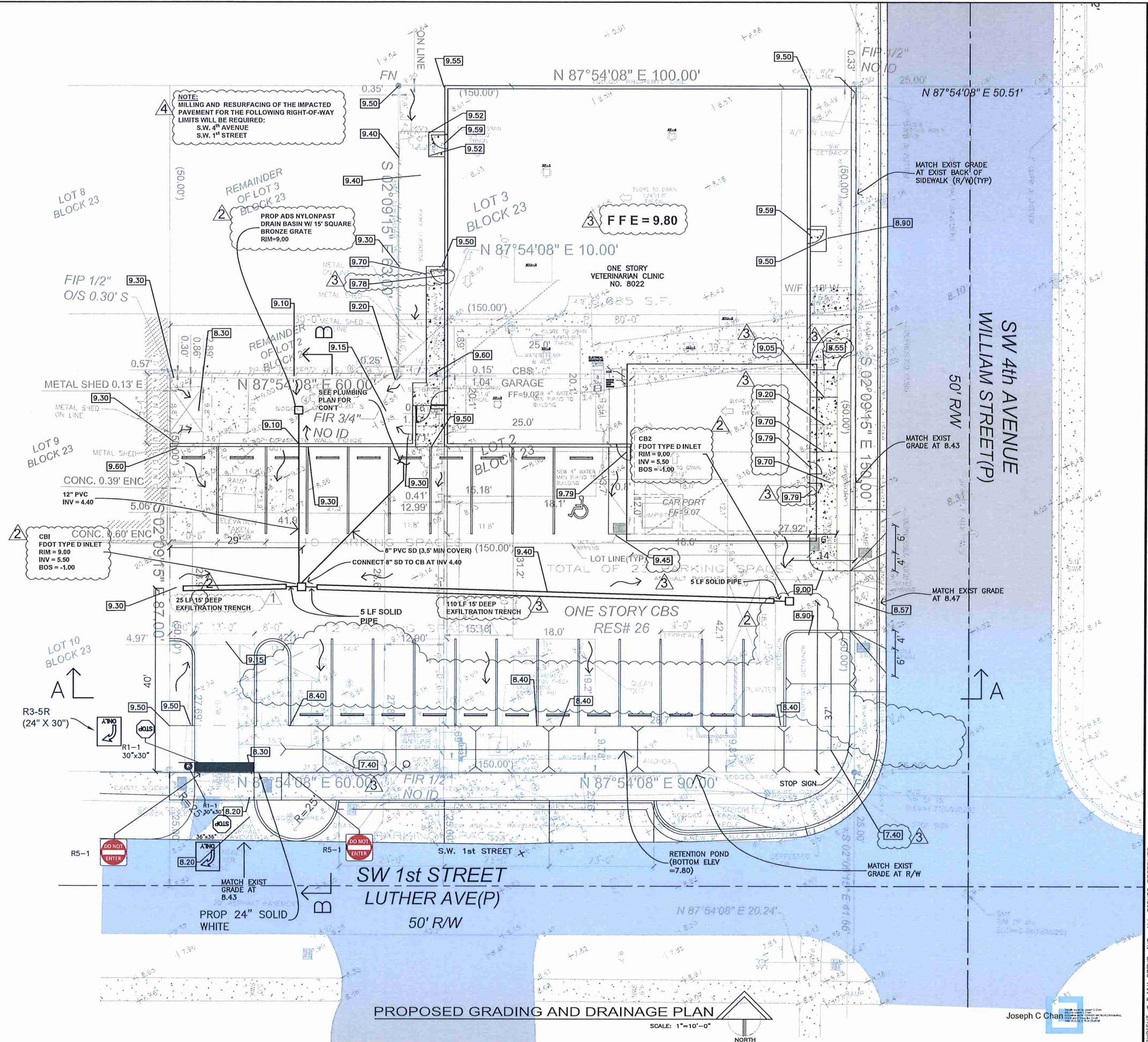
LEGEND

- + 11.18 DENOTES EXIST SPOT ELEVATION
- 8.0 DENOTES PROP SPOT ELEVATION
- ← DENOTES PROP FLOW DIRECTION
- DENOTES PROP ASPHALT PAVEMENT



GENERAL NOTES

- ALL WORK TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO CITY/COUNTY PUBLIC WORKS DEPARTMENT, AND S.F.W.M.D.
- EXISTING UTILITIES AS SHOWN ARE PLOTTED FROM THE BEST AVAILABLE SOURCES, HOWEVER EITHER THE ENGINEER OF RECORD OR B. A. & K GROUP, INC. GUARANTEE THE ACCURACY. ANY ADDITIONAL COST DUE TO CONFLICT BETWEEN PROPOSED IMPROVEMENTS AND EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO CLEAR AND GRUB RIGHT OF WAY AND CUT ROADWAY TO SUBGRADE. UTILITY CONTRACTOR TO BE NOTIFIED AND SEWER AND WATER LINES TO BE INSTALLED AT THAT TIME. ALL DEBRIS AND MATERIAL NOT SUITABLE FOR FILL TO BE REMOVED FROM JOB SITE. ALL SURPLUS MATERIAL TO BE SPREAD AND LEVELED ON ADJUTING LOTS AS DIRECTED BY THE ENGINEER.
- IT IS THE OBLIGATION OF THE BIDDER OR THE CONTRACTOR TO MAKE HIS OWN INVESTIGATION AND SATISFY HIMSELF FULLY OF SUBSURFACE CONDITIONS PRIOR TO SUBMITTING HIS BID. FAILURE TO DO SO WILL NOT RELIEVE HIM OF HIS OBLIGATION TO COMPLETE THE WORK FULLY AND ACCEPTABLE TO THE ENGINEER AND THE OWNER FOR THE CONSIDERATION SET FORTH IN HIS BID.
- CONTRACTOR TO VERIFY TO HIS OWN SATISFACTION ALL THOSE QUANTITIES AND ITEMS ENCOMPASSED IN THIS PROJECT PRIOR TO COMPLETION OF HIS BID. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- CONTRACTOR SHALL EXERCISE ALL CARE AND CAUTION IN PROTECTING ALL UTILITIES DURING COMPLETION OF HIS WORK. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY CO. ANY AND ALL COST INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE HIS OWN LINE AND GRADE FROM HORIZONTAL AND VERTICAL CONTROL. CONTRACTOR SHALL ALSO PROVIDE "AS BUILT" GRADES CERTIFIED BY A REGISTERED LAND SURVEYOR AS REQUIRED BY DADE COUNTY.
- CONTRACTOR TO PROVIDE PROCTOR AND FIELD DENSITY TESTS ON LIMEROCK BASE AS REQUIRED BY THE ENGINEER. IN THE EVENT OF FIELD DENSITY TEST FAILURES, THE CONTRACTOR SHALL REWORK THE BASE AND/OR SUBGRADE AS REQUIRED AND PROVIDE ADDITIONAL TEST(S) AS REQUIRED AND AT HIS OWN EXPENSE.
- CATCH BASINS AND PAVEMENT AROUND CATCH BASINS ALL TO BE CONSTRUCTED IN ACCORDANCE WITH D.C.P.W.D. STANDARD DETAILS NO. SD 2.6.
- DRAIN FIELD AND PIPE TO BE CONSTRUCTED IN ACCORDANCE WITH MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT STANDARD DETAIL NO. SD 1.1 AND IN ACCORDANCE WITH MIAMI-DADE COUNTY D.E.R.M. REQUIREMENTS, INCLUDING BAFFLES AS REQUIRED.
- ALL ELEVATIONS REFER TO NAVD 1988 DATUM.
- CONTRACTOR TO PROVIDE A LETTER TO THE OWNER AND ENGINEER PRIOR TO COMMENCING FINAL INSPECTION CERTIFYING THAT CONSTRUCTION AND MATERIALS USED IN THE BUILDING OF THE STREETS, WATER, SEWER AND DRAINAGE FACILITIES, ETC., WERE DONE IN ACCORDANCE WITH THE APPROVED ENGINEER DRAWINGS AND ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE COUNTY AND CITY.

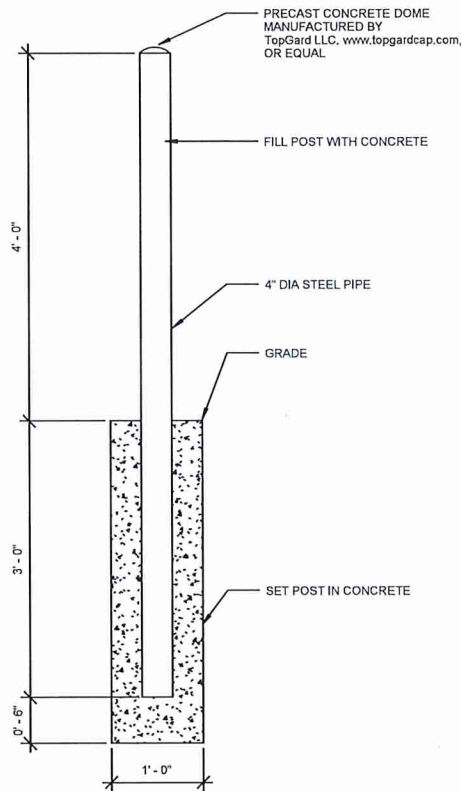


PROPOSED GRADING AND DRAINAGE PLAN

SCALE: 1"=10'-0"



BY	DATE	REVISIONS
12/13/22		A COUNTY COMMENTS
12/09/21		A COUNTY COMMENTS
10/27/21		A COUNTY COMMENTS
No		No
B, A, & K GROUP, INC.		
12000 SW 92 ST. MIAMI, FL 33186-2018		
T: 786.488.1000		
E: ENGINEERCONTRACTOR@GMAIL.COM		
C.A. #26913 LB #7887		
TITLE: GRADING AND DRAINAGE PLAN		
SCALE: 1"=10'		
PROJECT: NEIGHBORHOOD VETERINARIAN CLINIC		
26 S.W. 4TH AVENUE		
HALLANDALE FLORIDA		
THIS DRAWING IS THE PROPERTY OF B. A. & K GROUP, INC. AND SHALL BE KEPT IN CONFIDENTIALITY. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF B. A. & K GROUP, INC. ANY VIOLATION OF THIS AGREEMENT SHALL BE SUBJECT TO LEGAL ACTION.		
DATE: 06/28/22		
PROJECT NO.: 18-109		
SHEET NUMBER: C1		

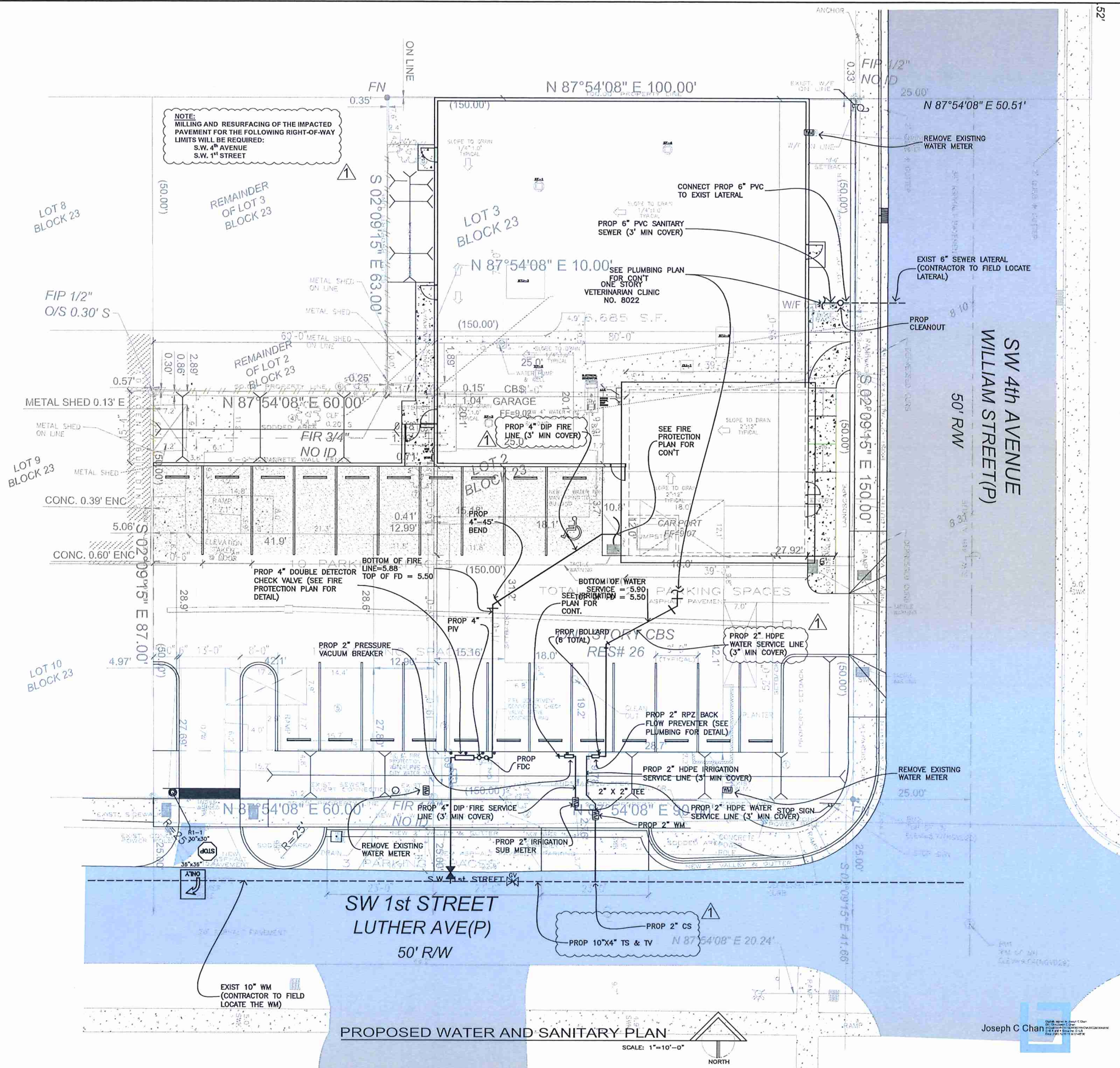


1 PIPE BOLLARD DETAIL
1" = 1'-0"



GENERAL NOTES

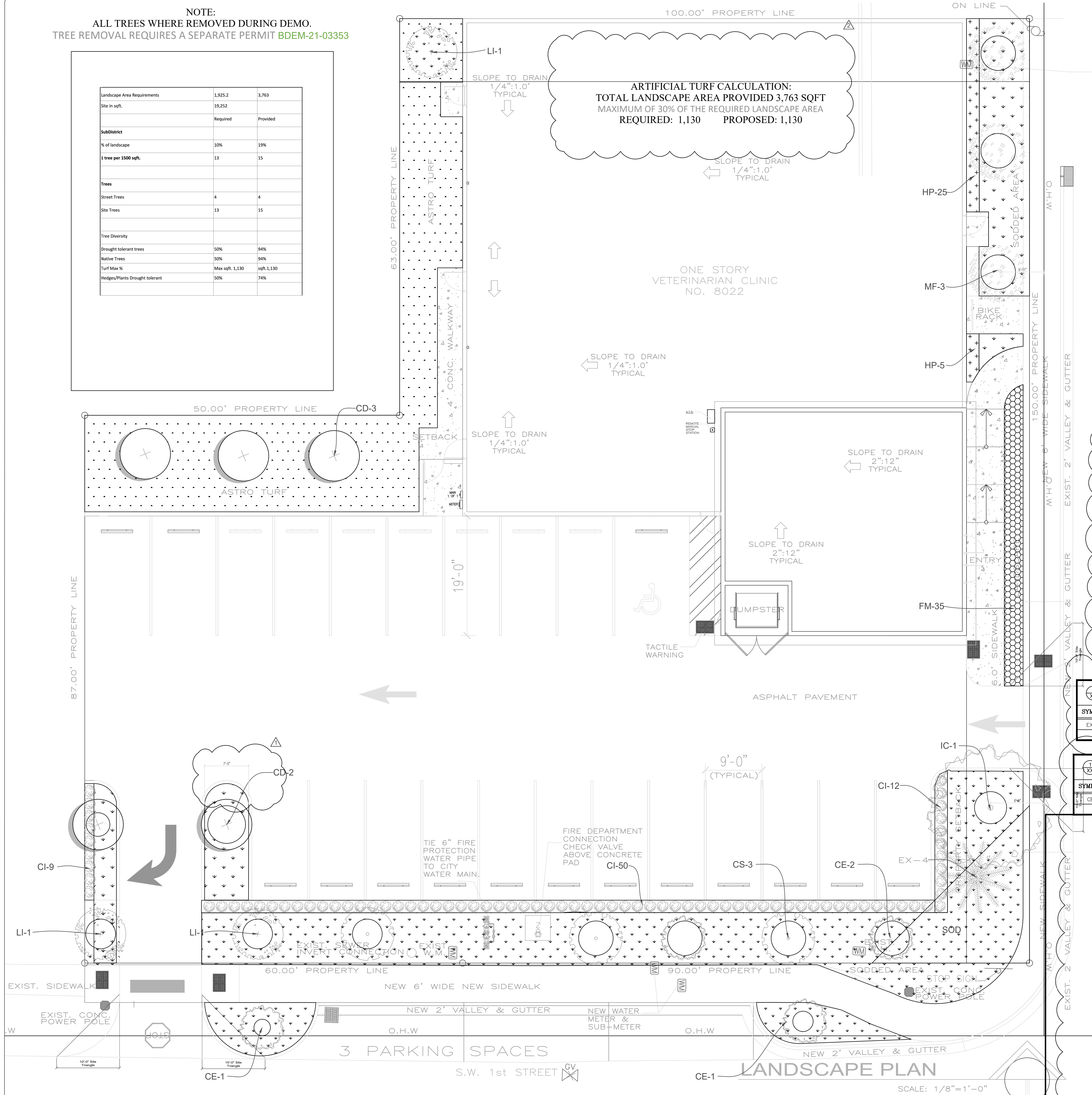
1. ALL WORK TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO CITY/COUNTY COUNTY PUBLIC WORKS DEPARTMENT, AND S.F.W.M.D.
2. EXISTING UTILITIES AS SHOWN ARE PLOTTED FROM THE BEST AVAILABLE SOURCES, HOWEVER EITHER THE ENGINEER OF RECORD OR B, A, & K GROUP, INC. GUARANTEE THE ACCURACY. ANY ADDITIONAL COST DUE TO CONFLICT BETWEEN PROPOSED IMPROVEMENTS AND EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



BY	DATE	REVISIONS
	12/19/22	
COUNTY COMMENTS		
No.		
B, A, & K GROUP, INC.		
12000 SW 92 ST. MIAMI, FL 33186-2018		
T: 786.488.1000		
E: ENGINEERCONTRACTOR@GMAIL.COM		
C.A. #26913 LB #7887		
TITLE: WATER AND SANITARY SEWER PLAN		
SCALE: 1" = 10'	IP	JC
PROJECT: NEIGHBORHOOD VETERINARIAN CLINIC 26 S.W. 4TH AVENUE	FLORIDA	HALLANDALE
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THEY BEARING THE SIGNATURE OF THE ENGINEER OF RECORD.		
JOSEPH C. CHAI LICENSE No. 40587 STATE OF FLORIDA PROFESSIONAL ENGINEER		
DATE 06/26/22		
PROJECT NO. 18-109		
SHEET NUMBER C3		

NOTE:
ALL TREES WHERE REMOVED DURING DEMO.
TREE REMOVAL REQUIRES A SEPARATE PERMIT BDEM-21-03353

Landscape Area Requirements		
Site in sqft.	19,252	3,763
	Required	Provided
SubDistrict		
% of landscape	10%	19%
1 tree per 1500 sqft.	13	15
Trees		
Street Trees	4	4
Site Trees	13	15
Tree Diversity		
Drought tolerant trees	50%	94%
Native Trees	50%	94%
Turf Max %	Max sqft. 1,130	sqft.1,130
Hedges/Plants Drought tolerant	50%	74%



ARTIFICIAL TURF CALCULATION:
TOTAL LANDSCAPE AREA PROVIDED 3,763 SQFT
MAXIMUM OF 30% OF THE REQUIRED LANDSCAPE AREA
REQUIRED: 1,130 PROPOSED: 1,130

City of Hallandale LANDSCAPE REQUIREMENTS

SITE CALCULATIONS

TOTAL SITE AREA 19,252 S.F.
LANDSCAPE AREA 3,763 S.F

Sec. 32-384.C SITE TREES: 1 Tree Per. 1,500 S.F. OF SITE AREA
(13) TREES REQUIRED / (13) TREES PROVIDED
3 Pitch Apple, 4 Pigeon Plum, 3 Orange Geiger, 3 Cape Myrtle

Sec. 32-384.F VUA TREES: 1 Tree Per. Parkin Island
(2) TREES REQUIRED / (2) TREES PROVIDED
1 Pigeon Plum, 1 Live Oak

STREET TREES:
1 TREE PER. 25' LINEAR FEET. (4) REQUIRED /(3) Provided
Due to lack of Space 1 extra orange Geiger installed on site.

A minimum of 50% of required trees must be native species.
Total Trees Provided (19) - 50% Required (9) -Trees Provided (16) 94%
Total Shrubs (136)-50% Required (62)- Provided (101) 74%

TOTAL SOD AREA 11%

TOTAL ARTIFICIAL TURF AREA 30%

TOAL LANDSCAPE AREA 19%

PLANT MATERIAL SCHEDULE

NUMBER SYMBOL	SYMBOL	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
CD		Coccoloba diversifolia	Pigeon Plum	15' HT. 6' SPR. MIN. 3" Cal	No	5	Low
IC		Ilex cassine	Dahoon Holly	15' HT. 6' SPR. MIN. 3" Cal	Yes	1	Low
LI		Lagerstroemia indica(Natchez)	Crape Myrtle	15' HT. 6' SPR. MIN. 3" Cal	No	3	Medium
MF		Myrcianthes fragrans	Simpson Stopper	15' HT. 6' SPR. MIN. 3" Cal	Yes	3	Low
CS		Cordia sebestena	Orange Geiger	15' HT. 6' SPR. MIN. 3" Cal	Yes	3	Low

Shrubs and Groundcover

CI	Chrysobalanus icaco	Coco Plum	24" HT. X 15" Spr. 24" O.C.	Yes	71	Low
FM	Ficus microcarpa 'Green Island'	Green Island Ficus	12" HT X 12" Sprs.12" O.C	No	35	Medium
HP	Hamelia patens	Firebush	24" HT. X 18" SPR.	Yes	30	Medium
SOD	Palmetto	SODDED AREA	CONTRACTOR SHALL VERIFY QUANTITY		APPROX. 2,136	S.F.
TURF	ARTIFICIAL TURF	TURF AREA	CONTRACTOR SHALL VERIFY QUANTITY		APPROX. 1,130	S.F.

NOTE: 2" OF SOIL SHALL BE ADDED UNDER ALL SOD

EXISTING TREE SCHEDULE

SYMBOL		COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
EX-4	Beaucarnea recurvata	Ponytail Palm	22' HT. 14" SPR. 36" DBH.	No	1	Low

STREET TREE SCHEDULE

NUMBER SYMBOL	SYMBOL	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
CE		Conocarpus erectus	Silver Buttonwood	15' HT. 6' SPR. MIN. 3" Cal	Yes	4	Low

Plant Schedule

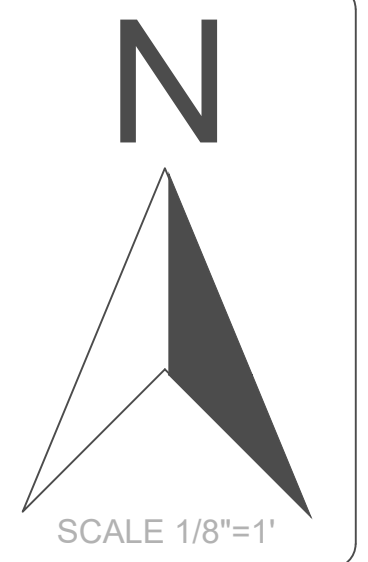
KEY	Trees on Site	QTY	COMMON NAME	BOTANTIAL NAME	Caliper	Quality	Height at Planting	Drought	Native	Notes
CD		5	Pigeon Plum	Coccoloba diversifolia	3	FL-1	15' OA	X	X	
IC		1	Ilex cassine	Ilex cassine	3	FL-1	15' OA	X	X	
LI		3	Crape Myrtle	Lagerstroemia indica(Natchez)	3	FL-1	15' OA	X	X	
MF		3	Simpson Stopper	Myrcianthes fragrans	3	FL-1	15' OA	X	X	
CS		3	Orange Geiger	Cordia sebestena	3	FL-1	15' OA	X	X	
KEY	Trees off Site	QTY	COMMON NAME	BOTANTIAL NAME	Caliper	Quality	Height at Planting	Drought	Native	Notes
CE		4	Silver buttonwood	Conocarpus erectus	3	FL-1	15' OA	X	X	
KEY	Shrubs	QTY	COMMON NAME	BOTANTIAL NAME	Size	Quality	Height at Planting	Drought	Native	Notes
CI		71	Coccoloba	Chrysobalanus icaco	70gal	FL-1	24"	X	X	24" X 24" SPREAD 24" O.C
FM		36	Green Island ficus	Ficus microcarpa	30gal	FL-1	12"	X	X	12" X 12" SPREAD 12" O.C
HP		30	Fire Bush	Hamelia patens	70gal	FL-1	24"	X	X	24" X 15" SPREAD 24" O.C
KEY	Ground Cover	QTY SQFT	COMMON NAME	BOTANTIAL NAME						
SOD		2,136	Palmetto	Sterodaphnum secundatum 'Palmetto'						

REVISION / DATE
6/22/2022
11/30/2022

LiveScapes
18710 SW 96 Ave
Miami FL 33157

Neighborhood Veterinarian Clinic
26 SW 4th Ave
Hallandale FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2020-0
DATE:	12/8/2022



SCALE 1/8"=1'

SEAL

L-1

GENERAL PLANTING REQUIREMENTS

1–All sizes shown for plant material on the plans are to be considered Minimum.

2–All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

3–All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees".

4–All material shall be installed as per CSI specifications. All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

5–All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well–drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications. Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

6–All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

7–All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

8–All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source.

9–Each system shall be installed with a rain sensor.

10–It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods.

11–Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

12–All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N–P–K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

13–Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

14–All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of landscape Architect

15–The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

TREE RELOCATION

1) ROOT PREPARATION

A. Trees to be root pruned with clean, sharp equipment.

1. Maintain root pruned materials by watering, weeding, mowing, spraying,

fertilizing, and other horticulture practices.

2. After root pruning, backfill with good rooting medium, fertilize with organic

fertilizer to promote root growth.

3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize

temperature fluctuation.

B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards

set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees,

Florida Department of Agriculture.

1. Trees–Minimum Ball Sizes:

DBH Minimum Ball Diameter

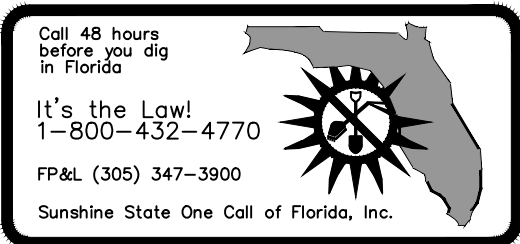
3–1/2" to 4" 28"

4" to 4–1/2" 30"

4–1/2" to 5" 32"

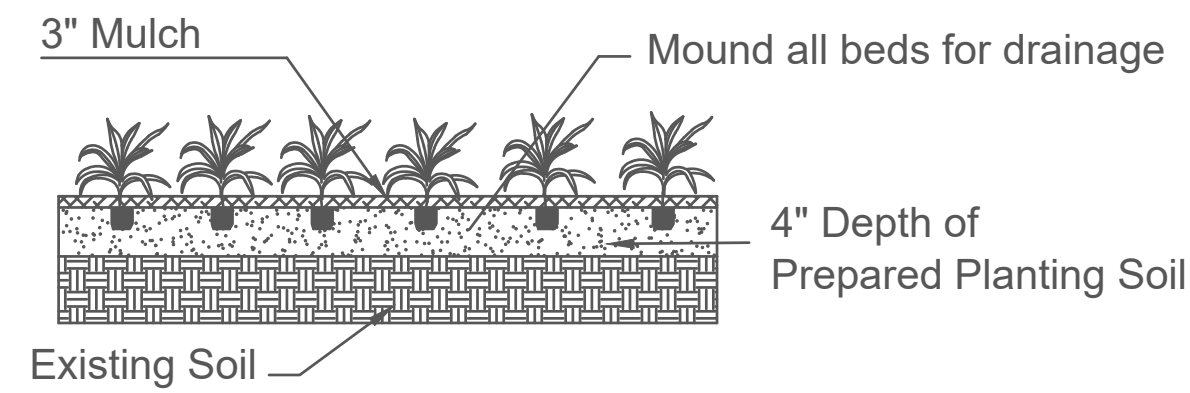
5" to 5–1/2" 34"

Larger sizes increase proportionally.



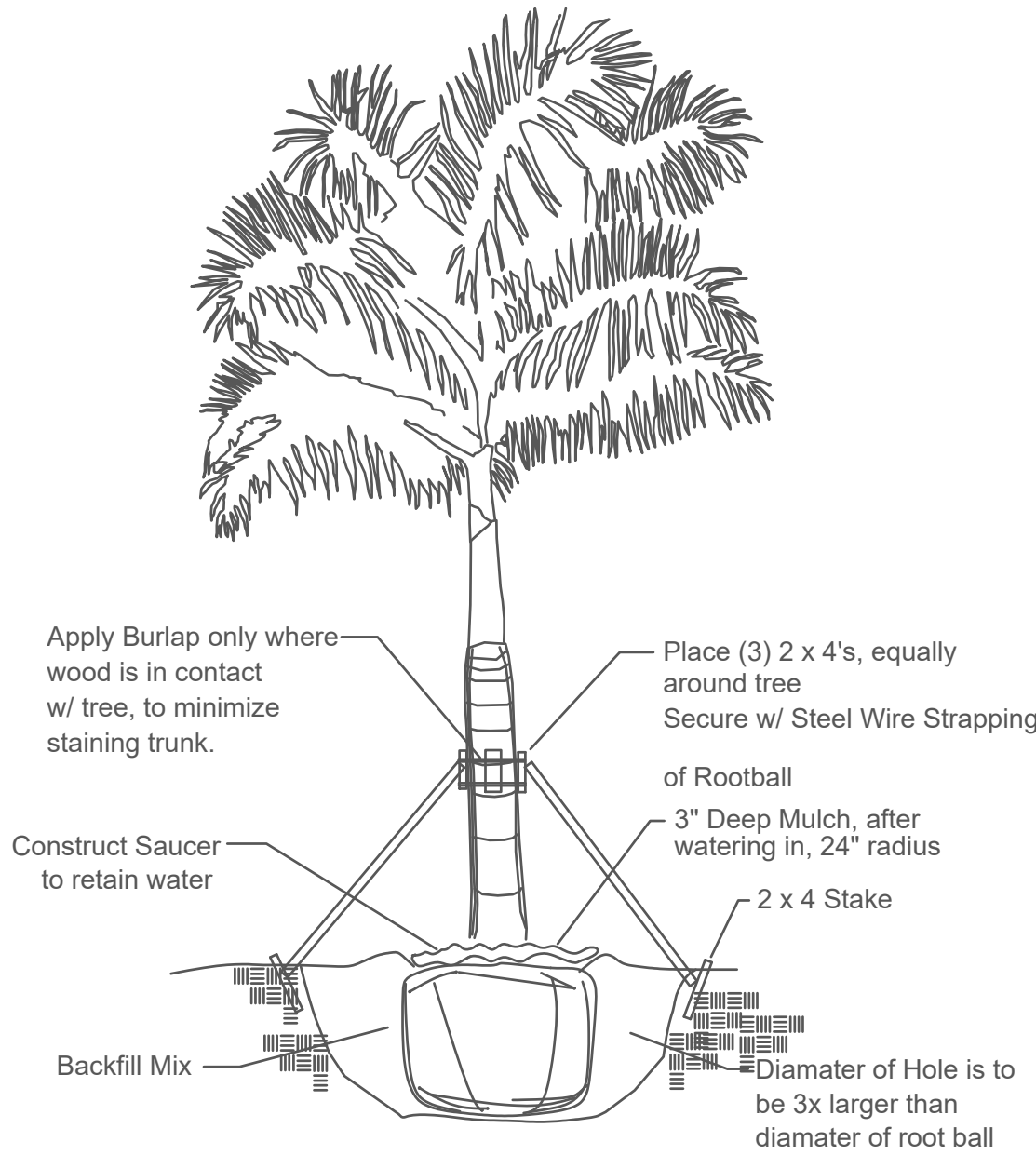
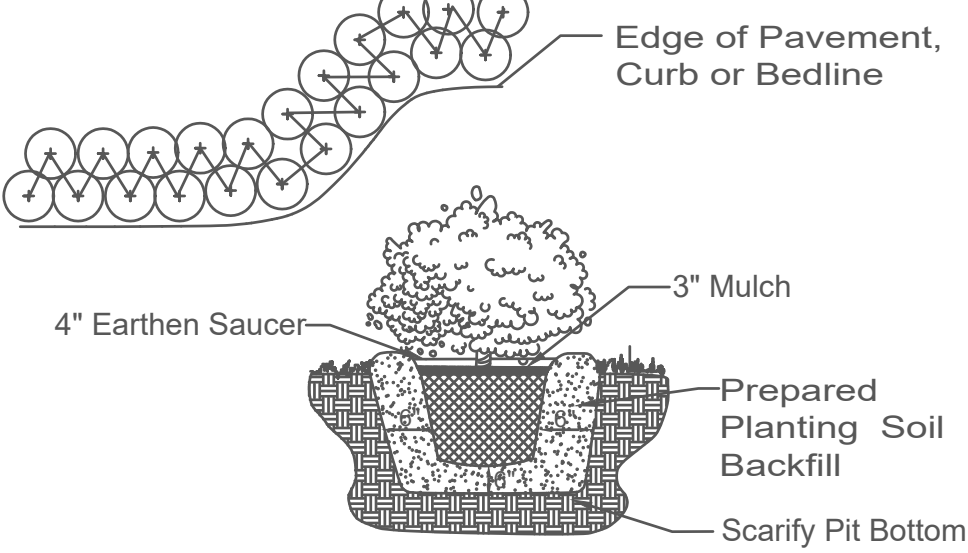
NTS

NOTE: Annuals Are To Be Planted As Per Groundcover Detail Excluding Mulch.



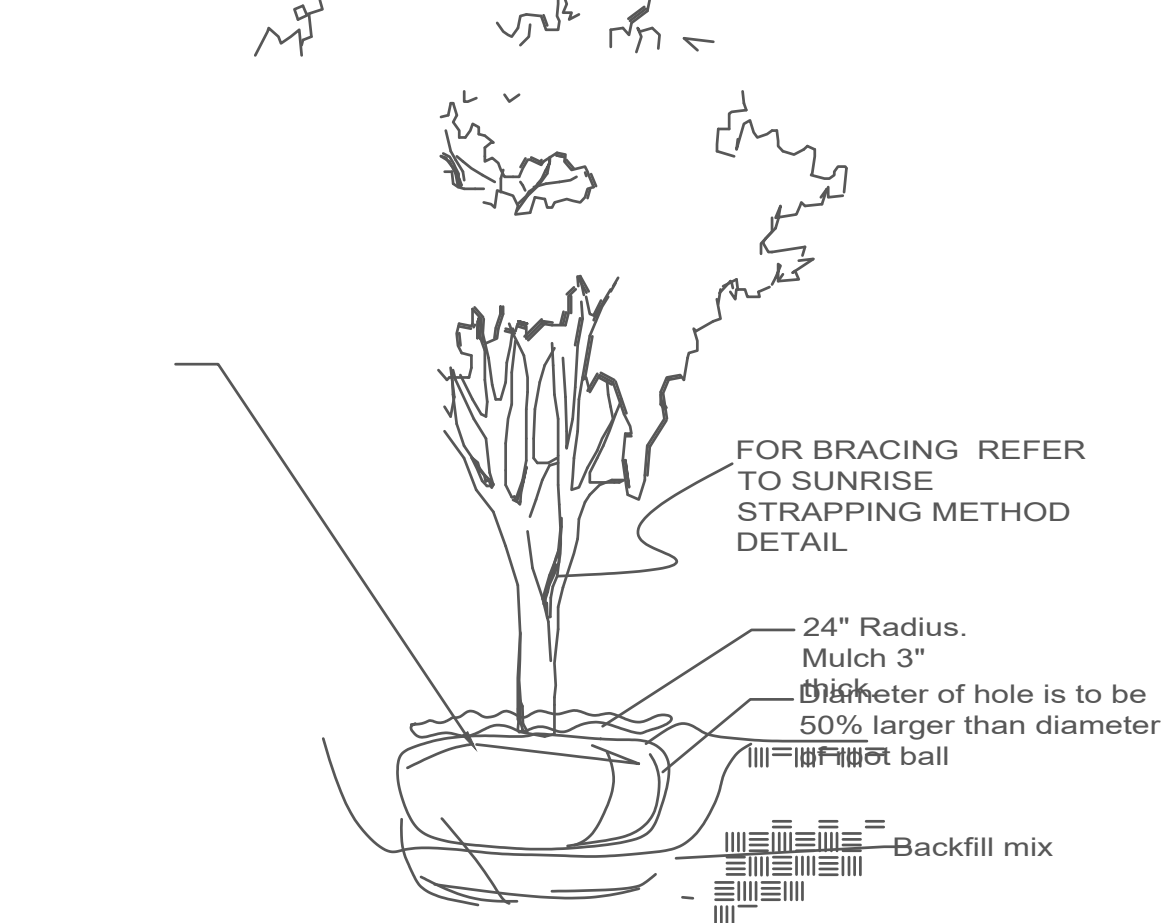
Shrub & Groundcover Planting Detail

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallei Rows Along Curved Edges.



Tree Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



1. All Plants shall be Florida No.1 or better.
2. Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
3. In the event that a certain specification is not able to be met, then contractor shall contact landscape architect to discuss alternatives.
4. Contractor shall be familiar w/ the City of Hallandale, FLORIDA landscape code and shall comply with all of its applicable requirements.
5. Contractor shall verify all quantities indicated at time of bid.
6. Contractor shall provide unit prices at time of bid.
7. All contractors working on the project shall be licensed and fully insured as required.
8. The Property Owner is responsible for replacement of all dead plant material & for maintenance of the required irrigation system.
9. Tree and palm staking shall be removed between 6 and 12 months.
10. All prohibited exotic vegetation shall be removed from the site and it shall be maintained free of exotics in perpetuity.
11. The review and approval of improvement plans does not authorize the construction of required improvements which are inconsistent w/ existing easements of record.
12. Contractor to verify underground utilities with "Sunshine State One Call of Florida" 800-432-4770.
13. Contractor to verify property lines and setbacks before construction.
14. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent.
15. All plant, trees, and palms shall be for guarantee 1 Year Warranty period begins at the time of project acceptance by the owner.
16. Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system

designed and constructed in accordance with the City of Hallandale Code of

Ordinances, the Florida Building Code, State Law, and the regulations of

the South Florida Water Management District. Failure to maintain or

disconnection of the irrigation system shall be a violation of these

regulations.

17. Contractor shall maintain all plant material and beds must be kept weed free until accepted by owner.
18. Contractor shall maintain site in a clean fashion and shall remove any waste created by landscape installation construction.
19. All plant materials to be installed and maintained as per City of Hallandale and Broward County.
20. General/Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
21. General/Site contractor shall make certain all limerock and excessively compacted soils shall be removed from planting beds.
22. Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
23. If Landscape Contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
24. All slopes steeper than 4:1 shall be planted with native vegetation
25. No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
26. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
27. This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
28. For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
29. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.

△	REVISION / DATE

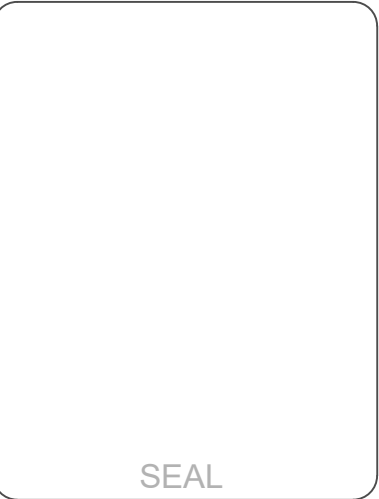
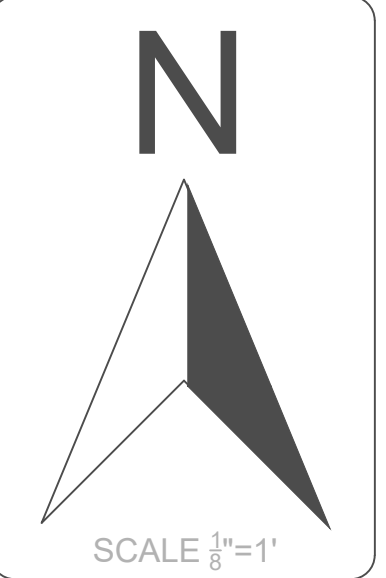
LiveScapes

18710 SW 96 Ave
Miami FL 33157

Neighborhood Veterinarian Clinic

26 SW 4th Ave
Hallandale FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2020-0
DATE:	3/10/2022



21-03353

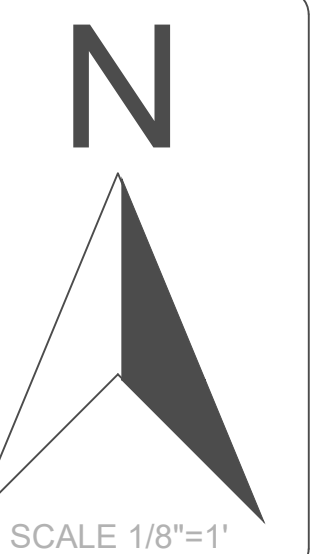
TREE DISPOSITION LIST												
Rahim Vedaae: Certified Arborist FL-9609A												
SURV #	KEY	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)	HEIGHT (FT)	SPREAD (FT)	CANOPY (S-F)	CLEAR TRUNK (FT)	CONDITION (%)	DISPOSITION	COMMENT	MITIGATION
	1	Avocado Tree	Persea americana	6	22	10	78.5		40%	Remove		
	2	Avocado Tree	Persea americana	8	28	22	379.9		52%	Remove		
	3	Live oak	Quercus virginiana	28	20	30	706.5		44%	Remove		
	4	Ponytail Palm	Beaucarnea recurvata	36	22	14	153.9		Good	Remain		

REVISION / DATE
1 6/22/2022
2 11/30/2022

LiveScapes
18710 SW 96 Ave
Miami FL 33157

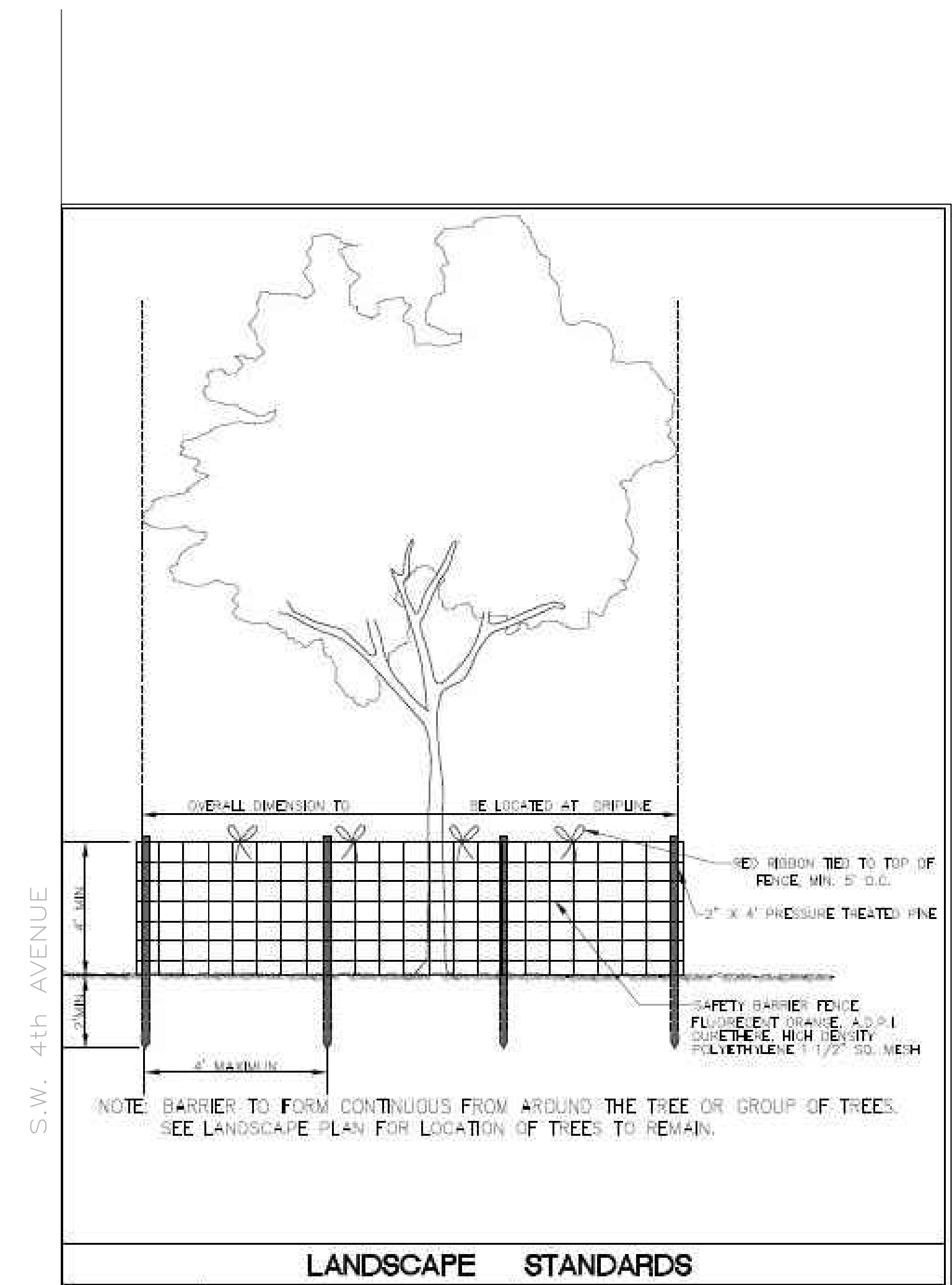
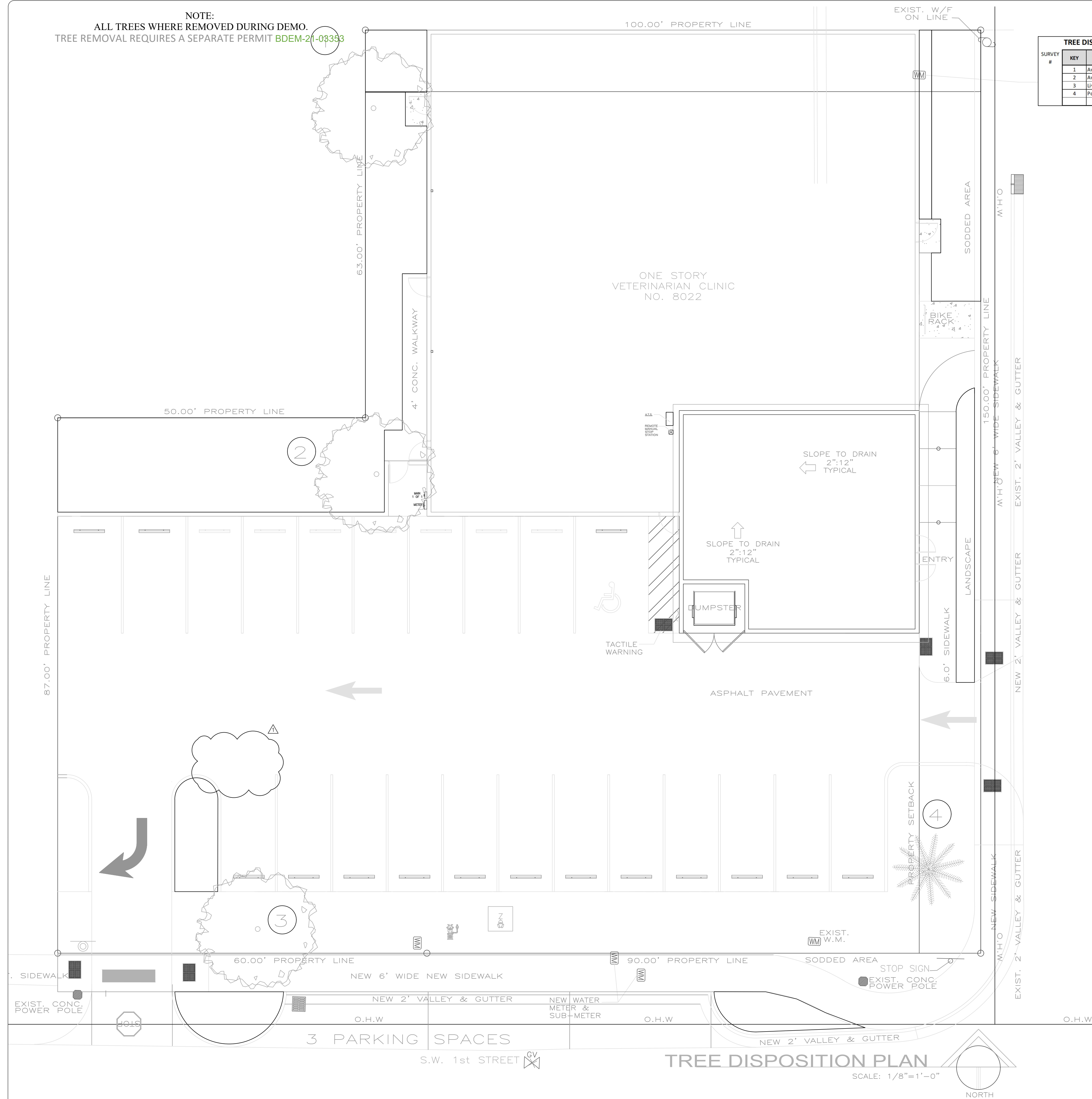
Neighborhood Veterinarian Clinic
26 SW 4th Ave
Hollandale FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2020-0
DATE:	12/8/2022



EAL

TD-1



Note: All undeveloped portions of a parcel of land shall be left undisturbed or planted with ground cover or lawn as to leave no exposed soil in order to prevent dust or soil erosion.

PROPERTY ID: 514228021510
LOT 1, THE EAST 90 FEET; LOT 2 THE EAST 90 FEET OF THE SOUTH 20 FEET, IN BLOCK 23, TOWN OF HALLANDALE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B AT PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY.
TOGETHER WITH LOT 2, THE EAST 100 FEET OF THE NORTH 13 FEET; LOT 2 THE SOUTH 17 FEET OF THE NORTH 30 FEET OF THE EAST 90 FEET; LOT 3 THE EAST 100 FEET, BLOCK 23, TOWN OF HALLANDALE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B AT PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA A/K/A 26 SW 4th AVENUE, HALLANDALE BEACH, FL 33009

PROVIDE NEW CONSTRUCTION FOR AN ANIMAL VETERINARY CLINIC 6,685 SQUARE FEET TO A 13,804 SQUARE FOOT NET LOT SIZE.

[illegible]

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK

GENERAL NOTES:

1. ALL WORK TO BE PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2010, ZONING ORDINANCES APPLICABLE AND ANY AGENCY HAVING JURISDICTION ON THIS PROJECT.
2. MATERIALS AND/OR CONSTRUCTION SYSTEMS USED AS PART OF OR FOR THE PROTECTION OF THE ENVELOPE OF THE STRUCTURE, INCLUDING BUT NOT LIMITED TO WINDOWS, EXTERIOR GLAZING, WALL CLADDING, ROOFING, EXTERIOR DOORS, AND SHUTTERS MUST HAVE PRODUCT CONTROL ACCEPTANCE NUMBERS IN COMPLIANCE WITH THE REQUIREMENTS OF MIAMI DADE COUNTY BUILDING CODE COMPLIANCE DEPARTMENT (N.O.A., AS DEFINED IN FLORIDA BUILDING CODE 2010.
3. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWNGS.
4. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND CONDITIONS ON THESE DRAWINGS AND/OR ALL OBVIOUS ERRORS AND OMISSIONS.
5. CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT/ENGINEER OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR ORDINANCES
6. CONTRACTOR SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (F.B.C. 2010 EDITION) AND THE AMERICAN WITH DISABILITIES ACT, PUBLIC LAW 101-336 (ADA), WHICHEVER IS MOST STRINGENT.
7. OWNER SHALL NOT OCCUPY PREMISES DURING CONSTRUCTION.
- A. DURING OWNER'S OCCUPANCY, IF CONTRACTOR STILL IS UNDER CONSTRUCTION WILL PROVIDE:

1. CONTINUOUS OPERATION OF HVAC AND ELECTRICAL SYSTEMS.

2. SECURITY FOR/FROM CONSTRUCTION OPERATIONS AND STORAGE.

3. PROTECTION AND SAFETY FROM CONSTRUCTION OPERATIONS.

4. TOILET FACILITIES AS REQUIRED.
8. ALL DRAWINGS AND DESIGNS CONTAINED HEREIN ARE THE PROPERTY OF ARCHITECT AND SHALL NOT BE REPRODUCED WITHOUT THEIR/HIS PERMISSION.
9. CONTRACTOR AND SUBCONTRACTORS DOING WORK ON THIS PROJECT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND THE OWNER SHALL BE FURNISHED WITH A CERTIFICATE OF SAID INSURANCE. CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY WORKER'S COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THIS JOB.
10. INCLUDED IN THE RESPONSIBILITIES OF ITEM 9. ARE THE FOLLOWING:

A. EXECUTION OF ALL WORKS IN A PROPER AND SAFE MANNER FOR ALL PERSONS, EQUIPMENT AND PROPERTIES.

B. DESIGN, ENGINEERING, CONSTRUCTION AND HANDLING OF ALL FORM WORK AND TEMPORARY STRUCTURES.
11. MEANS OF EGRESS SHALL COMPLY W/THE NFPA 101 2009 EDITION
12. WALL HUNG FIXTURES AND CABINETS SHALL BE SUPPORTED AS PER FBC 2010.
13. "DO NOT SCALE DRAWINGS"-- GENERAL CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS OF THE DIMENSIONS OF THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITINGS OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

SITE CONDITION NOTES:

1. EXISTING CONDITIONS LIKE TREES, FENCES, IRRIGATION LINES, UTILITY LINES, BUILDINGS, ETC., WERE TAKEN FROM THE BEST AVAILABLE DATA.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING AND PROPOSED WORK AND SHALL REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT/ENGINEER PRIOR TO STARTING WORK
3. PROPOSED CONSTRUCTION WILL BE ADJUSTED TO AVOID EXISTING TREES AND ROOTS AS MUCH AS POSSIBLE.
4. ANY EXISTING SOD, TREES, UTILITIES, IRRIGATION LINES, PUBLIC OR PRIVATE PROPERTY, ETC., DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED, REPLACED, AND/OR RESTORED AT THE EXPENSE OF THE CONTRACTOR AS DIRECTED BY OWNER.
5. TREES TO BE RELOCATED SHOULD BE ROOT PRUNED 4 WEEKS MIN. BEFORE BEING TRANSPLANTED.(IF APPLICABLE)
6. PROVIDE MINIMUM 2" TOPSOIL FOR FINAL GRADING, RAKE AND REMOVE ROCKS IN EXCESS OF 1/2" AND INSTALL A MINIMUM OF 10' WIDE SOD AROUND PERIMETER OF NEW FINISHED BUILDING(S), WITH A 6 TO 1 MAXIMUM SLOPE. REPLACE ANY PORTIONS DAMAGED DURING CONSTRUCTION AS REQUIRED.
7. TRENCHES: FILL UP TO GRADE WITH SUITABLE MATERIAL AND COMPACT, RAKE & REMOVE ROCKS IN EXCESS OF 1/2 INCHES, LAST 2 INCHES MUST BE A 50/50 MIXTURE OF TOP SOIL & SAND TO PROMOTE GRASS GROWING. (IF APPLICABLE)
8. ALL ORGANIC MATERIAL REMOVED PER STRUCTURAL SPECS SHALL BE STORED ELSEWHERE TO BE REUSED FOR GRADING.
9. MAINTAIN BUILDING SITE CLEAN OF CONSTRUCTION DEBRIS THROUGH THE DURATION OF THE PROJECT.

BURGLARY INTRUSION NOTES

1. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION.
2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6,000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH " MINIMUM THROW BOLTS WITH INSERTS.
4. SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEADBOLT OR A PIN NOT REMOVABLE OR OPERABLE FROM THE EXTERIOR AT THE JAMB, SILL, HEAD OR MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS IF NECESSARY AND SUCH DOORS SHALL HAVE READY ENTRY FROM OUTSIDE.
5. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLT OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MINIMUM OF ". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON-OPERABLE PINS.
7. JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBETTED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
8. SINGLE SWING EXTERIOR DOORS, IF WOOD, SHALL BE SOLID CORE OF NOT LESS THAN 1- " IN THICKNESS.
9. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTES, STANDARD Z97.1.
10. VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN DOORS, SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE, STANDARD Z97.1.
11. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION STANDARD FOR FORCED ENTRY RESISTANCE, AAMA 13303.3.
12. VENTS IN OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAT 40" TO THE INSIDE LOCK ACTIVATING DEVICE.
13. SINGLE SWING EXTERIOR AND SWING DOORS CONNECTING LIVING AREAS WITH GARAGE AREAS SHALL BE SECURED WITH A LATCH AND A SINGLE DEAD BOLT WITH ONE INCH MINIMUM THROW OR A COMBINATION OF DEAD LATCH AND DEAD BOLT SETS WITH A LATCH THROW A MINIMUM OF 4" AND BOLTS HAVING A 1"MINIMUM THROW. DOORS SHALL BE A MINIMUM OF 1- " THICK.
14. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

OCCUPANCY LOAD CALCULATION

CLASSIFICATION AS PER CHAPTER 3 OF F.B.C 2020
BUSINESS GROUP B

AS PER TABLE 1004.1.1, BUSINESS AREAS, & NFPA 2021 TABLE 7.3.1.2

FIRST FLOOR AREA
150 SQ-FT GROSS/ OCCUPANT
6,416 SQ-FT/ 100 = 43 PERSONS

SECOND FLOOR AREA
150 SQ-FT GROSS/ OCCUPANT
269 SQ-FT/ 100 = 2 PERSONS
(STORAGE AREA ONLY)

CONSTRUCTION TYPE

TYPE III B

AS PER F.B.C. 2020
BUILDING, SECTION 602.3
TABLE 601

PLUMBING FIXTURES REQ'MT

FIRST FLOOR AREA
TOTAL PERSONS - 45 OCCUPANTS/2 = 22.5 PER GENDER

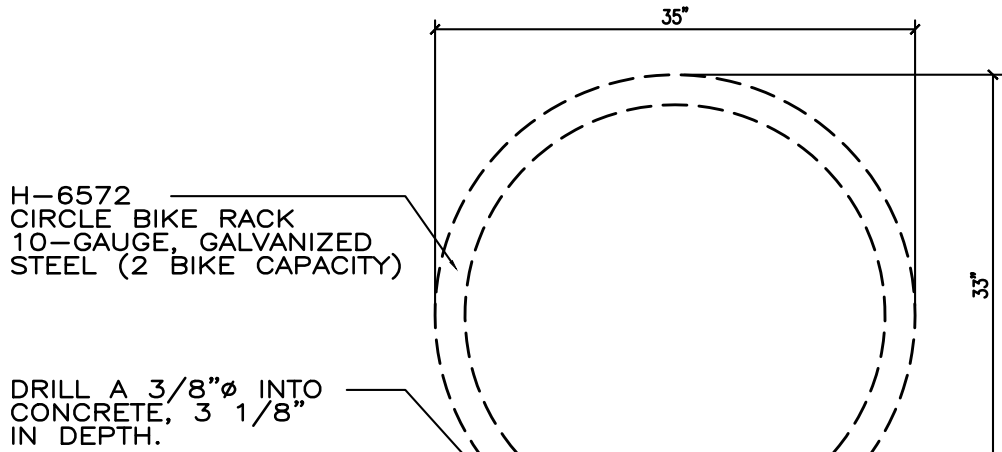
PLUMBING FACILITIES REQUIRED:
1 WC & LAV. AS PER PLUMBING TABLE 403.1
1 DRINKING FOUNTAIN

DESIGN DATA

FLORIDA BUILDING CODE 2020 OCCUPANCY GROUP "B" (AS PER SECTION 305.1) TYPE: II-A (AS PER TABLE 601)
BUILDING COMPLIES WITH FBC 2020, TABLE 503 TYPE IIIA
ALLOWABLE HEIGHT AND TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS.

DEFFERRED SUBMITTALS OF SHOP DRAWINGS-FBC107.3.4.1:

1. FIRE ALARM SYSTEM SUBMITTAL
2. FIRE PROTECTION SYSTEM SUBMITTAL(SPRINKLERS) WET SYSTEM
3. HYDRAULIC CALCULATION FOR FIRE PROTECTIONS SYSTEM
4. FIRE ALARM SYSTEM CUT SHEETS SPECIFICATIONS
5. WEB STEEL FOR ROOFING FRAMING SYSTEM
6. NOA'S FOR EXTERIOR DOORS
7. NOA'S FOR WINDOWS
6. NOA'S FOR HVAC MOUNTING SYSTEM WITH STRUCTURAL CALCULATIONS
9. PANIC HARDWARE FOR EXTERIOR DOORS
10. WIND RESISTANT FOR STRUCTURE TIE DOWNS



BIKE RACK DETAIL
SCALE: 3/4" = 1'-0"

CODE OF ORDINACE CITY OF OF HALLANDALE BEACH, FLORIDA

AS PER TABLE 32-201(o)
FRONTAGE TYPES PER SUBDISTRICT

RAC SUBDISTRICT	FRONTAGE TYPE						
	PORCH	STOOP	BRACKETED BALCONY	FORECOURT	STOREFRONT	ARCADE/ COLONNADE	LOBBY ENTRY
RAC SUBDISTRICT							X

APPLICABLE CODES:

ABBREV.	Definition	Editions
FBC	FLORIDA BUILDING CODE	2020
FFPC	FLORIDA FIRE PROTECTION CODE	2020
NFPA	NFPA-101 LIFE SAFETY CODE	2017
ADA	AMERICANS WITH DISABILITIES ACT	2010
FAC	FLORIDA ACCESSIBILITY CODE	2020

BUILDING DATA

BUILDING CLASSIFICATION

TYPE III-B (AS PER TABLE 601)
HEIGHT - LOW-RISE
AREA - 6,685 SF
OCCUPANCY PER CHAPTER 3 - FBC 2020
BUSINESS GROUP "B", CLINIC OUTPATIENT.

OCCUPANCY PER CHAPTER 3 - FBC 2020
ASSEMBLY GROUP "A", AS PER SECTION 303.1.2

TYPE OF WORK/NFPA 101 CHAPTER 4.3
X MODIFICATION

BUILDING SHALL COMPLY WITH FBC 2020, TABLE 803.5 & 804
INTERIOR WALLS AND CEILING FINISH REQUIREMENTS:
1- CLASS "B" FOR VERTICAL EXITS AND EXIT PASSAGEWAYS
2- CLASS "C" FOR EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, ROOMS AND ENCLOSED SPACES.

OCCUPANCY LOAD CALCULATION

CLASSIFICATION AS PER CHAPTER 3 OF F.B.C (2020)
BUSINESS GROUP "B", CLINIC OUTPATIENT.

AS PER TABLE 1004.1.2, FBC (2020), BUSINESS AREAS, & NFPA 101, 2021 TABLE 7.3.1.2

BUSINESS USE:

TOTAL BUILDING AREA 6,685 SF
OCCUPANT LOAD FACTOR ÷ 150 SF/PERSON
OCCUPANT CAPACITY 45 PERSONS

FLOOR AREA CALCULATION

EXISTING BUILDING:

FIRST FLOOR AREA	6,416	SQ-FT
SECOND FLOOR AREA	269	SQ-FT
TOTAL SQUARE FEET:	6,685	SQ-FT

City of Hallandale Beach, Florida
Flood Legend

ID: 514228021510/514228021520 ADDRESS:26 S.W. 4th AVENUE/408 S.W. 1st STREET
HALLANDALE BEACH, FLA. 33009

Highest Crown of Road Elevation: 8.28'
Highest Crown of Road Elevationabove was taken from a certified survey prepare by:
PLAT BOOK: JUAN A. SUAREZ PLS Lic #: 6220

Surveyor's Name
CTY FLOOD CRITERIA: ZONE-X CROWN OF ROAD- 9.04'

UNDERGROUND PARKING: YES/NO (CIRCLE ONE) BASEMENT: YES/NO (CIRCLE ONE)

	Lowest Floor Elev.	Adjacent Grade Elevation	Catch Basin Elevation	Retention Area
PROPOSED	9.80 FT. NGVD	8.90' FT. NGVD	9.0 FT. NGVD	N/A

SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO LAKE OR CANAL.
LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER ONTO ADJACENT PROPERTY.
APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY.

APPLICANT: WILL COMPLY WITH CITY OF HALLANDALE BEACH FLOOD PLAIN ORDINANCE: #2016-15 EFF. 8/17//2016.

A SEPERATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES ONTO PUBLIC RIGHT OF WAY. CONTACT PUBLIC WORKS DEPT.
COMPLY WITH FBC(BCAP)117.2 & ASCE24

REVISIONS

Δ	08-06-2021
Δ	05-26-2022
Δ	08-17-2022



JSA GROUP INC.
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924
AR-0015751/ID-0002171 julio@jsagroup.net

PROPOSED VETERINARIAN CLINIC
NEIGHBORHOOD VETERINARIAN CLINIC
26 S.W. 4th AVENUE
HALLANDALE, FL.

20-001

DRAWN BY: JS

MAY 2021

SEAL

JULIO SANCHEZ
NO. 15751

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK

A-1.1

REVISIONS



JSA GROUP INC.
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924
AR-0015751/ID-0002171 julio@jsagroup.net

PROPOSED VETERINARIAN CLINIC
NEIGHBORHOOD VETERINARIAN CLINIC
26 S.W. 4th AVENUE
HALLANDALE, FL.

20-001

DRAWN BY: JS

MAY 2021

SEAL

JULIO SANCHEZ
NO. 15751
NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK

A-1.2

ABBREVIATIONS

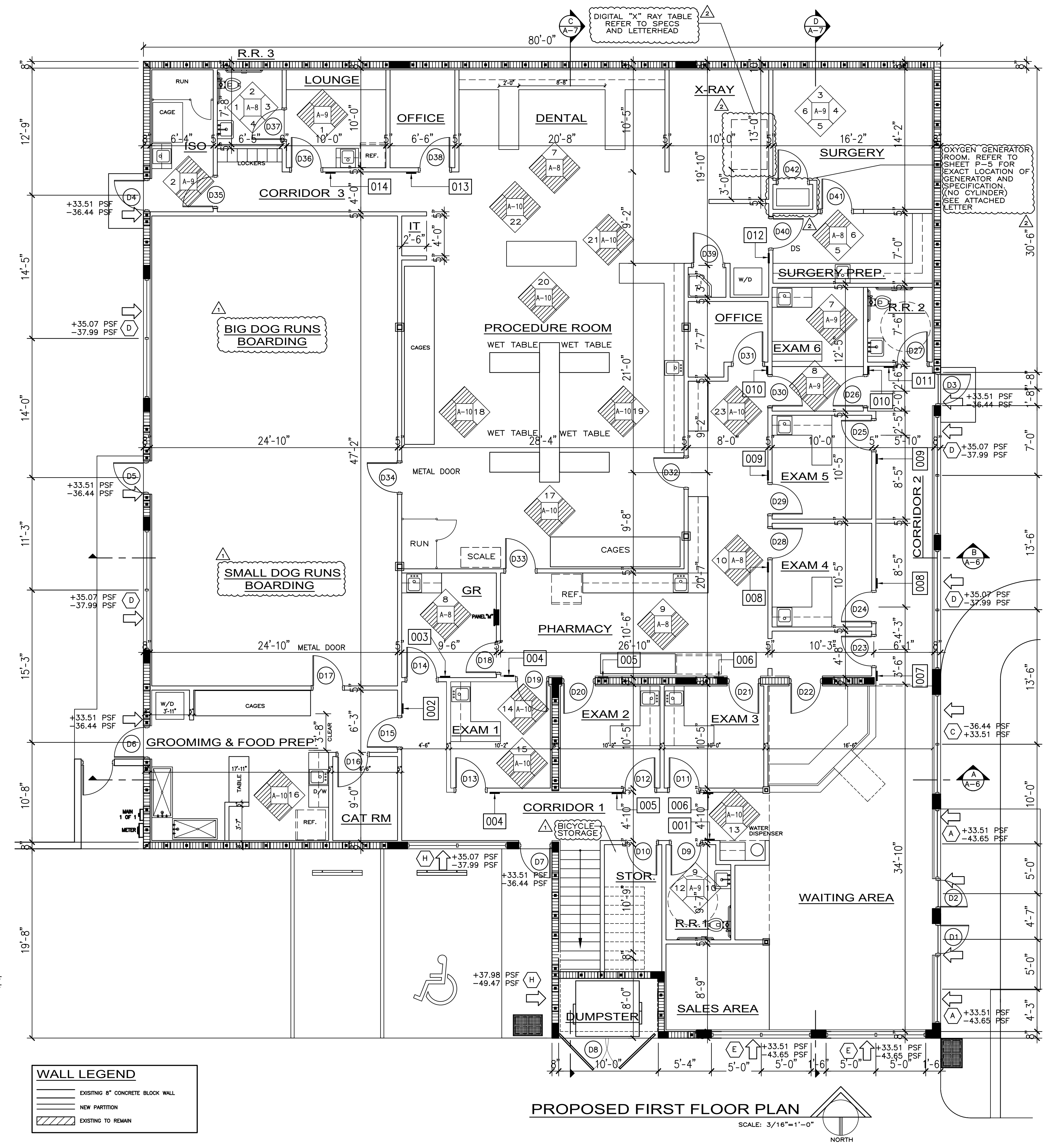
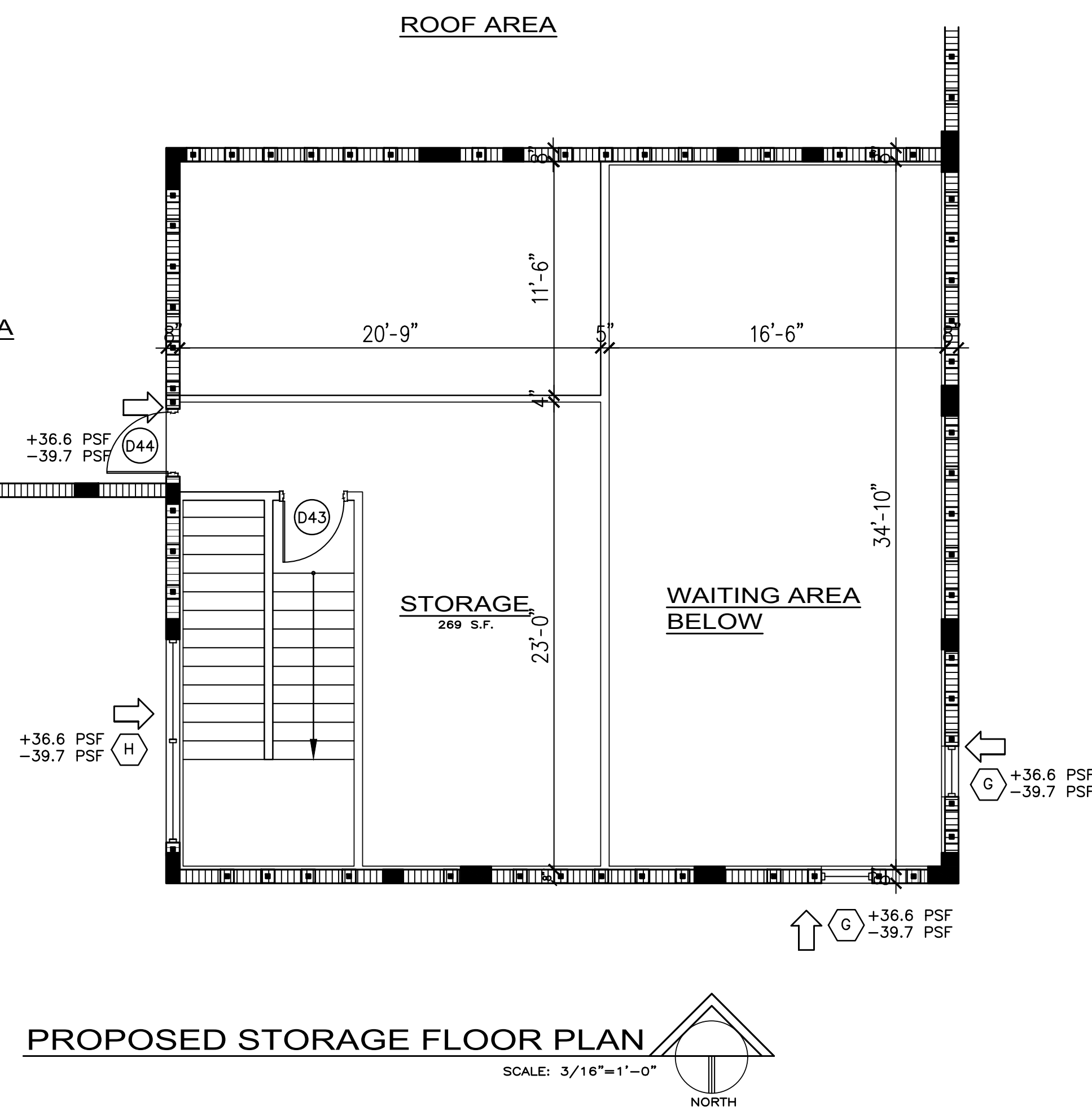
A/C	AIR CONDITIONING	CLR	CLEAR (ANCE)	FA	FIRE ALARM	LL	LIVE LOAD	PREP	PREPARATION
ACT	ACOUSTICAL TILE	CMU	CONCRETE MASONRY UNIT	FCA	FIRE CONTROL ASSEMBLY	LP	LOW POINT	PSF	POUNDS PER SQUARE FOOT
ACT 1	ACOUSTICAL TILE	COL	COLUMN	FD	FLOOR DRAIN	LT	LIGHT	PSI	POUNDS PER SQUARE INCH
ADD	ADDENDUM/ADHESIVE	COMP	COMPOSITE	FE	FIRE EXTINGUISHER	LVR	LOUVER	PT	PRESSURE TREATED
ADJ	ADJUSTABLE	COMM	COMMUNICATIONS	FEC	FIRE EXTINGUISHER CABINET	MAS	MASONRY	PTD	PAINT (ED)
ADM	ADMIN/ADMINISTRATION	CONC	CONCRETE	FG	FIXED GLASS	MAX	MAXIMUM	PVC	POLYVINYL CHLORIDE
A/E	ARCHITECT/ENGINEER	CONST	CONSTRUCTION	FHC	FIRE HOSE CABINET	M/E/P	MECHANICAL/ELECTRICAL/PLUMBING	PAVE	PAVEMENT
AFF	ABOVE FINISHED FLOOR	CONT	CONTINUOUS OR CONTINUE	FIN	FINISH (ED)	MFR	MANUFACTURE (R)	PWD	PLYWOOD
ALUM	ALUMINUM	CONTR	CONTRACT (OR)	FLR	FLASHING FLASH FLOOR(ING)	MH	METAL HALIDE	QTY	QUANTITY
ALT	ALTERNATE	CORR	CORRIDOR	FOM	FACE OF MASONRY	MIR	MIRROR	RA R/A	RETURN AIR
ANC	ANCHOR (AGE)	CPT	CARPET (ED)	FOS	FACE OF STUDS	MIN	MINIMUM	RAD	RADIUS
ANT	ANTENNA	CWSR	CHILLED WATER SUPPLY AND RETURN	FR	FRAME (D) (ING)	MISC	MISCELLANEOUS	RCP	REFLECTED CEILING PLAN
APPROX	APPROXIMATE	CUT	CUBIC FEET (FOOT)	FT	FOOT	MO	MASONRY OPENING	RD	ROOF DRAIN
ARCH	ARCHITECT (URAL)	CUIN	CUBIC INCH CUBIC YARD CUYD	FTG	FOOTING	MT	MOUNT (ING)	REC	RECEPTACLE
AVG	AVERAGE	DET	DETAIL	FU	FURR (ED) (ING)	MTD	MOUNTED	REF	REFERENCE
BD	BOARD	DECOR	DECORATIVE	FT	FOOT	MTG	MEETING	REIN	REINFORCE (ING)
BASE 1	RUBBER	DEPT	DEPARTMENT	GAL	GAGE, GAUGE	MTL	METAL	REOD	REQUIRED
BASE 2	CERAMIC TILE	DF	DRINKING FOUNTAIN	GALV	GALVANIZED	N	NORTH	REF	REFRIGERATOR/FREEZER
BASE 3	QUARRY TILE	DIA	DIAMETER DIA	GC	GENERAL CONTRACT (OR)	NIC	NOT IN CONTRACT	RFL	REFLECT (ED) (IVE) (OR)
BEL	BELOW	DMV	DIMENSION	GL	GLASS, GLAZING	NO	NUMBER	RH	RIGHT HAND
BLDG	BUILDING	DISP	DISPENSER	GRND	GROUND	NOM	NOMINAL	RL	RAIL (ING)
BLKG	BLOCK	DN	DOWN	GYP	GYPSPUM WALLBOARD	NR	NOISE REDUCTION	RLD	ROOF LADDER
BLKG	BLOCKING	DO	DOOR OPENING	HBB	HOSE BIBB	NRC	NOISE REDUCTION COEFFICIENT	RM	ROOM
BM	BENCH MARK	DR	DOOR	HC	HANDICAP	NTS	NOT TO SCALE	RO	ROUGH OPENING
BO	BOTTOM OF	DS	DOWNSPOUT & SCUPPER	HDR	HEADER	O/A	OUTSIDE AIR	RWL	RAINWATER LEADER
BOTT	BOTTOM	DWG	DRAWING	HDW	HARDWARE	OC	ON CENTER (S)	SA S/A	SUPPLY AIR
BW	BOTH WAYS	E/A	EXHAUST AIR	HORIZ	HORIZONTAL	OD	OUTSIDE DIAMETER	SAN	SANITARY
C/C	CENTER TO CENTER	EA	EACH	HP	HIGH POINT	OF	OVERFLOW	SCH	SCHEDULE
CC	CENTER TO CENTER	EF	EXHAUST FAN	HT	HEIGHT	OFS	OVERFLOW SCUPPER	SECT	SECTION
CAB	CABINET	EJ	EXPANSION JOINT	HT	HEIGHT	OPNG	OPENING	SHT	SHEET
CAM	CAMERA	ELC	ELEVATION	HVAC	HEATING/VENTILATING/AIR CONDITIONING	OPP	OPPOSITE	SIM	SIMILAR
CCTV	CLOSED CIRCUIT TELEVISION	ELCC	ELECTRIC (AL)	HWH	HOT WATER HEATER	OS	OVERFLOW SCUPPER	SNT	SEALANT
CD	CONDENSATE DRAIN	EW	ELECTRIC WATER COOLER	INS	INSULATE (D) (ING)	PC	PREFAB	SC	SMOOTH CONCRETE
CEM	CEMENT	ELEV	ELEVATOR	INCL	INCLUDE (D) (ING)	PERC	PORCELAIN	SL	SLOPE
CER	CERAMIC	EMER	EMERGENCY	INT	INTERIOR	PERF	PERFORATE (D)	SPEC	SPECIFICATION
CIP	CAST-IN-PLACE CONCRETE	EQ	EQUAL	JOINT	JOINT	PERP	PERPENDICULAR	SST	STAINLESS STEEL
CIR	CIRCLE	EQUIP	EQUIPMENT	KT	KNOCKOUT	PL	PLATE	STL	STEEL
CIRC	CIRCUMFERENCE	EQUIV	EQUIVALENT	L	LENGTH	PLAM	PLASTIC LAMINATE	SQ	SQUARE
CJ	CONTROL JOINT	EXH	EXHAUST	LAM	LAMINATE	PLAS	PLASTER	SST	STANDARD
CL	CHAIN LINK	EXIST	EXISTING	LAV	LAVATORY	PLS	PLASTIC	STD	STANDARD
CLF	CHAIN LINK FENCE	EXP	EXPANSION	LNDG	LANDING	PNEU	PNEUMATIC	STO	STORAGE
CLG	CEILING	EP	EPOXY-PAINTED	LAV	LAVATORY	PNL	PANEL	STRUC	STRUCTURE
CLNG	CEILING	EXPO	EXPOSED TO STRUCTURE	LBL	LABEL	PREFAB	PREFABRICATED (D)	SUPV	SUPERVISOR
CLOS	CLOSET	EXT	EXTERIOR	LH	LEFT HAND			SUR	SURFACE
								SUSP	SUSPENDED

GENERAL SYMBOLS LEGEND

DETAIL REFERENCE SYMBOL		DETAIL DWG. NUMBER
		SHEET No. ON WHICH DETAIL IS DRAWN
WALL & BUILDING SECTION REFERENCE SYMBOL		SECTION DRAWING NUMBER
		SHEET No. ON WHICH SECTION IS DRAWN
ELEVATION SYMBOL		ELEVATION DRAWING NUMBER
		SHEET No. ON WHICH ELEVATION IS DRAWN
CENTER LINE		
PROPERTY LINE		
ELEVATION MARK		
REVISION (NUMBER)		
NORTH ARROW		
DOOR TYPE		DOOR NUMBER. SEE A8.01 FOR DOOR SCHEDULES
WINDOW TYPE		WINDOW TYPE. SEE A8.01 FOR WINDOW DETAILS
ROOM TAG		ROOM NAME ROOM NUMBER NET SQUARE FOOTAGE
WALL TYPE		WALL TYPE, SEE SHEET A8.01
		CHANGE IN FLOOR LEVEL (DOORS: MAXIMUM 1/4" LEVEL CHANGE OR 1/2" @ 45' AT ALL EXTERIOR DOORS UNLESS OTHERWISE NOTED.)
FIRE EXTINGUISHERS		FIRE EXTINGUISHER, SURFACE MOUNTED
		FIRE EXTINGUISHER CABINET-RECESSED-1 HR RATED
		FIRE EXTINGUISHER CABINET-RECESSED
		FIRE EXTINGUISHER CABINET- SEMI-RECESSED-FIRE RATED PER SPEC SECTION 10522
		DENOTES FIRE EXTINGUISHER TYPE

GENERAL NOTES - ARCHITECTURAL

- GOVERNING BUILDING CODE:
 - THE WORK OF THIS CONTRACT SHALL CONFORM WITH THE REQUIREMENTS OF THE FOLLOWING GOVERNING CODES AND STANDARDS:
 - FLORIDA BUILDING CODE = FBC 2020 W/ SUPPLEMENTS
 - FFTC 2020
 - 2021 ADA STANDARDS FOR ACCESSIBLE DESIGN
 - 2020 FLORIDA BUILDING CODE, ACCESSIBILITY
 - FAC (FLORIDA ACCESSIBILITY CODE) 2020.
 - COMPLIANCE WITH GOVERNING BUILDING CODE:
 - TO THE BEST OF OUR KNOWLEDGE, THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE GOVERNING BUILDING CODE.
 - DIMENSIONS:
 - FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - "DO NOT SCALE DRAWINGS" - GENERAL CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, CONDITIONS OF THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.
 - GENERAL NOTES AND TYPICAL DETAILS:
 - THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB, EXCEPT AS OTHERWISE INDICATED.
 - DETAILS AND NOTES LABELED "TYPICAL" ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR NOTED. SUCH DETAILS APPLY WHETHER OR NOT THEY ARE KEYED IN EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS OR NOTES SHALL BE RESOLVED BY THE ARCHITECT.
 - PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS:
 - THE ARCHITECTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND OTHER DRAWINGS AND CONTRACT DOCUMENTS. USE THESE NOTES IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS. IF A CONFLICT EXISTS, THE MORE STRINGENT REQUIREMENT GOVERNS.
 - ALL WORK THAT IS REASONABLY IMPLIED AND/OR INFERRED IN THE CONTRACT DOCUMENTS, DRAWINGS AND/OR SPECIFICATIONS, AND WHICH IS NECESSARY FOR AND/OR INCIDENTAL TO A COMPLETE INSTALLATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE INCLUSION OF ANY WORK BY MENTION, ANNOTATION, DETAIL, ITEMIZATION, AND/OR OTHER REFERENCE, IMPLICATION, OR INFERENCE, HOWEVER BRIEF, SHALL BE CONSIDERED TO INDICATE THAT THE CONTRACTOR IS TO PROVIDE SUCH WORK AS NECESSARY FOR, AND/OR INCIDENTAL TO A COMPLETE INSTALLATION CONSISTENT WITH THE DESIGN INTENT.
 - REVISIONS:
 - REVISIONS ARE IDENTIFIED BY A REVISION NUMBER WITHIN A TRIANGLE. ALL REVISIONS ISSUED ON A SINGLE DATE WILL BE IDENTIFIED BY THE SAME REVISION NUMBER ISSUED CONSEQUENTLY.
 - CURRENT REVISIONS ARE ENCIRCLED BY AN IRREGULAR "CLOUD", AS WELL AS FLAGGED WITH THE CURRENT REVISION NUMBER.
 - CLOUDS FROM PREVIOUSLY ISSUED REVISIONS ARE REMOVED UPON ISSUANCE OF SUBSEQUENT REVISIONS.
 - FEES, PERMITS, INSPECTIONS, AND APPROVALS:
 - ALL FEES, PERMITS, INSPECTIONS, APPROVALS, ETC. RELATED TO AND/OR REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, EXCEPT AS OTHERWISE INDICATED.
 - PROTECTION OF WORK:
 - ALL WORK, INCLUDING COMPLETED WORK, WORK IN PROGRESS, SHALL BE PROPERLY PROTECTED FROM DAMAGE AT ALL TIMES.
 - CONSTRUCTION MEANS AND METHODS:
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, PROJECT SUPERVISION, AND CONSTRUCTION AND WORK SITE SAFETY. ACTIONS OF AND/OR INFORMATION PROVIDED BY THE ARCHITECT/ENGINEER SHALL NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY, REGARDLESS OF THE CIRCUMSTANCES.
 - EXAMINATION OF THE CONTRACT DOCUMENTS AND SITE:
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT PRIOR TO SUBMITTING A BID.
 - THE SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE PRIMA FACIE EVIDENCE THAT THE CONTRACTOR HAS EXAMINED COMPLETELY THE ENTIRE WORK SITE, ANALYZED THOROUGHLY ALL CONTRACT DOCUMENTS, AND BECOME FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - CONTRACT CONDITIONS.
 - CONTRACT DOCUMENTS, INCLUDING ALL DRAWINGS AND SPECIFICATIONS
 - PROJECT CONDITIONS, INCLUDING ALL EXISTING CONDITIONS AND OWNER'S OPERATIONAL REQUIREMENTS
 - REQUIREMENTS OF APPLICABLE CODES AND REFERENCED STANDARDS
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING TO THE A/E AND OBTAINING A/E'S CLARIFICATION OF THE FOLLOWING:
 - PRIOR TO SUBMISSION OF A BID, THE CONTRACTOR SHALL REPORT ANY AND ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS WHICH MIGHT AFFECT THE CONTRACT PRICE AND/OR CONTRACT DURATION.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL REPORT ANY AND ALL APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT PREVIOUSLY REPORTED.
 - ANY WORK RELATED TO ANY APPARENT DISCREPANCIES, ERRORS, AND/OR OMISSIONS NOT REPORTED TO THE A/E, THAT PROCEEDS IN ADVANCE OF CLARIFICATION BY THE A/E, IF INCORRECTLY PERFORMED BY THE CONTRACTOR, SHALL BE PROVIDED, REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - COORDINATION OF WORK:
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES PROVIDING WORK UNDER THIS CONTRACT, AND FOR COORDINATING THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL WORK REQUIRED TO CORRECT CONFLICTS BETWEEN TRADES AND/OR BETWEEN NEW WORK AND EXISTING FIELD CONDITIONS AFTER THE WORK HAS COMMENCED, AT NO ADDITIONAL COST TO THE OWNER.
 - UPON COMPLETION OF THE PROJECT (FINAL COMPLETION), THE CONTRACTOR SHALL DELIVER TO THE OWNER THE WORK COMPLETED AND UNDAMAGED.
 - PRIOR TO ACCEPTANCE OF THE WORK BY THE OWNER, ALL DAMAGE TO EXISTING AND NEW STRUCTURES, GROUNDS, UTILITIES, ETC. AND/OR WORK PERFORMED BY OTHERS WHICH, IN THE OPINION OF THE A/E, IS ATTRIBUTABLE TO THE CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. PRIOR TO COMMENCEMENT OF THE WORK, ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL PROVIDE A "SAFETY PLAN" WHICH DELINEATES AREAS OF CONSTRUCTION AND CONSTRUCTION TRAFFIC DURING PHASES OF THE PROJECT, MAINTAINS REQUIRED EXITS, AND PROVIDES FOR BARRIERS TO SEPARATE CONSTRUCTION AREAS FROM STAFF. THE PLAN MUST PROVIDE FOR MAINTAINING FIRE DETECTION AND WARNING SYSTEMS IN USE WHILE PARK IS OCCUPIED.
 - COORDINATE PROPOSED DEMOLITION ITEMS WITH THE ASBESTOS DEPARTMENT IN ORDER TO AVOID CONSTRUCTION DELAYS.
 - COORDINATION WITH OWNER:
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE T HE OWNER REGARDING SCHEDULING, ACCESS, AND SPECIAL REQUIREMENTS WHICH MAY BE REQUIRED BY THE OWNER.
 - COORDINATE WITH BUILDING OCCUPANTS/ADMINISTRATION TO ENSURE MINIMAL DISRUPTION TO STAFF.



WALL LEGEND

---	EXISTING 8" CONCRETE BLOCK WALL
---	NEW PARTITION
---	EXISTING TO REMAIN

REVISIONS	
1	JUNE 22, 2022
2	OCT. 19, 2022

JSA GROUP INC.

12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923

JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924

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PROPOSED VETERINARIAN CLINIC

NEIGHBORHOOD VETERINARIAN CLINIC

26 S.W. 4th AVENUE

HALLANDALE, FL.

20-001
DRAWN BY: JS
MAY 2021
SEAL

JULIO SANCHEZ
NO. 15751

NOT VALID FOR CONSTRUCTION
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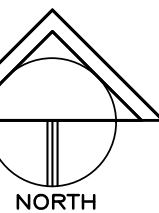
A-2

EQUIPMENT LEGEND

NO.	EQUIPMENT TYPE	DIMENSIONS		MAKE/MODEL	REMARKS
		L	W		
*1.	WET TABLE	60"	24"	17"	MIDMARK STAINLESS STEEL TUB
*2.	SURGICAL TABLE	60"	22"	38.5"	MIDMARK FLAT-TOP HYDRAULIC ADJ.
*3.	AUTOClave	23.8"	17.8"	18.1"	M11
*4.	MICROSCOPE	15"	8"	15"	3000-LED
*5.	OXYGEN DELIVERY	40"	17"	46"	VERSA II ANESTHESIA SYSTEM
*6.	MONITORING	9.3"	9.8"	6.4"	BM3 VET PRO
*7.	X-RAY MACHINE	59"	46"	88"	VET RAY STANDARD VET TS
*8.	SURGICAL LIGHTS	54"	33"	75"	MIDMARK 255 LED LIGHT
*9.	OXYGEN GENERATING SYS.	54"	33"	75"	OGS-20

PROPOSED STORAGE FLOOR PLAN

SCALE: 3/16"=1'-0"

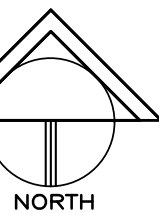


WALL LEGEND

- EXISTING 8" CONCRETE BLOCK WALL
- NEW PARTITION
- EXISTING TO REMAIN

PROPOSED FURNITURE PLAN

SCALE: 3/16"=1'-0"



REVISIONS

1 JUNE 22, 2022



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NEIGHBORHOOD VETERINARIAN CLINIC

26 S.W. 4th AVENUE
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MAY 2021

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A-2.1

ROOFING NOTES

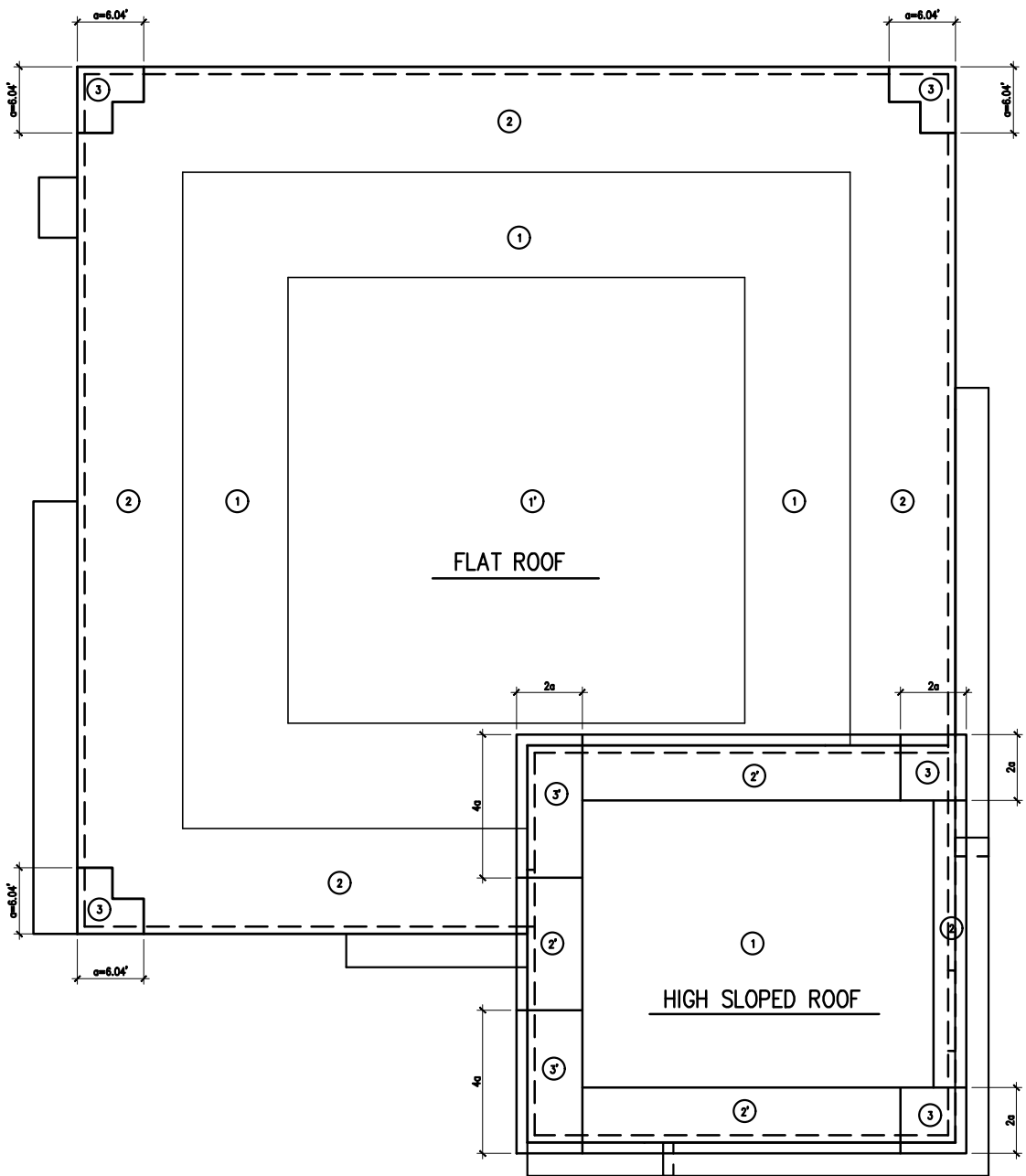
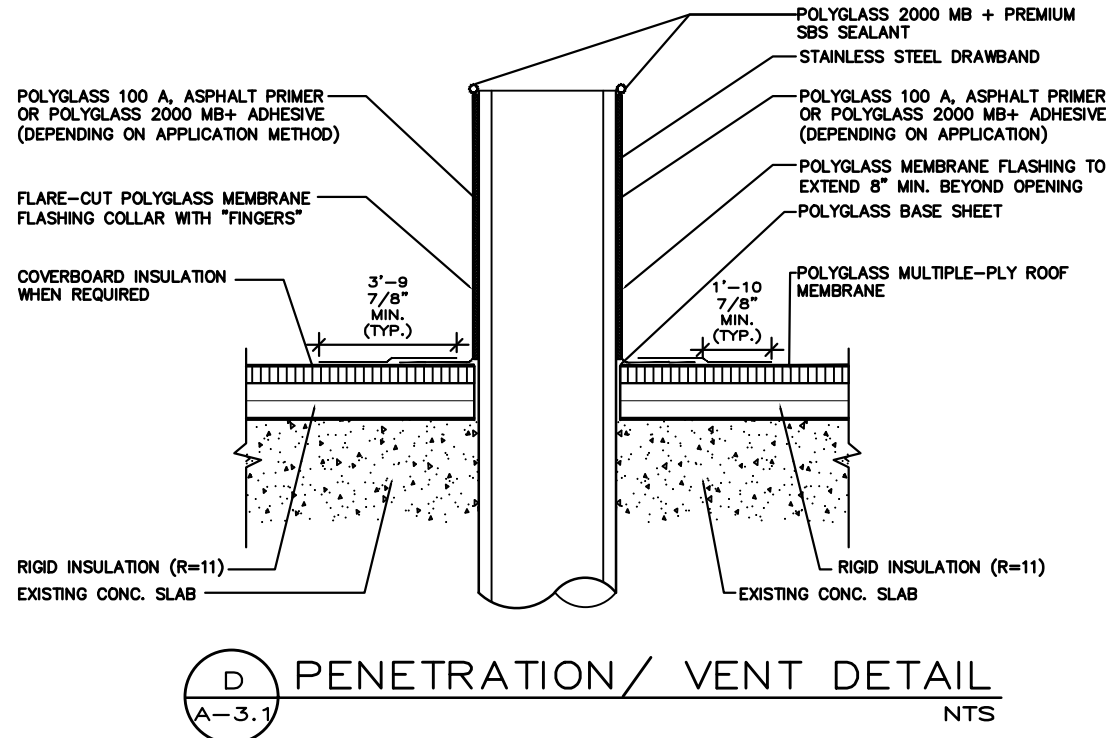
1. REMOVE ALL CONDENSATE PIPES FOR NEW ROOF AND RE- CONNECT (TYPICAL)
2. ALL EXISTING PACKAGE UNITS SUPPORT HOT TAR TO BE REMOVED FROM PANS AND RE-SEALED WITH HOT TAR (TYPICAL)
3. ALL ROOF PENETRATIONS TO BE RESEALED, SEE DETAILS AND SPECIFICATIONS.
4. ALL INSULATION TO BE TAPERED TO CREATE A 1/4" ROOF SLOPE AS INDICATED ON PLANS.
5. PROVIDE THE REQUIRED ROOF INSULATION THICKNESS SO THAT THE TOTAL ROOF ASSEMBLY WILL ACHIEVE AN AVERAGE INSULATION VALUE OF R-20. THE CONTRACTOR SHALL PROVIDE, AT THE TIME OF SHOP DRAWING SUBMITTAL, A TOTAL ASSEMBLY CROSS SECTION SHOWING THE R-11 FOR EACH OF THE ROOF ELEMENTS AND THE TOTAL R-VALUE EXPECTED TO BE ACHIEVED UPON COMPLETION OF THE ROOFING SYSTEM.
6. THE ACTUAL SLOPE OF THE ROOF MUST BE 1/4" PER LINEAR FOOT (MINIMUM) AND THE CRICKETS MUST SLOPE AT 1/2" PER LINEAR FOOT (MINIMUM)
7. SOME ROOF AREAS MAY REQUIRE A COMBINATION OF ADDITIONAL TAPERED INSULATION & LIGHTWEIGHT CONCRETE IN ORDER TO MAINTAIN THE REQUIRED SLOPES AND HIGH AND LOW POINTS AS INDICATED IN THE DRAWINGS.
8. PROVIDE CRICKETS AT ALL EQUIPMENT CURBS, ROOF SCUTTLES & PRE-FABRICATED HEAT/SMOKE VENTS AT 1/2" PER LINEAR FOOT (MINIMUM) SO AS TO PREVENT WATER ACCUMULATION AT THE CURBS.
9. THE CONTRACTOR/ROOFING INSTALLER SHALL COORDINATE THE FINAL ROOF OPENING LOCATIONS WITH OTHER TRADES AND THE M.E.P. DRAWINGS SO THAT ALL PENETRATIONS WILL HAVE BEEN LOCATED AND COMPLETED PRIOR TO THE PLACEMENT OF THE LIGHTWEIGHT CONCRETE.

NOTES:

BUILDING IS FIRE SPRINKLERED, STAIR SHAFT ENCLOSURE IS NOT REQUIRED TO BE FIRE RATED.

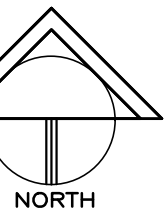
NOTES:

FOR ROOF WIND PRESSURES REFER TO STRUCTURAL PLANS DWG. SHEET S-2



ROOF WIND LOAD PLAN

SCALE: 3/16"=1'-0"



FLAT ROOF

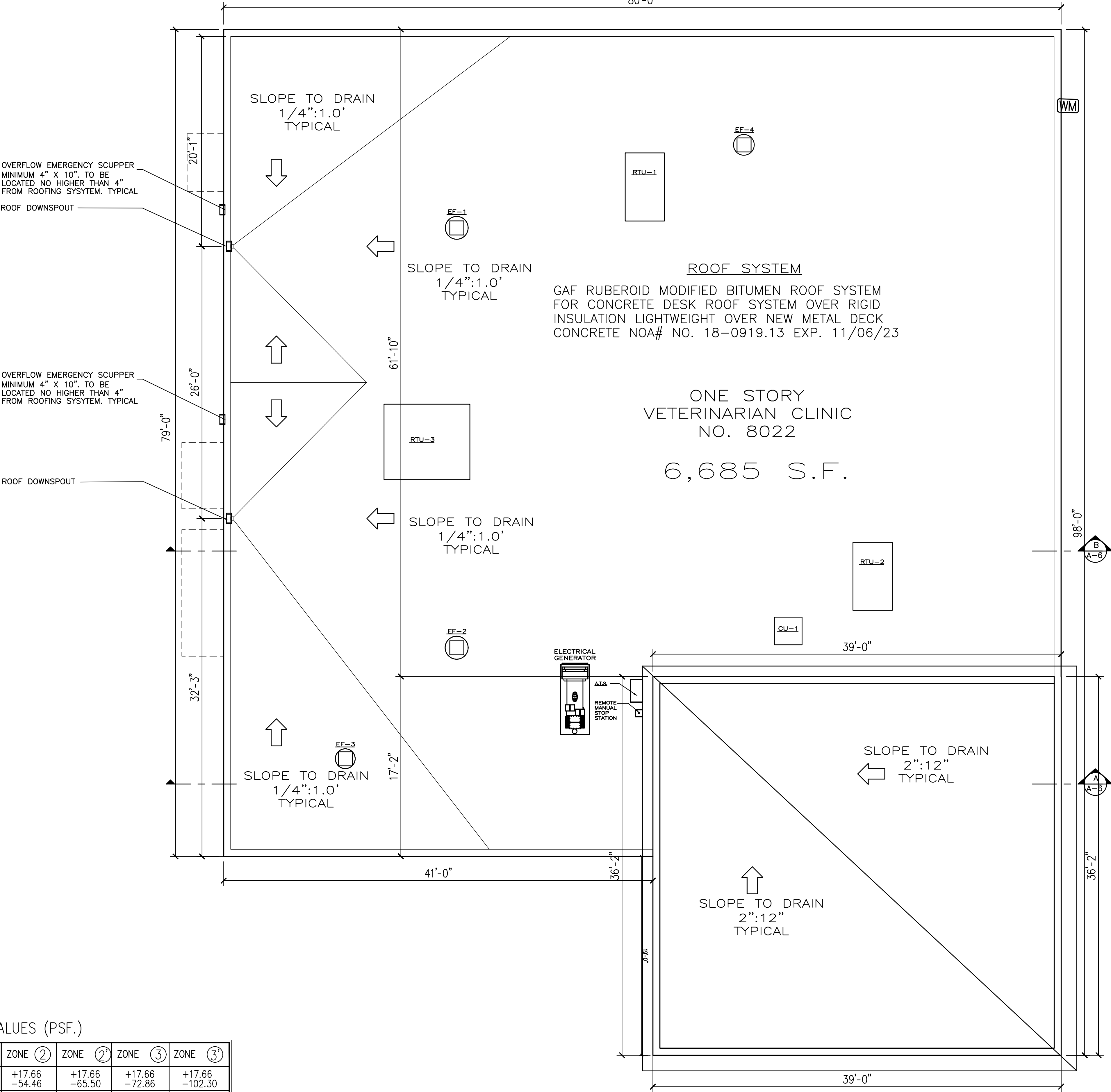
GROSS ROOF UPLIFT VALUES (PSF.)

AREA a=6.04'	ZONE ①	ZONE ①'	ZONE ②	ZONE ③
0 sqft ≤ 10 sqft	+15.58 -61.04	+15.58 -35.07	+35.07 -80.52	+35.07 -109.74
10 sqft ≤ A ≤ 20 sqft	+14.61 -57.02	+14.61 -35.07	+33.51 -75.35	+33.51 -99.40
20 sqft ≤ A ≤ 50 sqft	+13.32 -51.69	+13.32 -35.07	+31.46 -68.50	+31.46 -85.70
50 sqft ≤ A ≤ 100 sqft	+12.34 -47.66	+12.34 -35.07	+29.91 -63.32	+29.91 -75.34

SLOPED ROOF

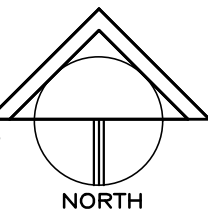
GROSS ROOF UPLIFT VALUES (PSF.)

AREA a=3.9'	ZONE ①	ZONE ②	ZONE ②'	ZONE ③	ZONE ③'
0 sqft ≤ 10 sqft	+17.66 -47.10	+17.66 -54.46	+17.66 -65.50	+17.66 -72.86	+17.66 -102.30
10 sqft ≤ A ≤ 20 sqft	+16.56 -47.10	+16.56 -53.36	+16.56 -64.40	+16.56 -66.22	+16.56 -91.24
20 sqft ≤ A ≤ 50 sqft	+15.09 -47.10	+15.09 -51.89	+15.09 -62.93	+15.09 -57.43	+15.09 -76.58
50 sqft ≤ A ≤ 100 sqft	+13.98 -47.10	+13.98 -50.78	+13.98 -61.82	+13.98 -50.78	+13.98 -65.50



SECOND FLOOR/ ROOF PLAN

SCALE: 3/16"=1'-0"



REVISIONS



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PROPOSED VETERINARIAN CLINIC
NEIGHBORHOOD VETERINARIAN CLINIC
26 S.W. 4th AVENUE
HALLANDALE, FL.

2020-001

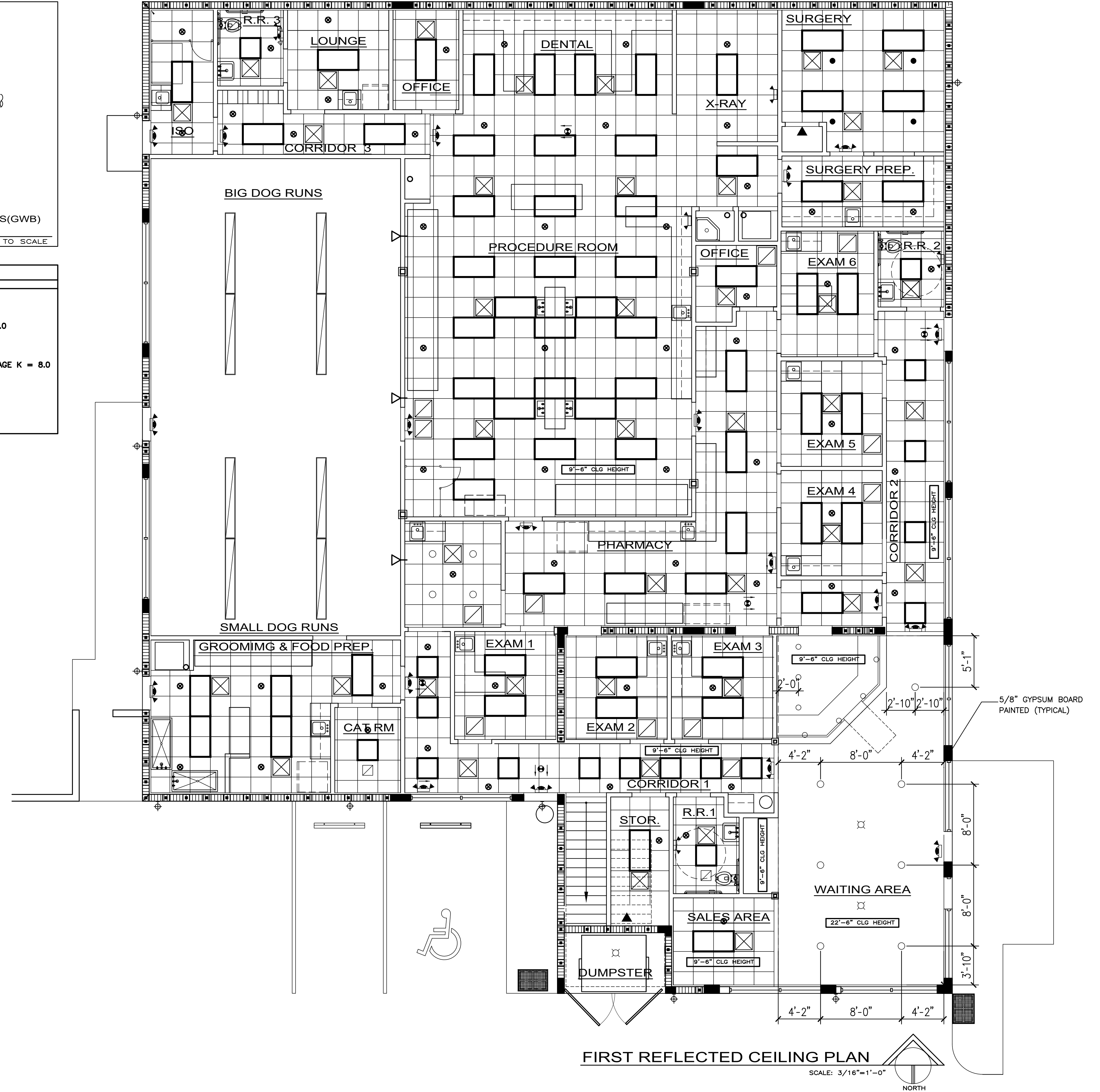
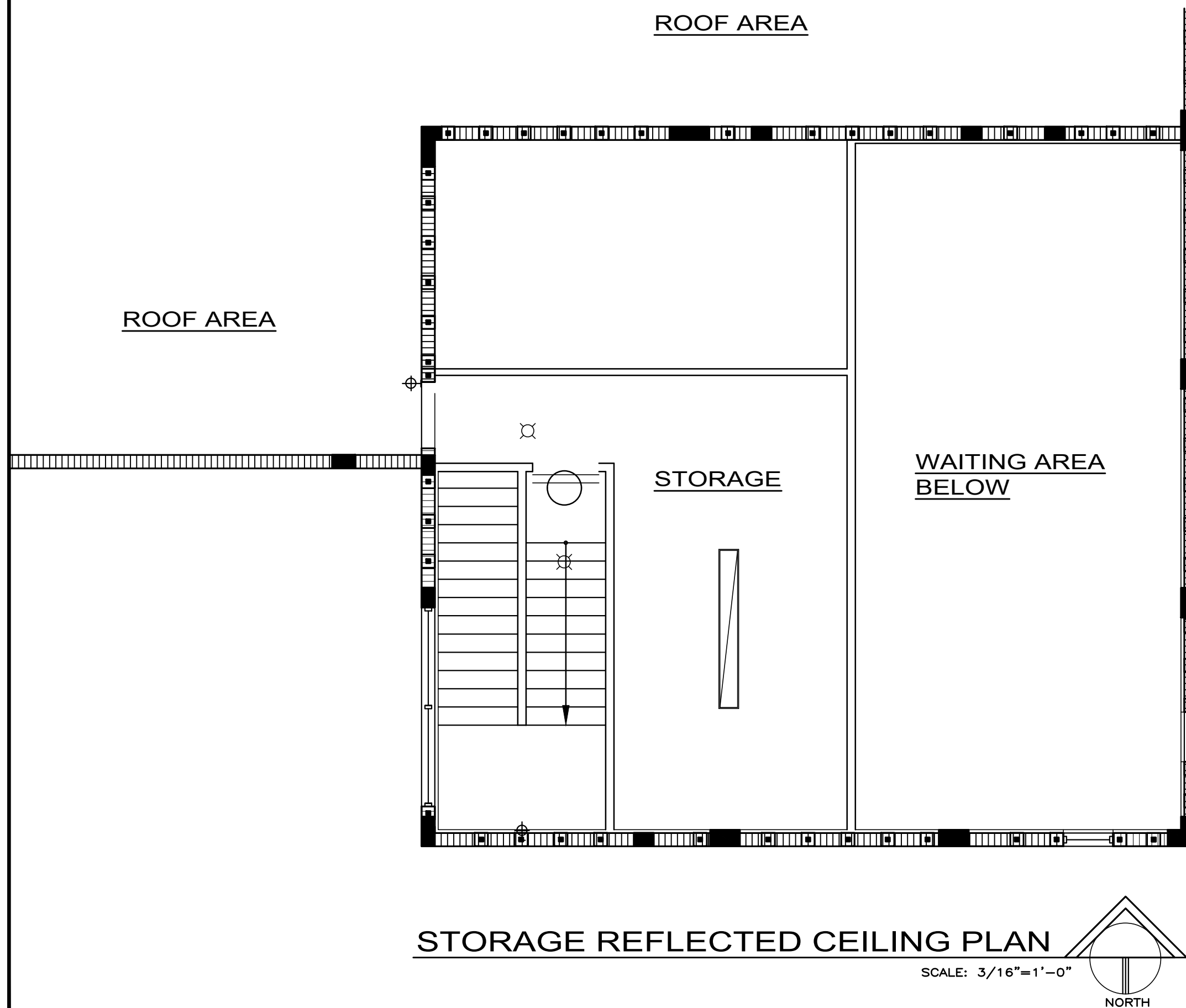
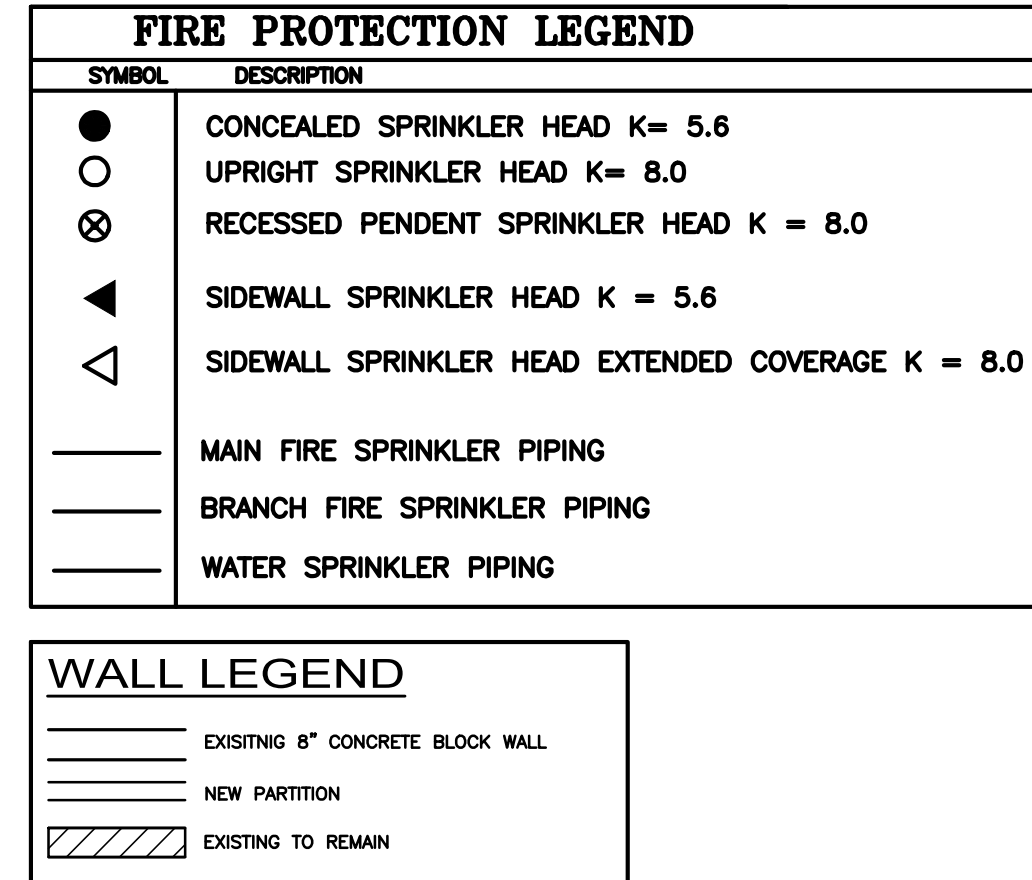
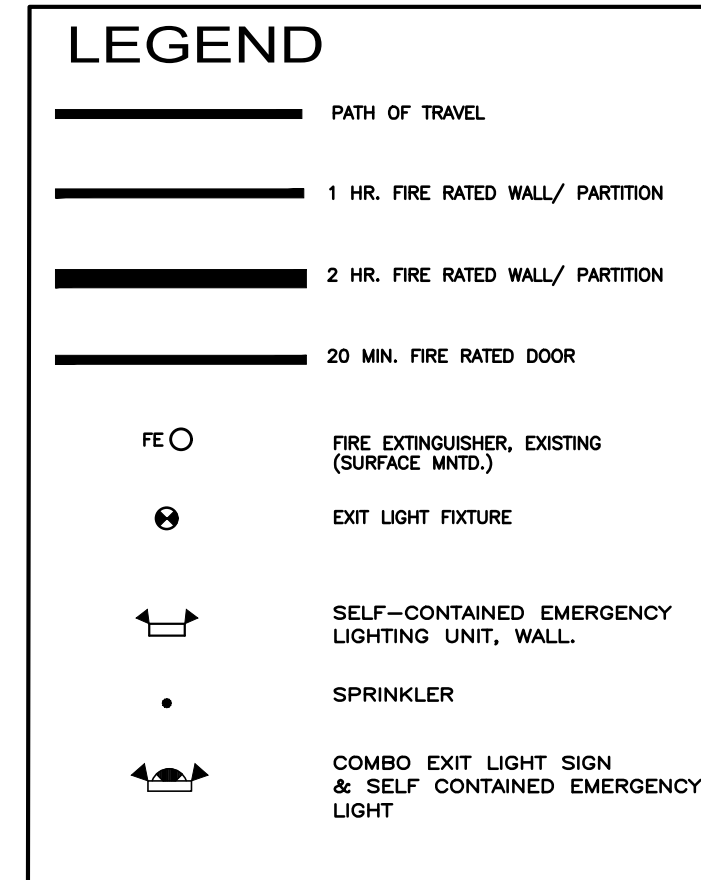
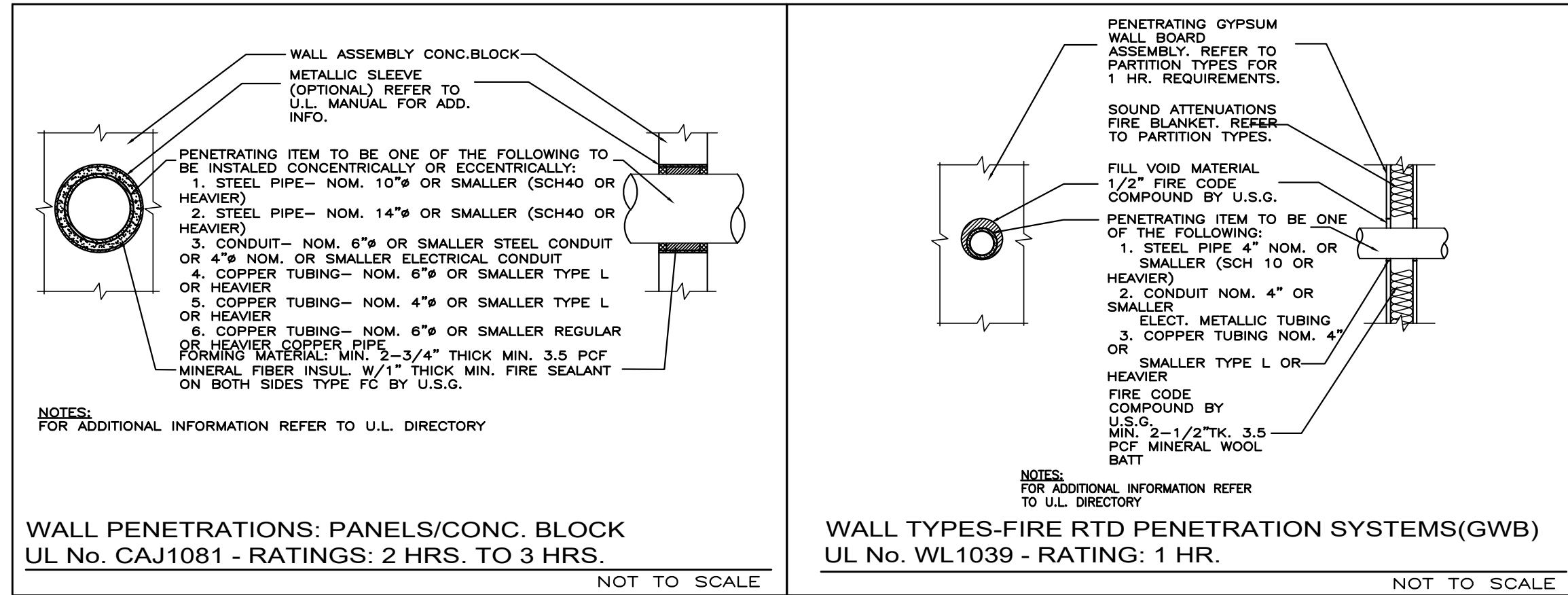
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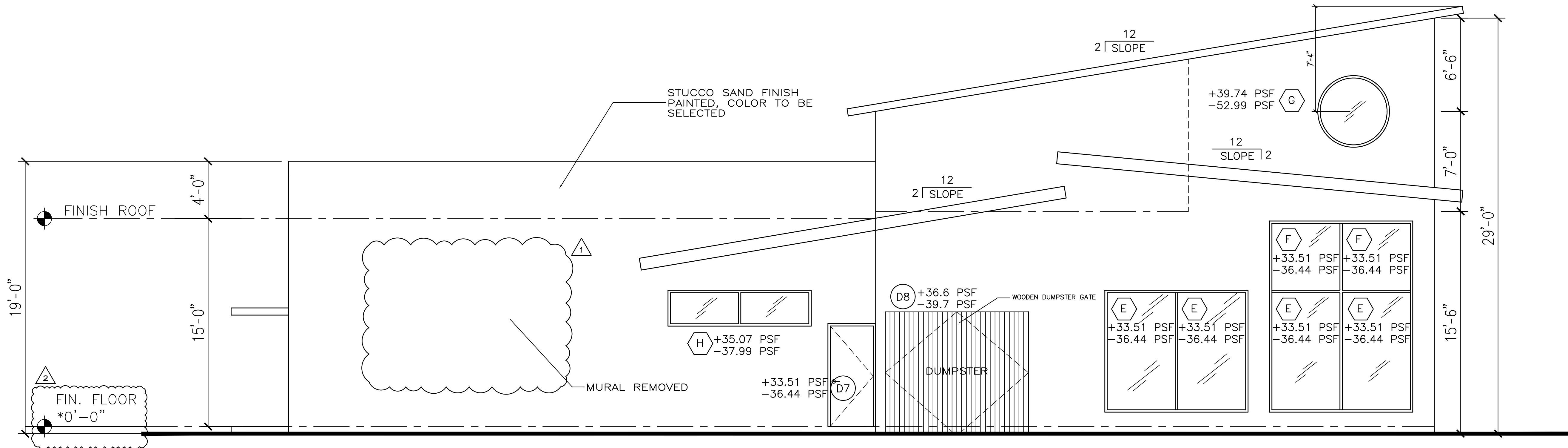
MAY 2021

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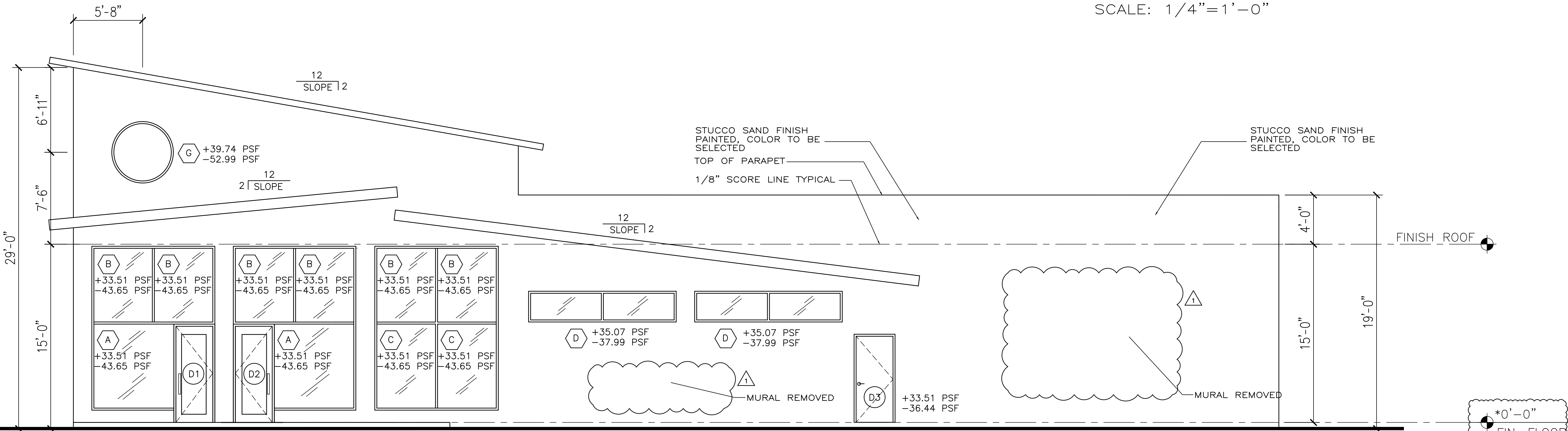
A-3.1





LEFT ELEVATION (SOUTH)

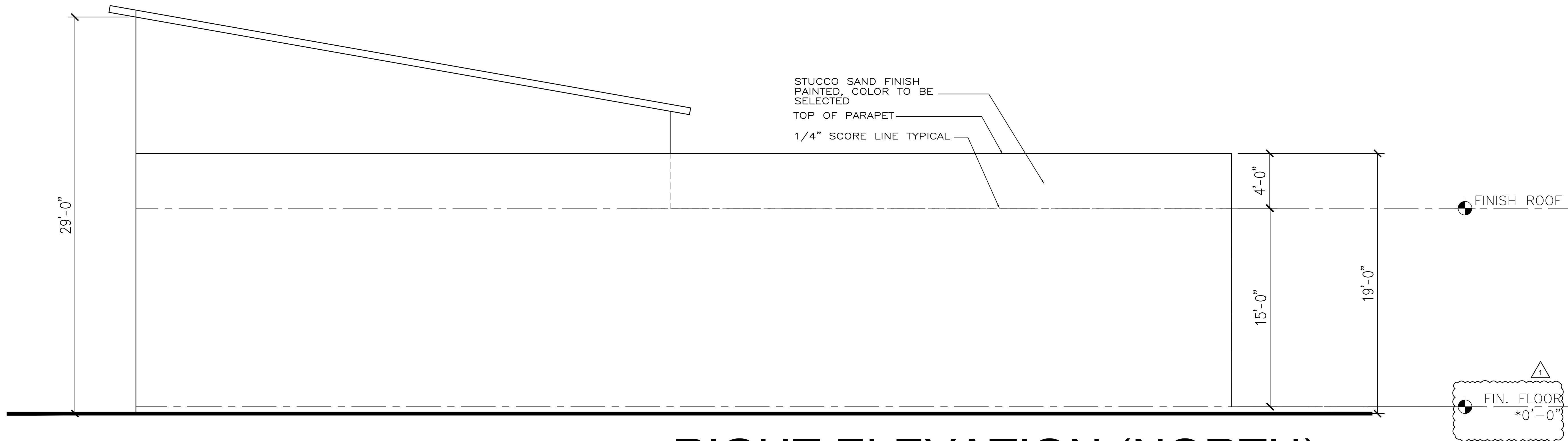
SCALE: 1/4"=1'-0"



FRONT ELEVATION (EAST)

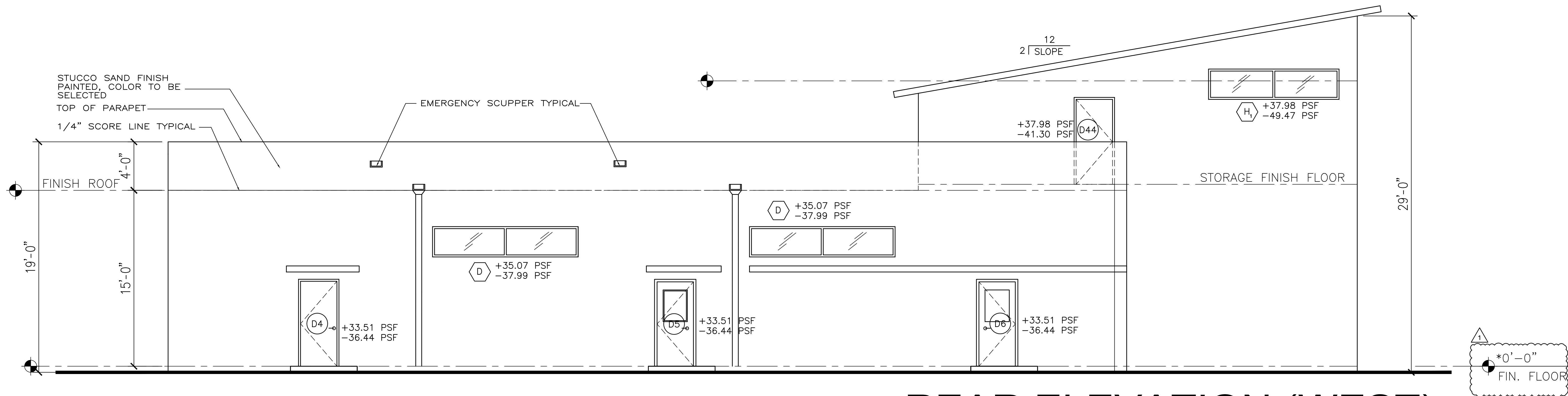
SCALE: 1/4"=1'-0"

*ALL FINISH FLOOR ELEVATIONS
ARE FROM FINISH CONCRETE SLAB
9.80' NGVD = 0'-0" FINISH FLOOR



RIGHT ELEVATION (NORTH)

SCALE: 1/4"=1'-0"

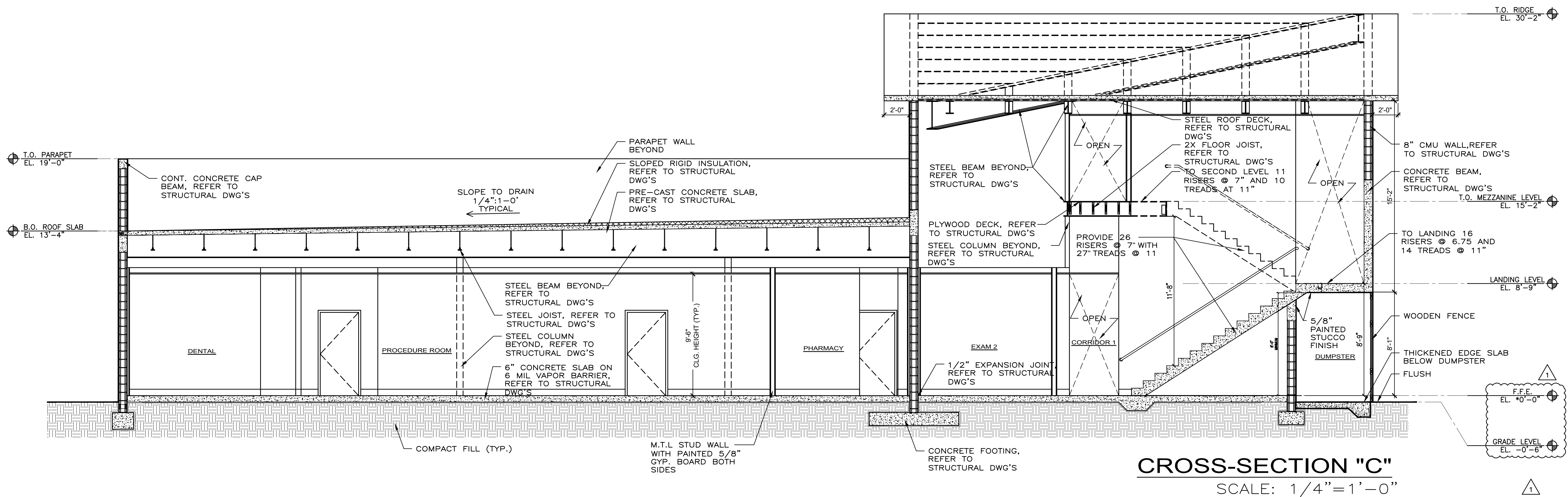
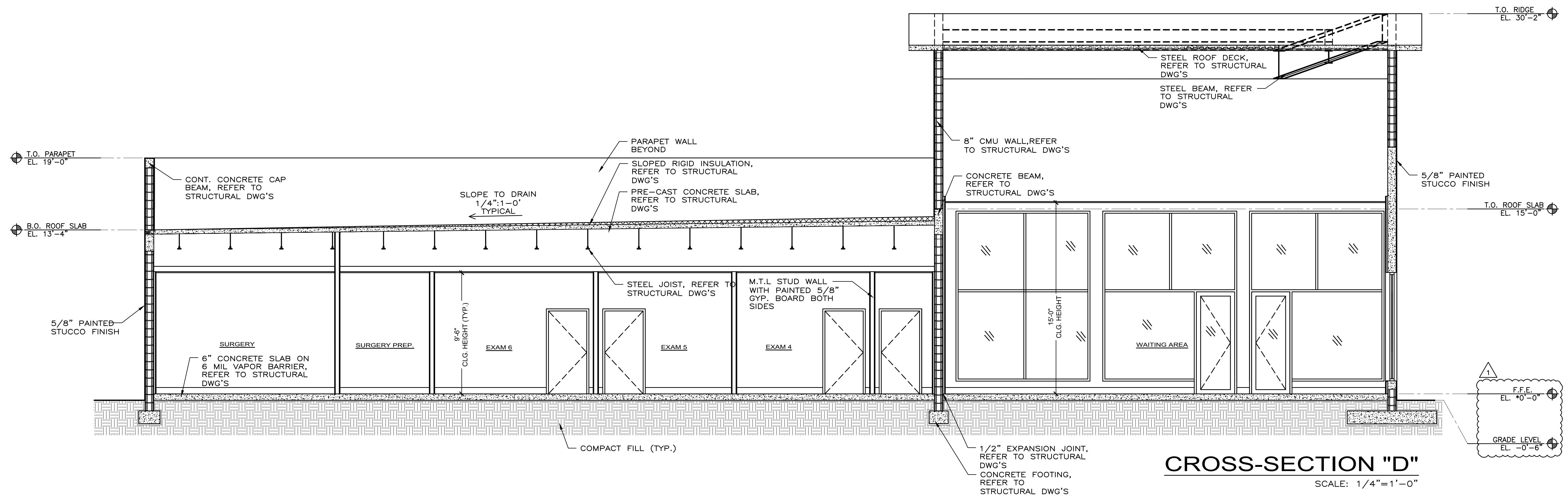


REAR ELEVATION (WEST)

SCALE: 1/4"=1'-0"

*ALL FINISH FLOOR ELEVATIONS
ARE FROM FINISH CONCRETE SLAB
9.80' NGVD = 0'-0" FINISH FLOOR

REVISIONS	
1	MAY 26, 2022
JSA GROUP INC. 12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923 JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924 AR-0015751/AA0003560/ID-0002171 julio@jsagroup.net	
PROPOSED VETERINARIAN CLINIC NEIGHBORHOOD VETERINARIAN CLINIC 26 S.W. 4th AVENUE HALLANDALE, FL.	
20-001	
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SEAL	
JULIO SANCHEZ NO. 15751 NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK	
A-5	



*ALL FINISH FLOOR ELEVATIONS
ARE FROM FINISH CONCRETE SLAB
9.80' NGVD = 0'-0" FINISH FLOOR

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 26, 2022	



JSA GROUP INC.
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PROPOSED VETERINARIAN CLINIC
NEIGHBORHOOD VETERINARIAN CLINIC
26 S.W. 4th AVENUE
HALLANDALE, FL.

20-001

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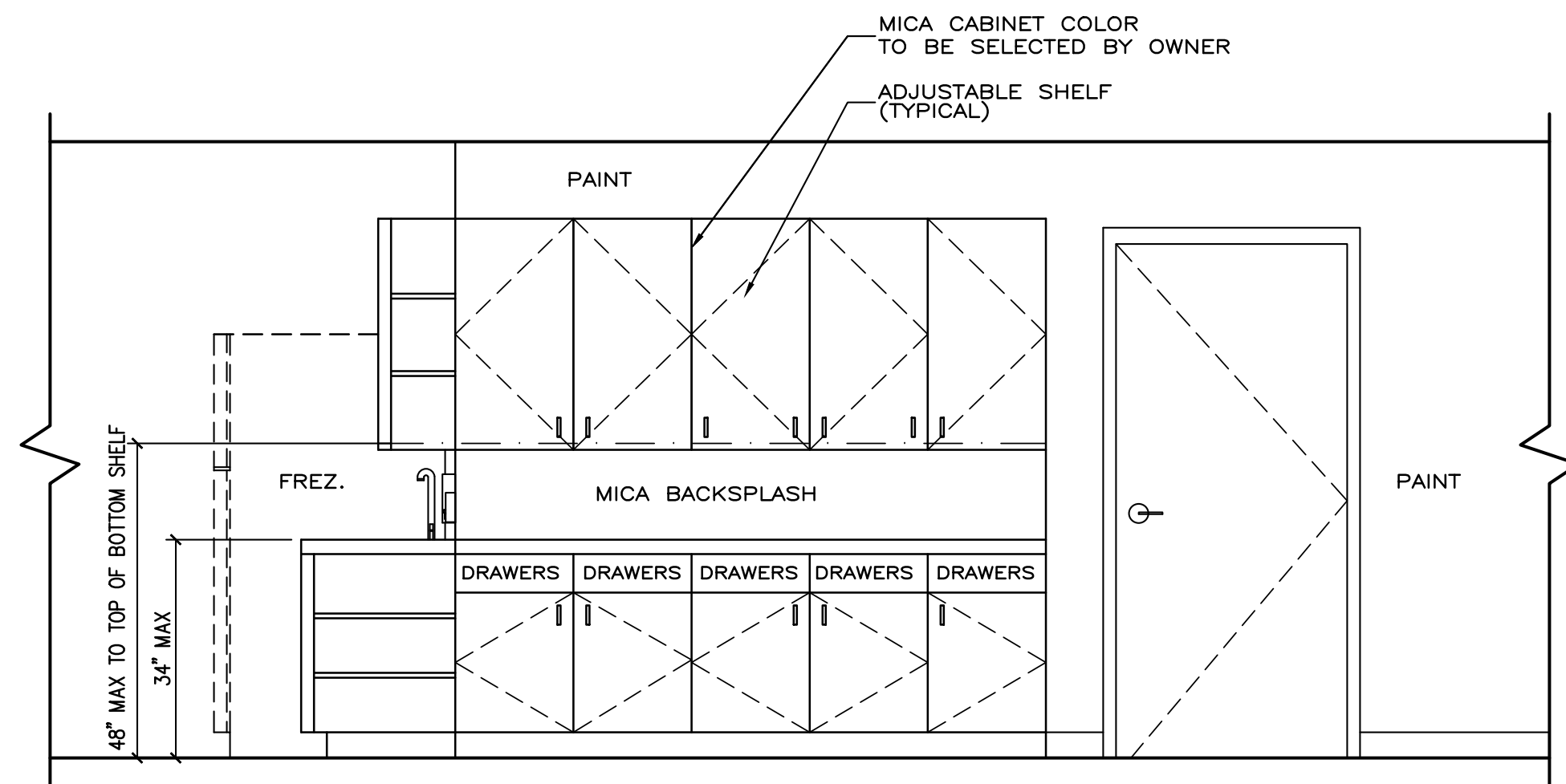
MAY 2021

SEAL

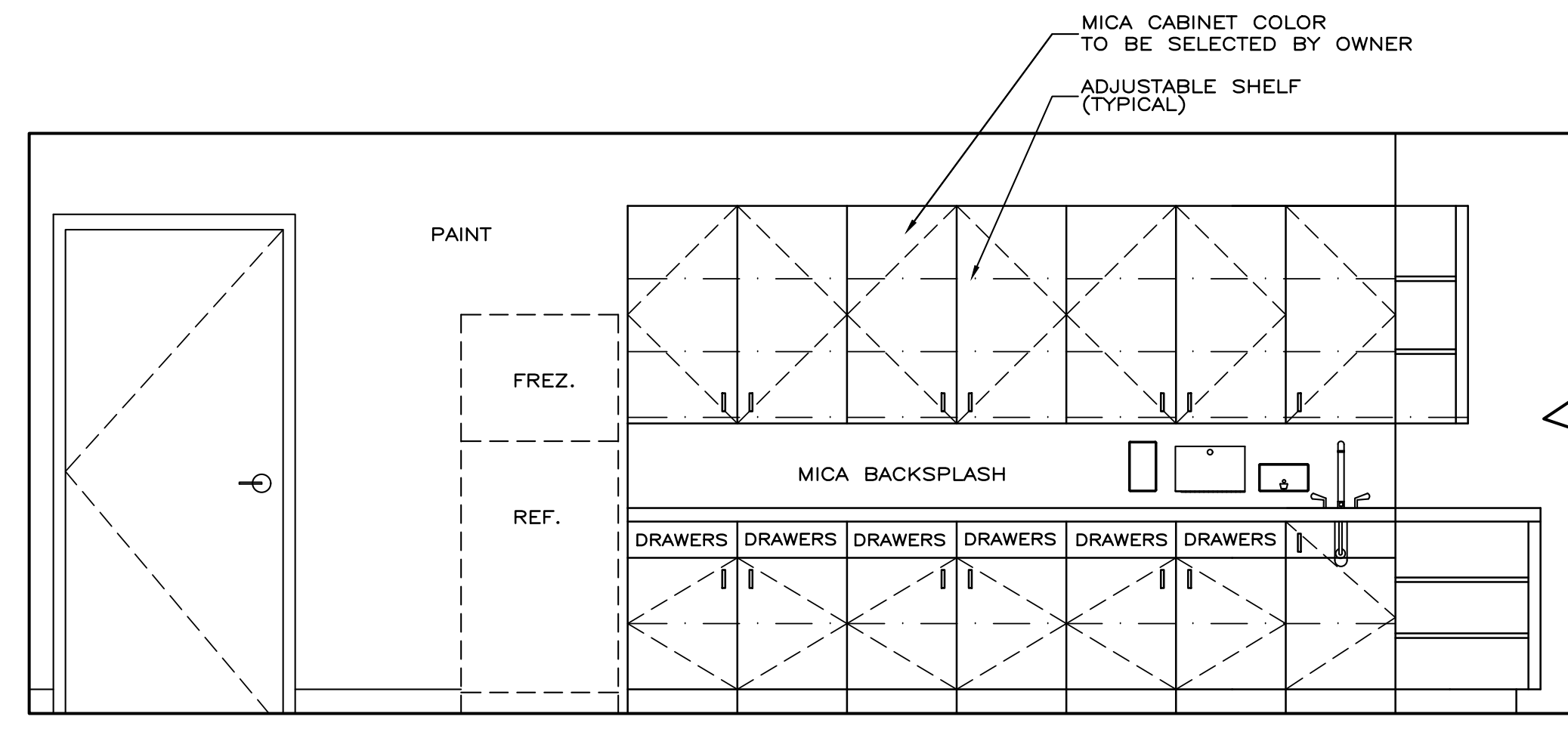
JULIO SANCHEZ
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A-7



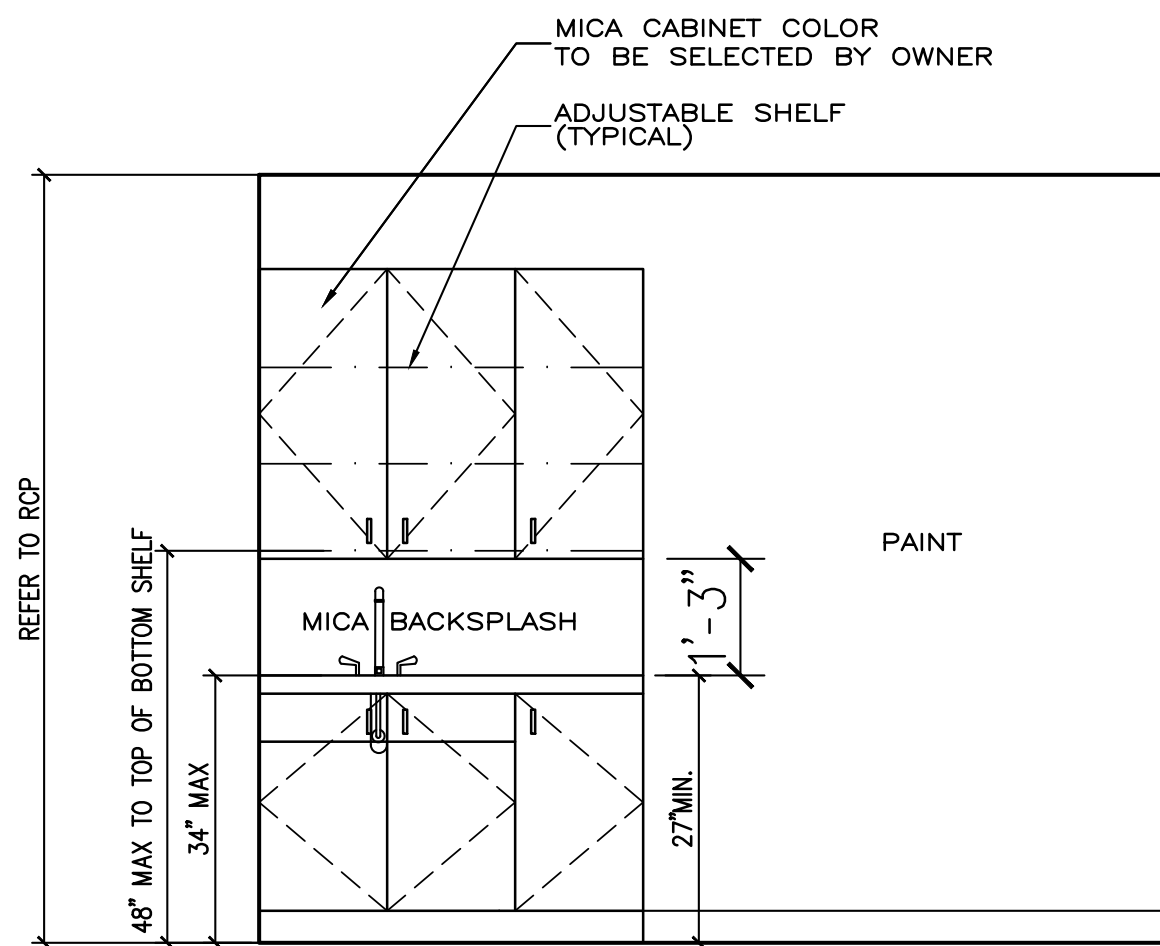
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SCALE: 1/2" = 1'-0"



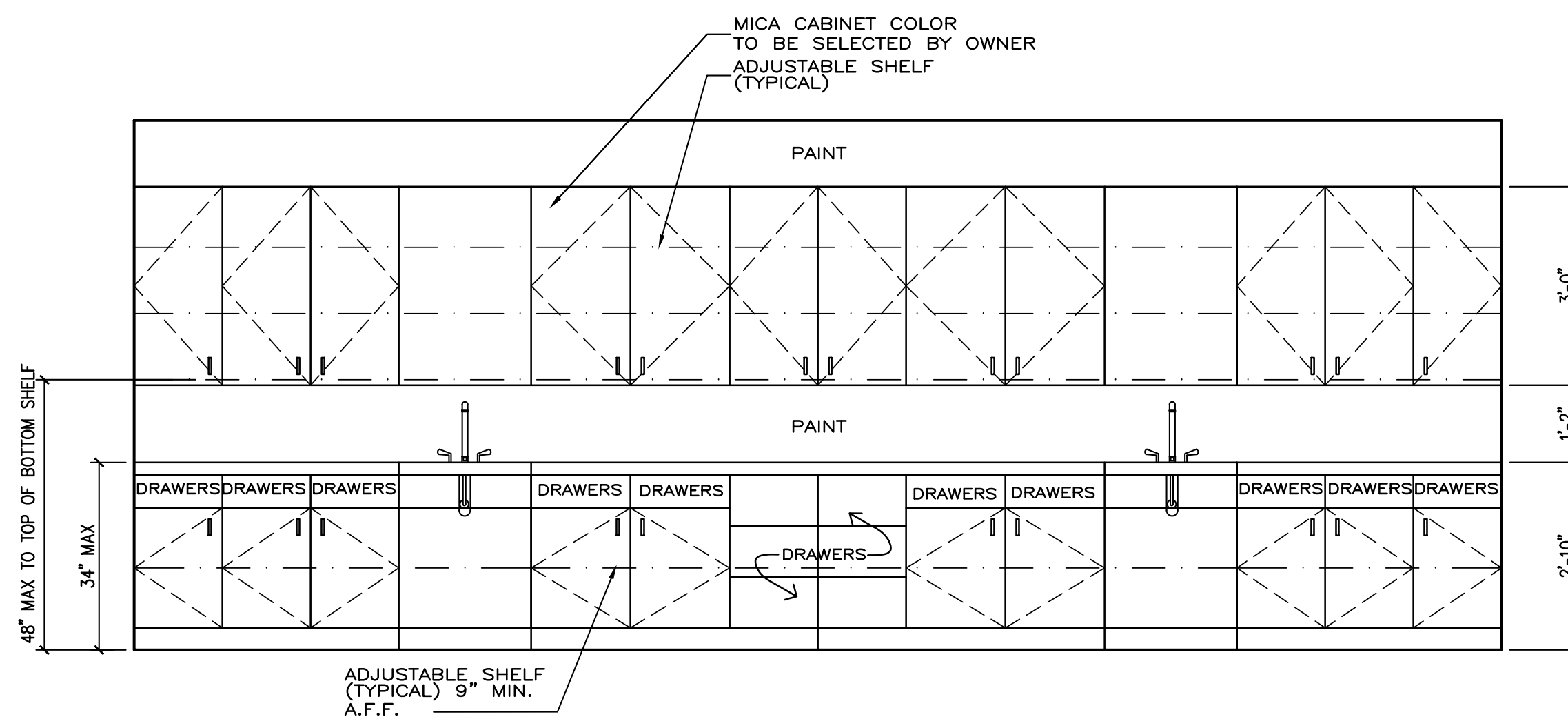
9 PHARMACY INT. ELEVATION
SCALE: 1/2" = 1'-0"

- BATHROOM LEGEND**
- A SOAP DISPENSER MODEL U124, A&J WASHROOM ACCESSORIES
 - B TOILET PAPER DISPENSER MODEL B69997, BOBRICK WASHROOM ACCESSORIES
 - C 36" GRAB BAR
 - D 42" GRAB BAR
 - E RECESSED COMBINATION TOWEL / WASTE UNIT
 - F MIRRORS MODEL U701S, A&J WASHROOM ACCESSORIES
 - G UNDER SINK PROTECTIVE PIPE INSULATION

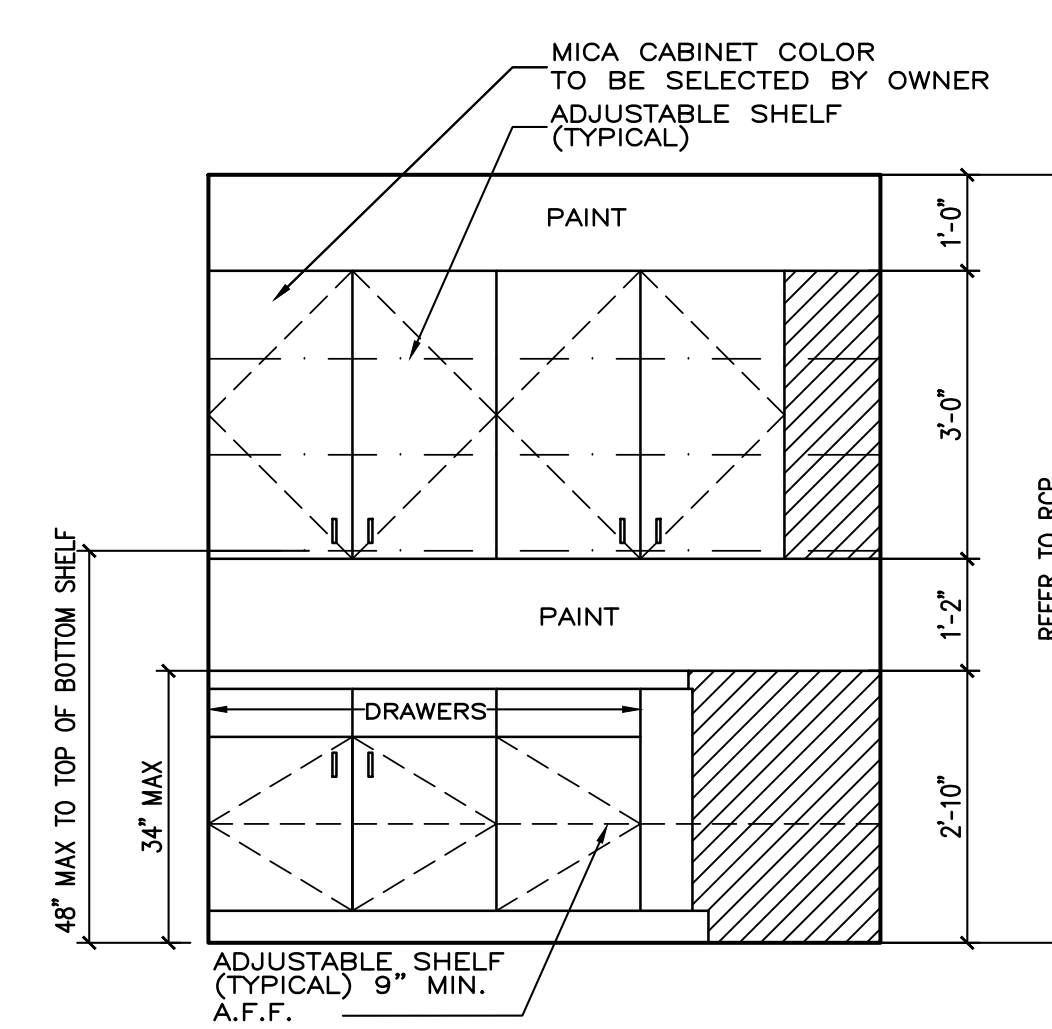
ELEVATIONS ARE ONLY REFERENCE TO PROPER HEIGHTS OF ACCESSORIES & FIXTURES
ALL ACCESSORIES TO BE STAINLESS STEEL
ALL ACCESSORIES AND FIXTURES SHALL BE ADA COMPLIANT PRODUCTS AS PER 2017 FBC - ACCESSIBILITY, SIXTH EDITION
SEE SHEET A-6 FOR ADA COMPLIANT REACH DETAILS.



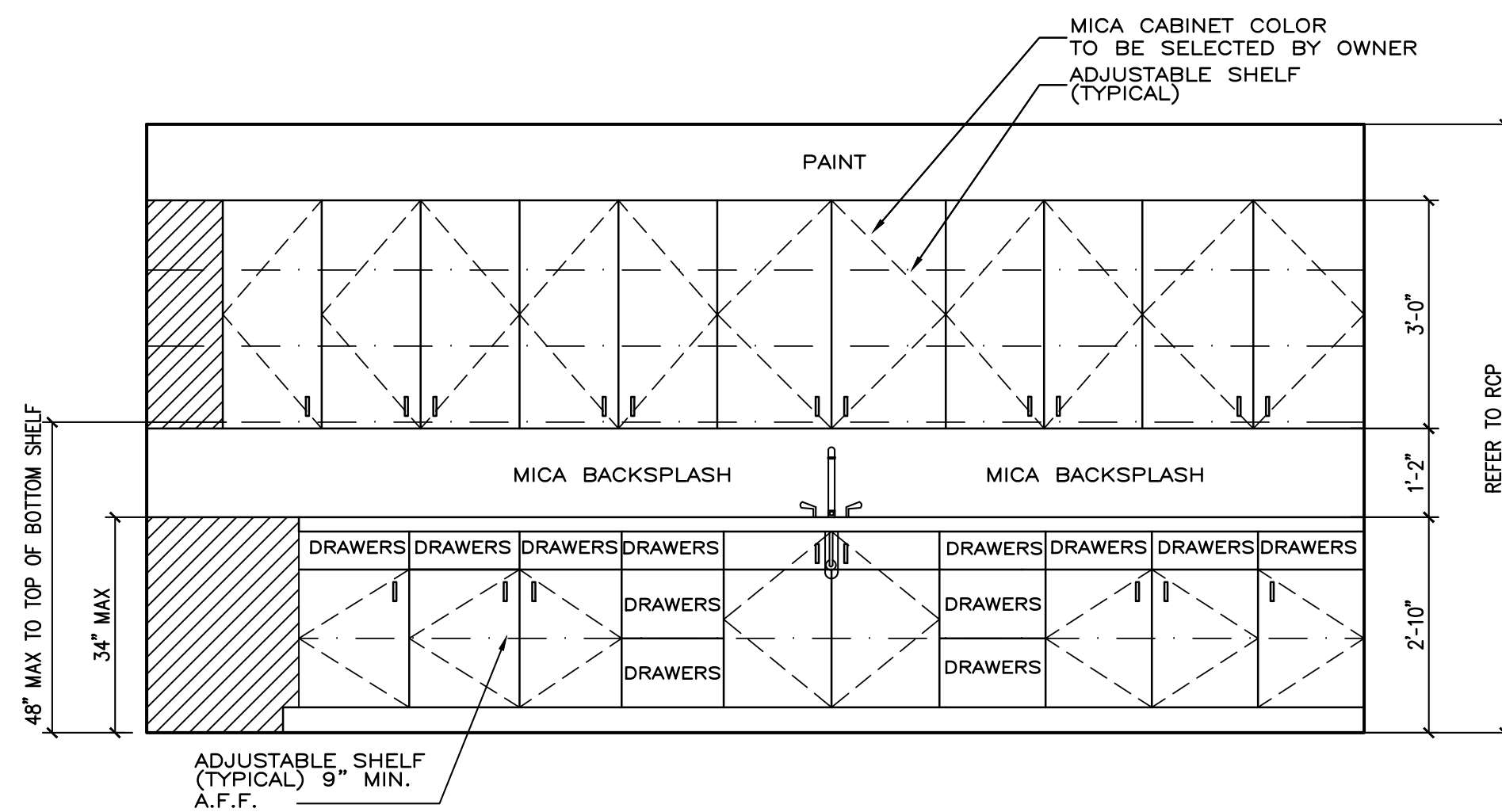
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SCALE: 1/2" = 1'-0"



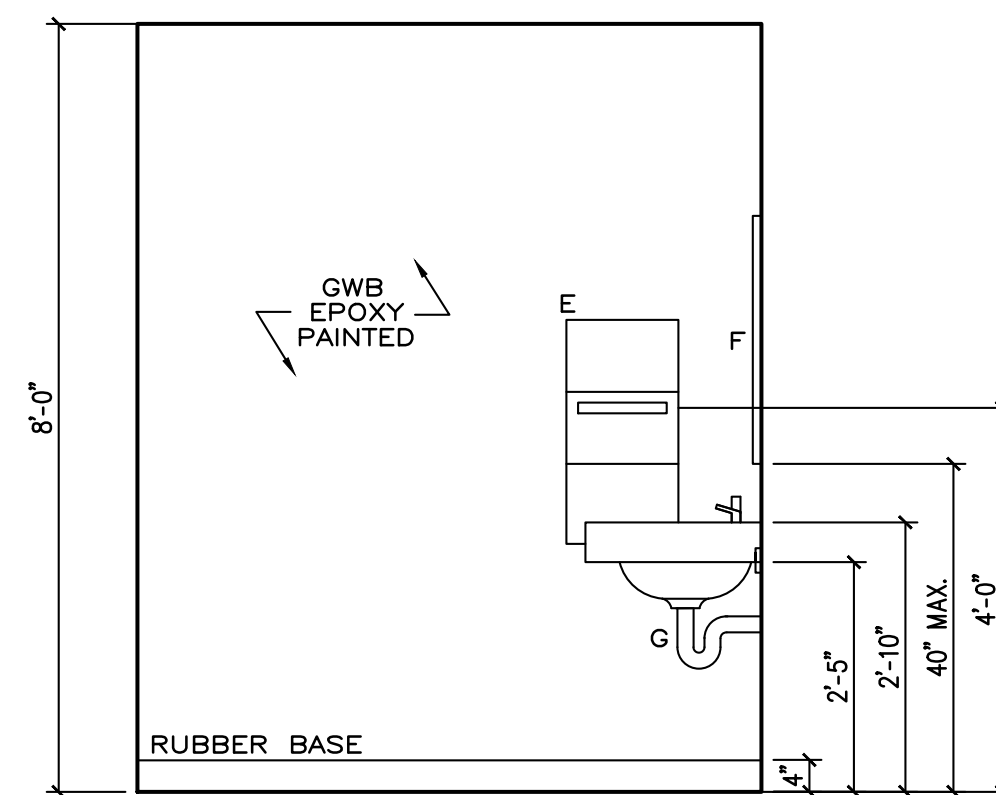
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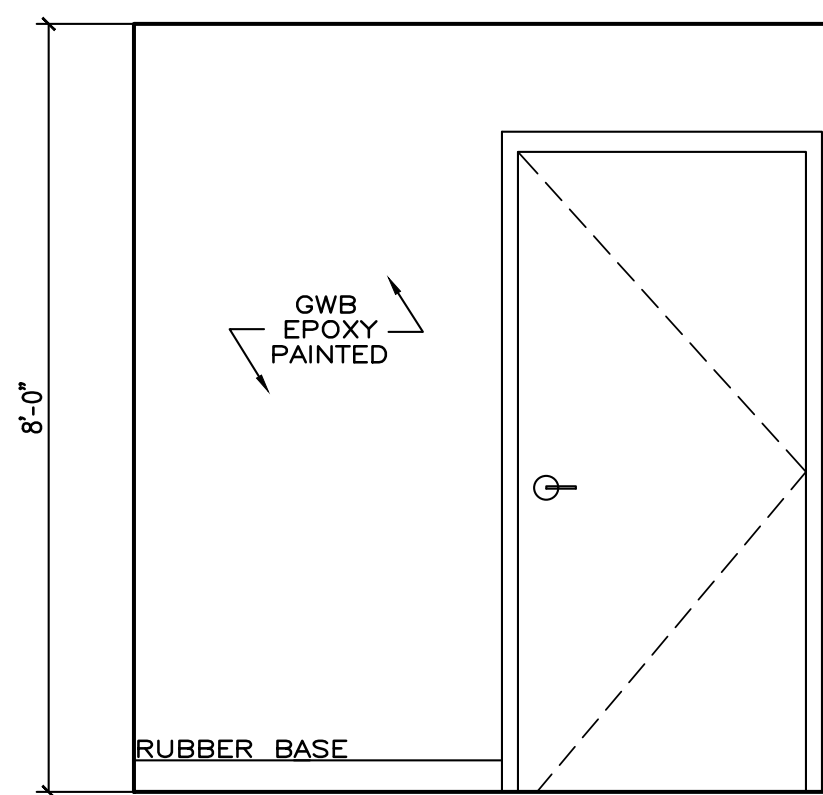
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SCALE: 1/2" = 1'-0"



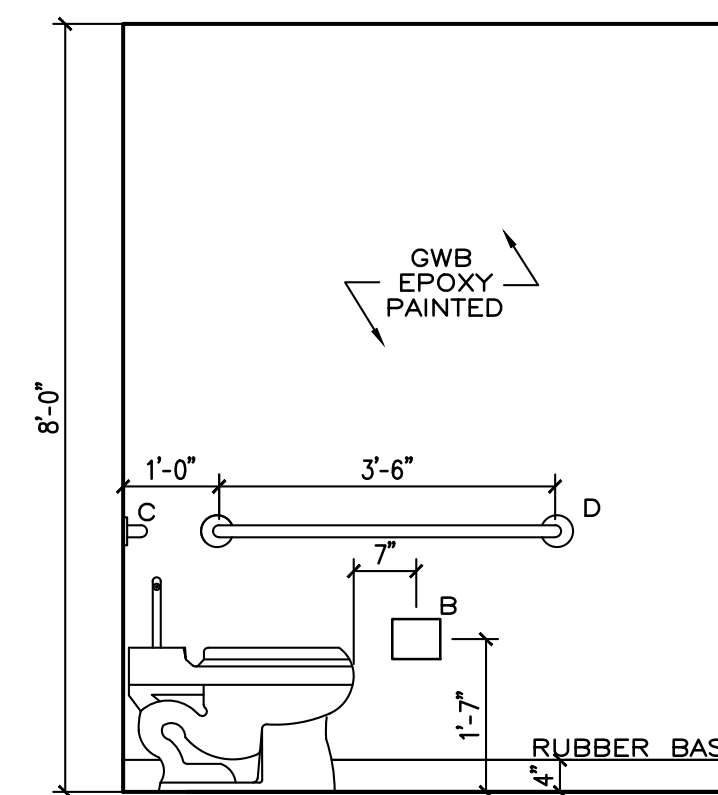
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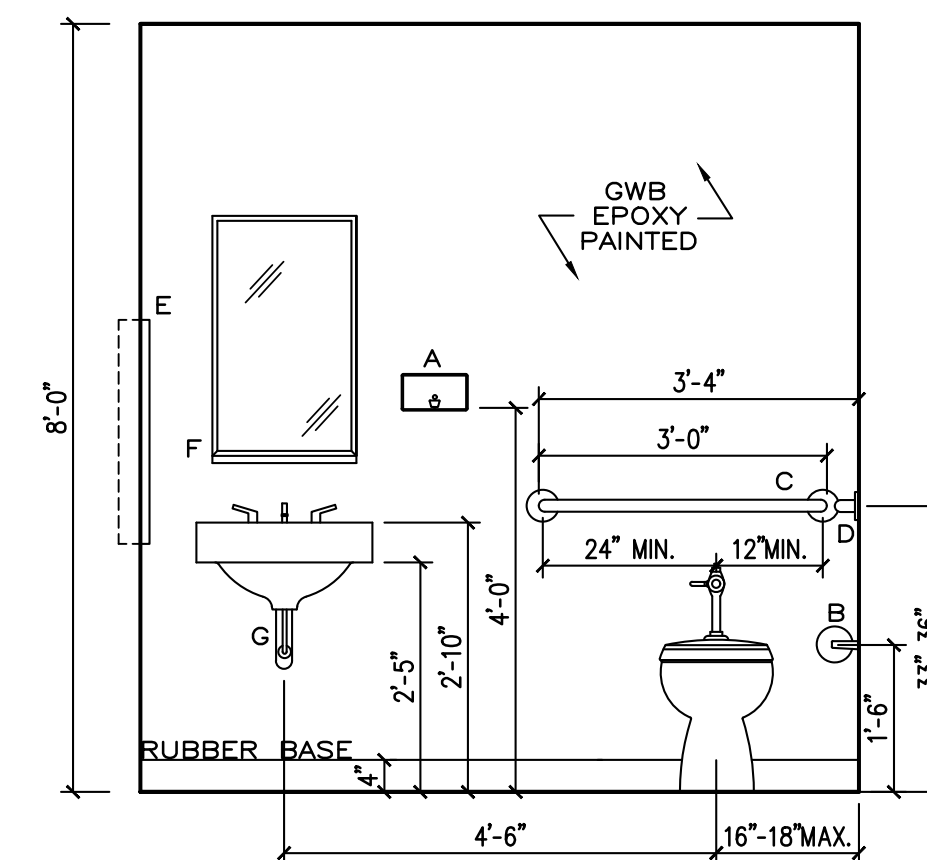
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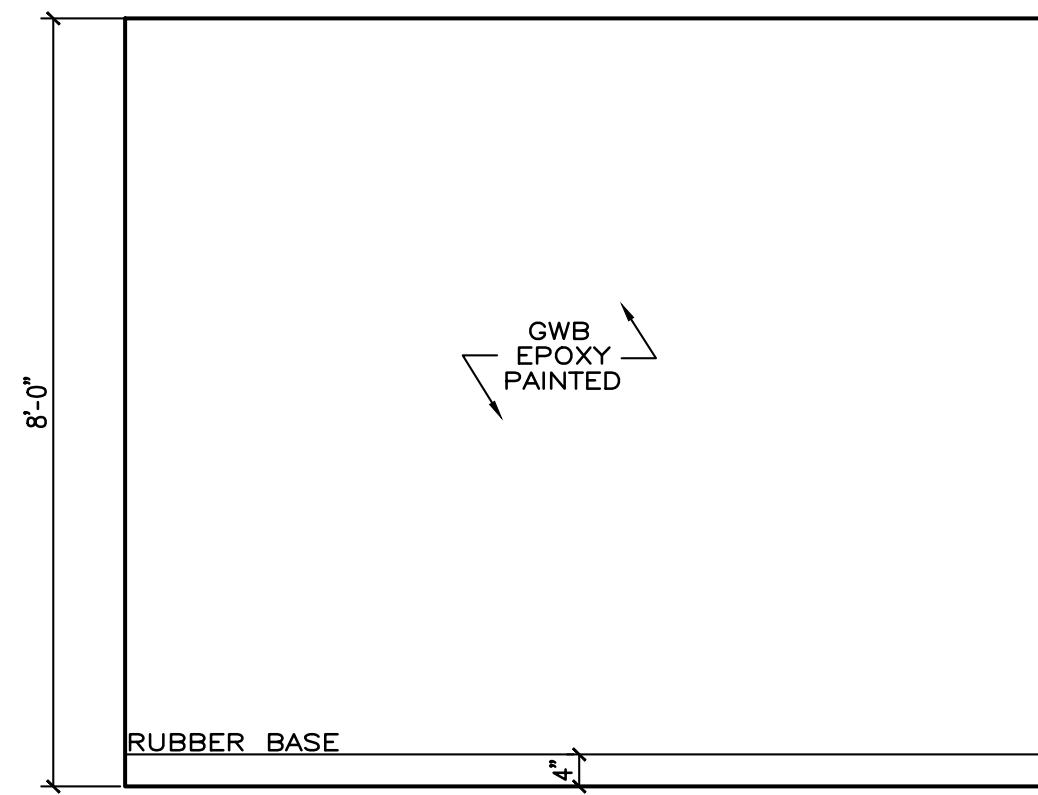
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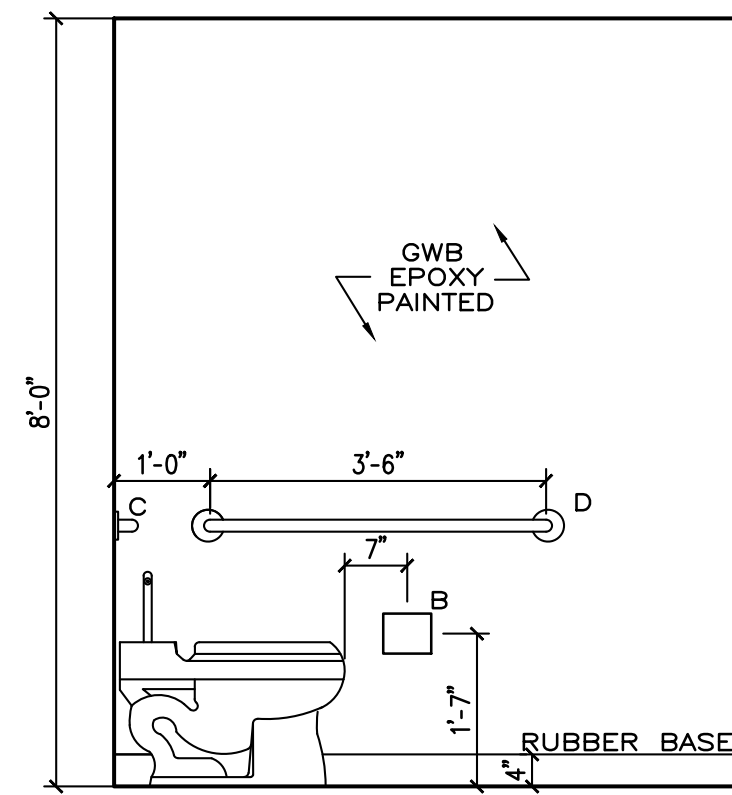
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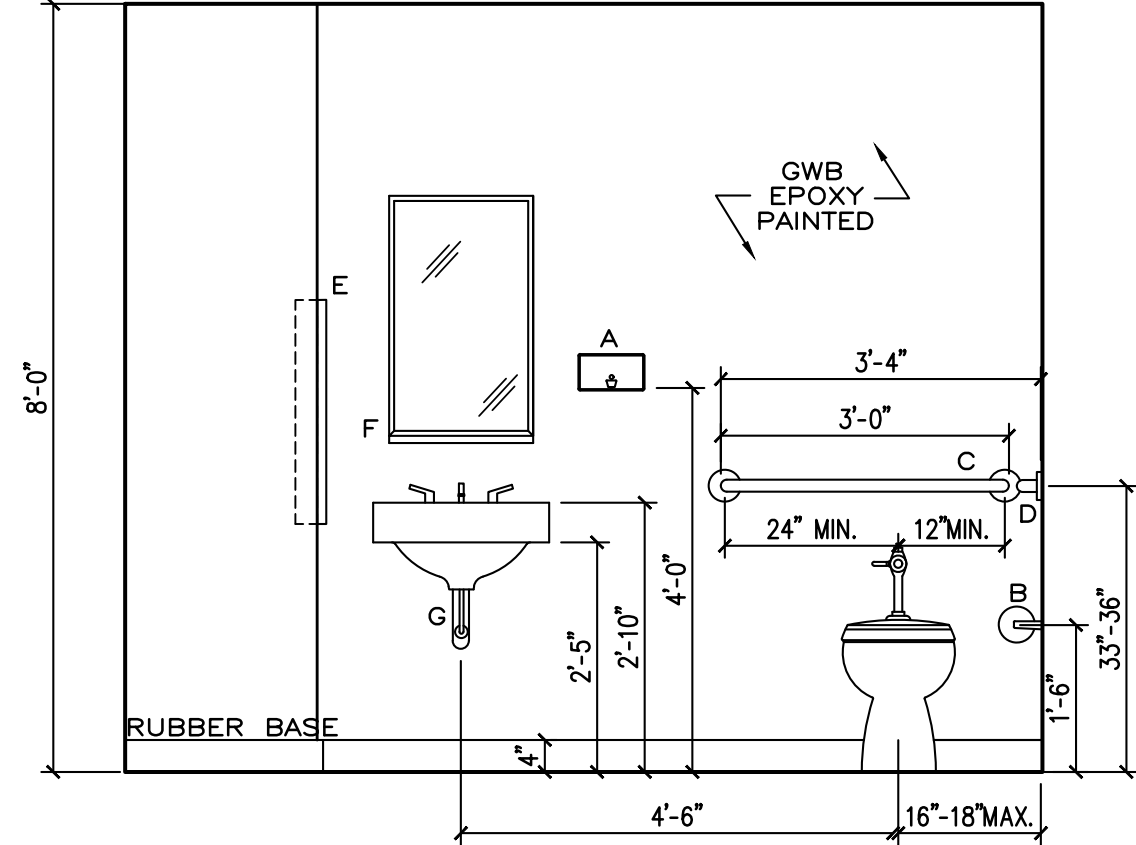
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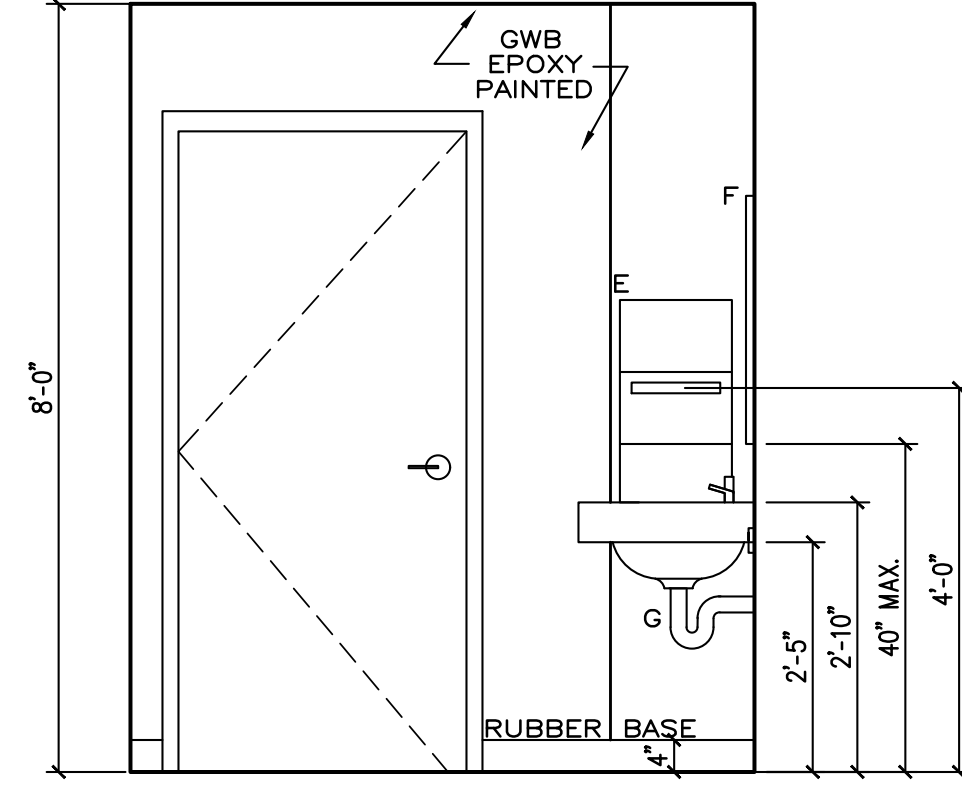
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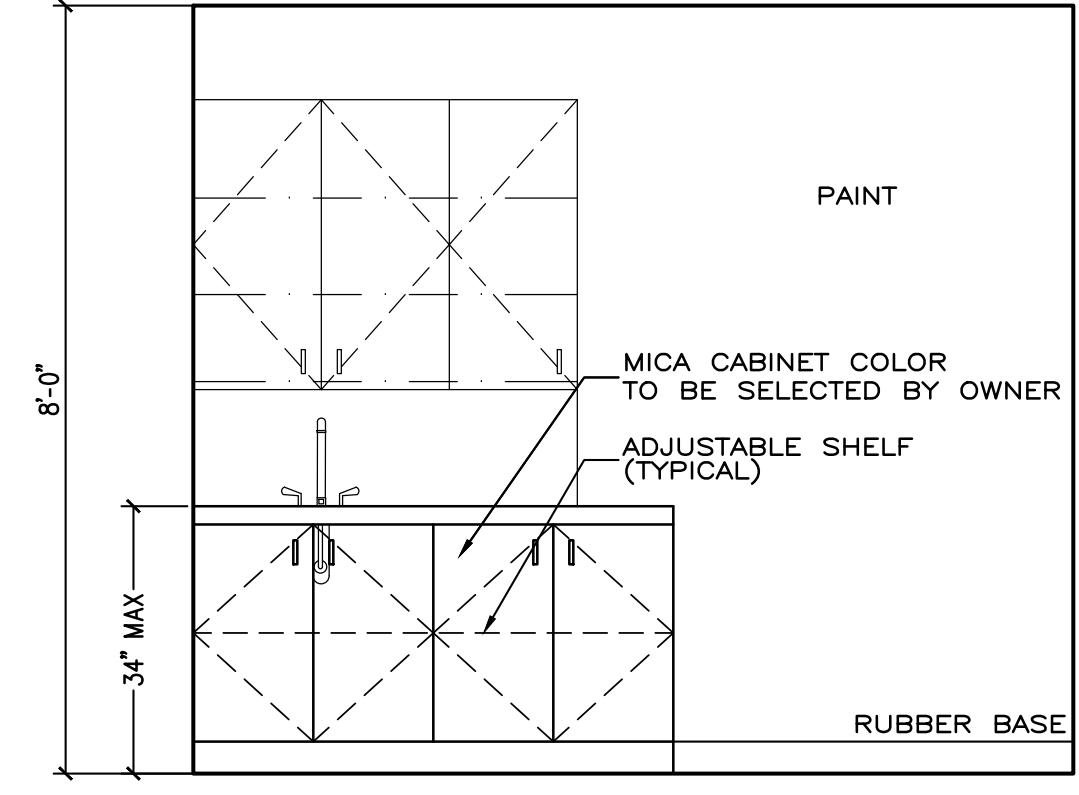
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SCALE: 1/2" = 1'-0"



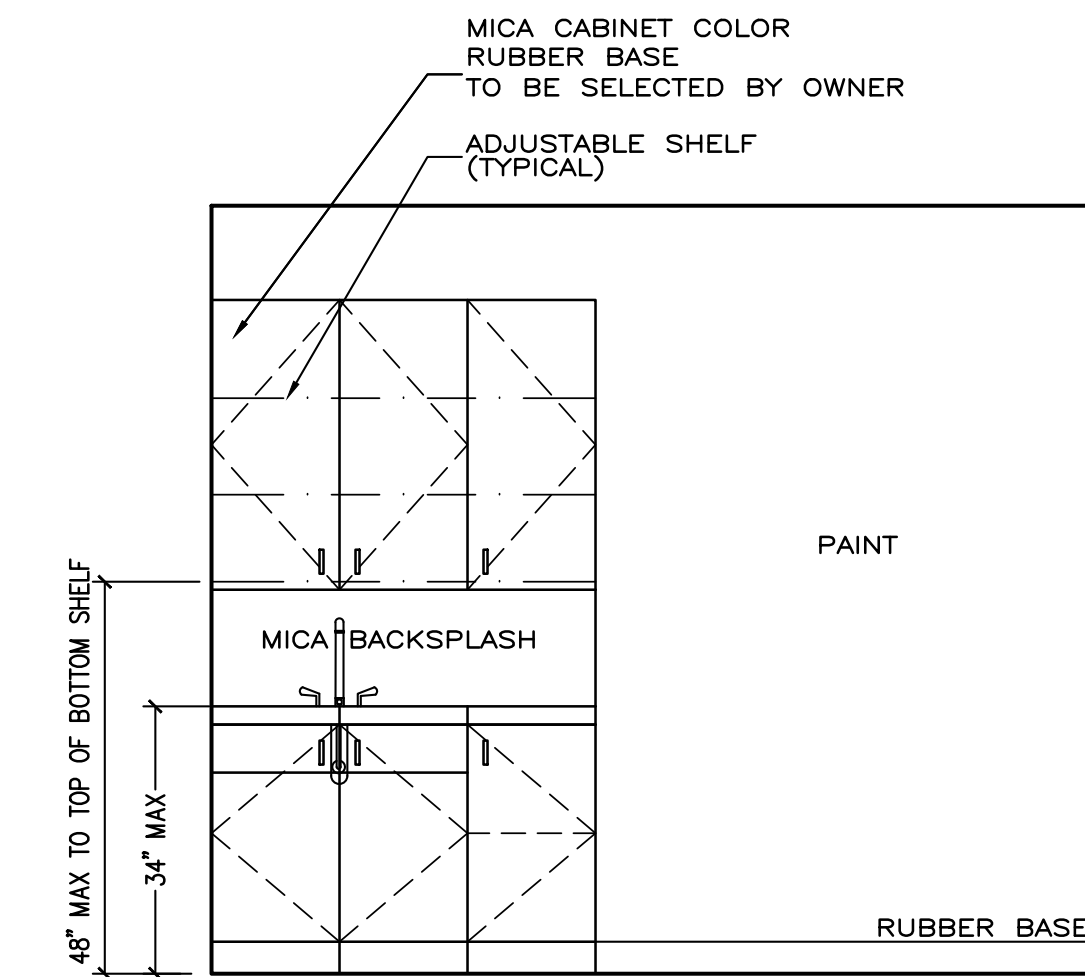
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SCALE: 1/2" = 1'-0"



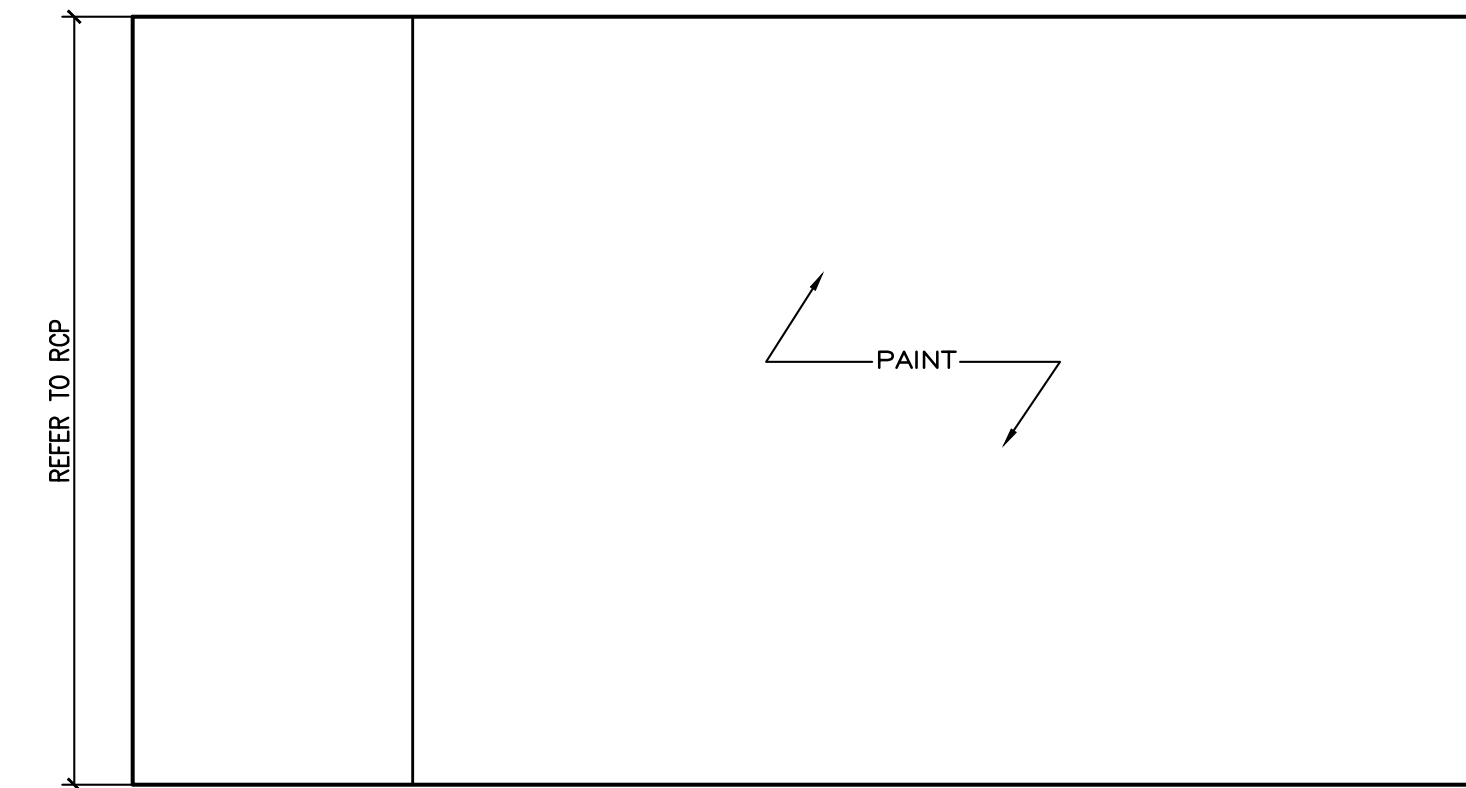
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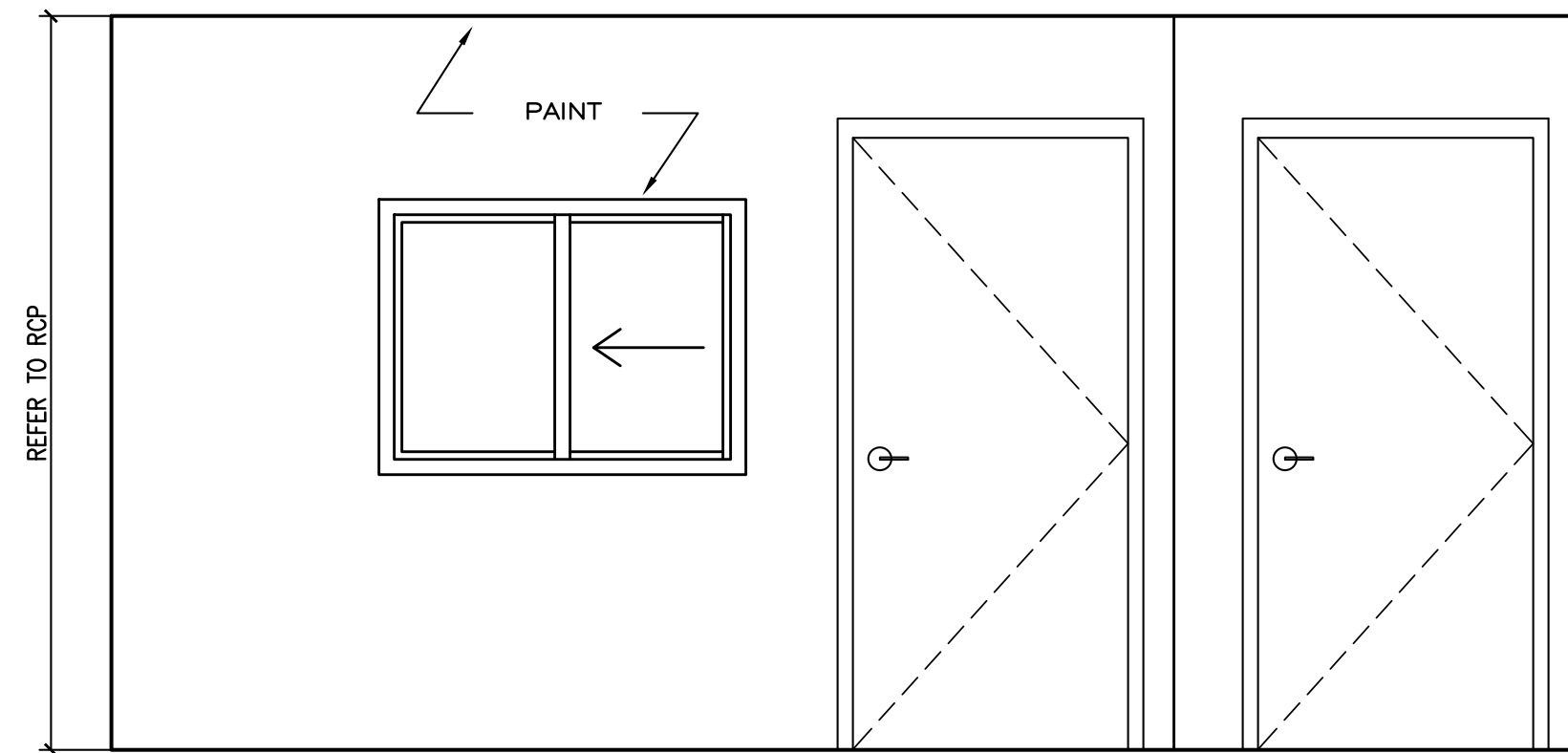
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SCALE: 1/2" = 1'-0"



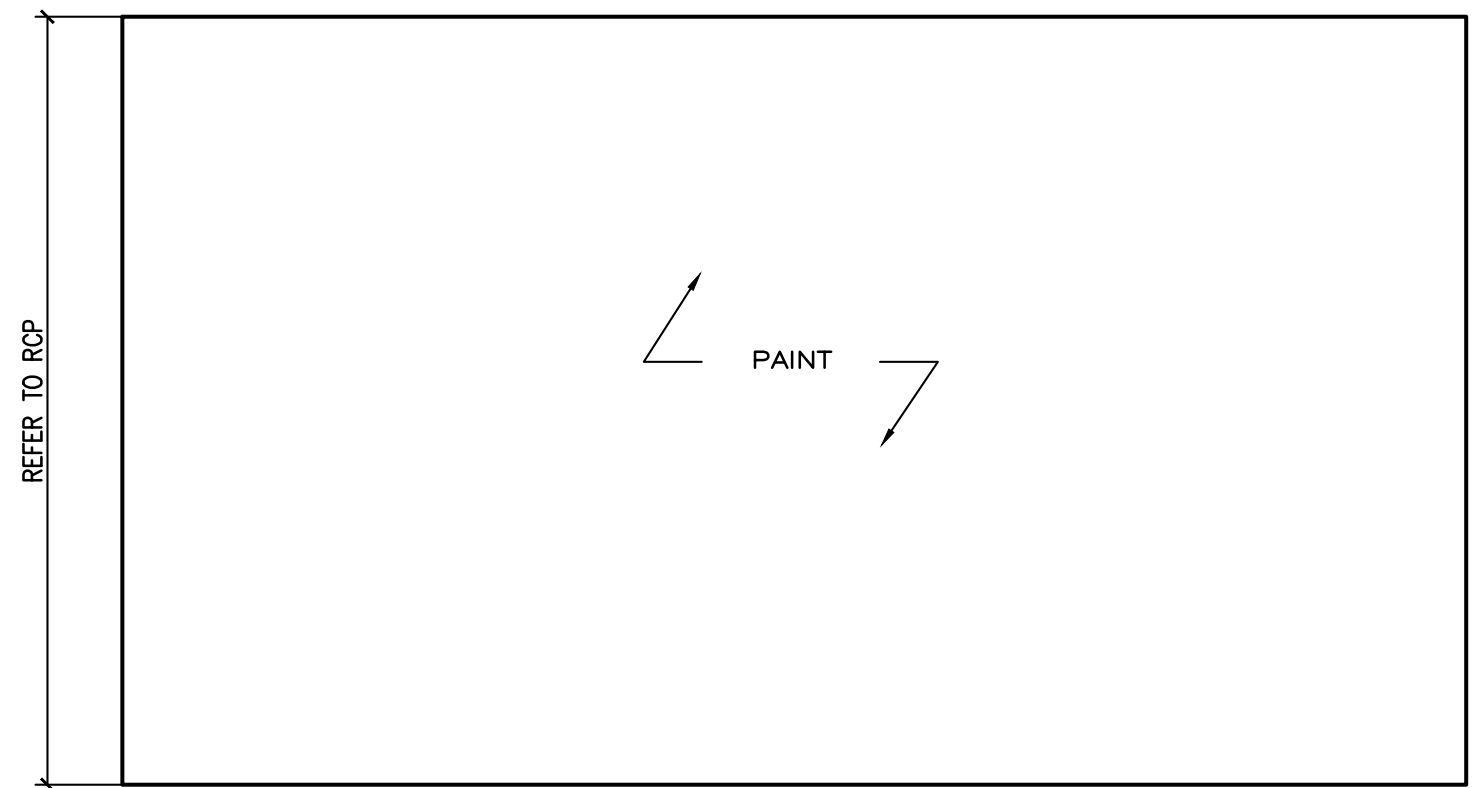
7 EXAM 6 INT. ELEVATION
SCALE: 1/2" = 1'-0"



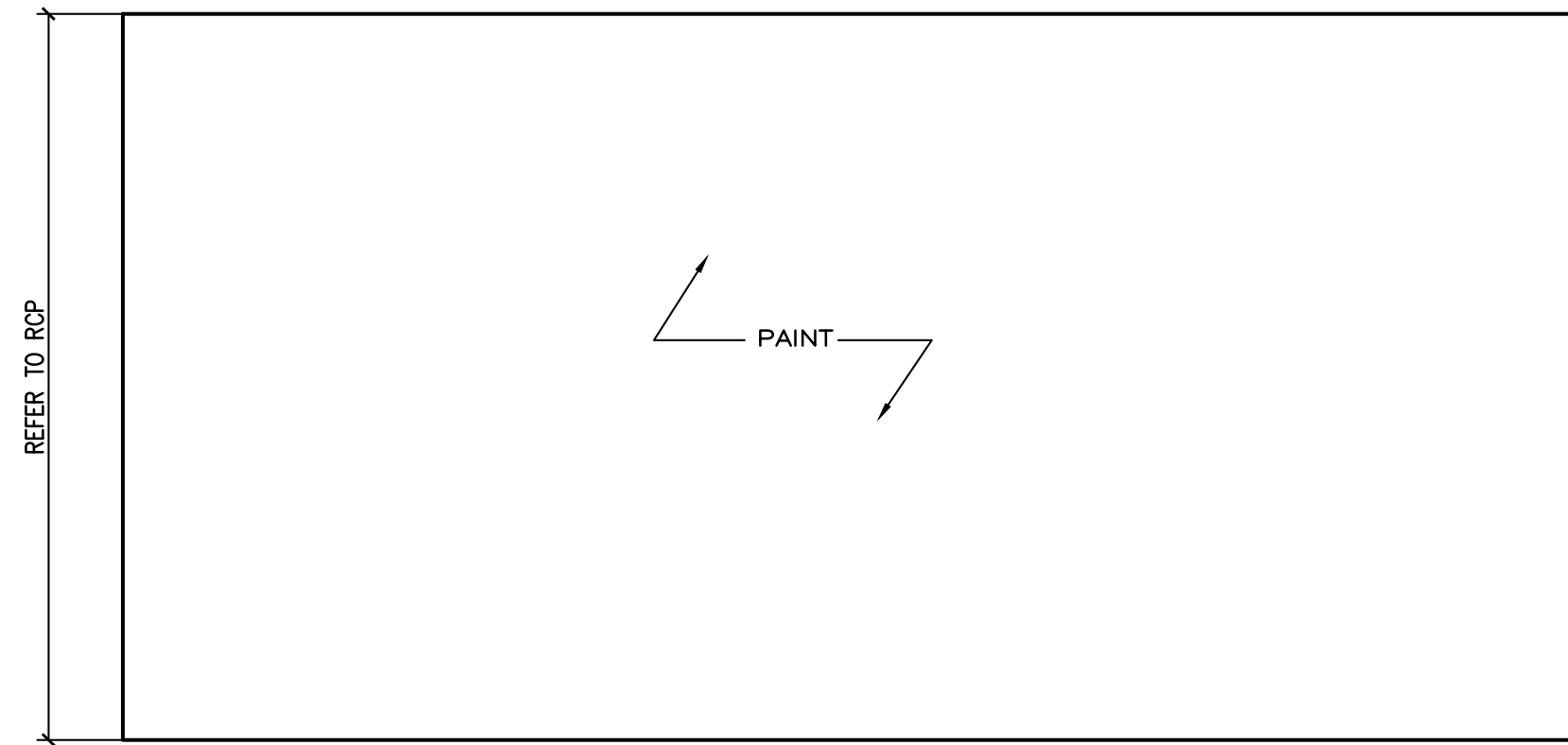
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SCALE: 1/2" = 1'-0"



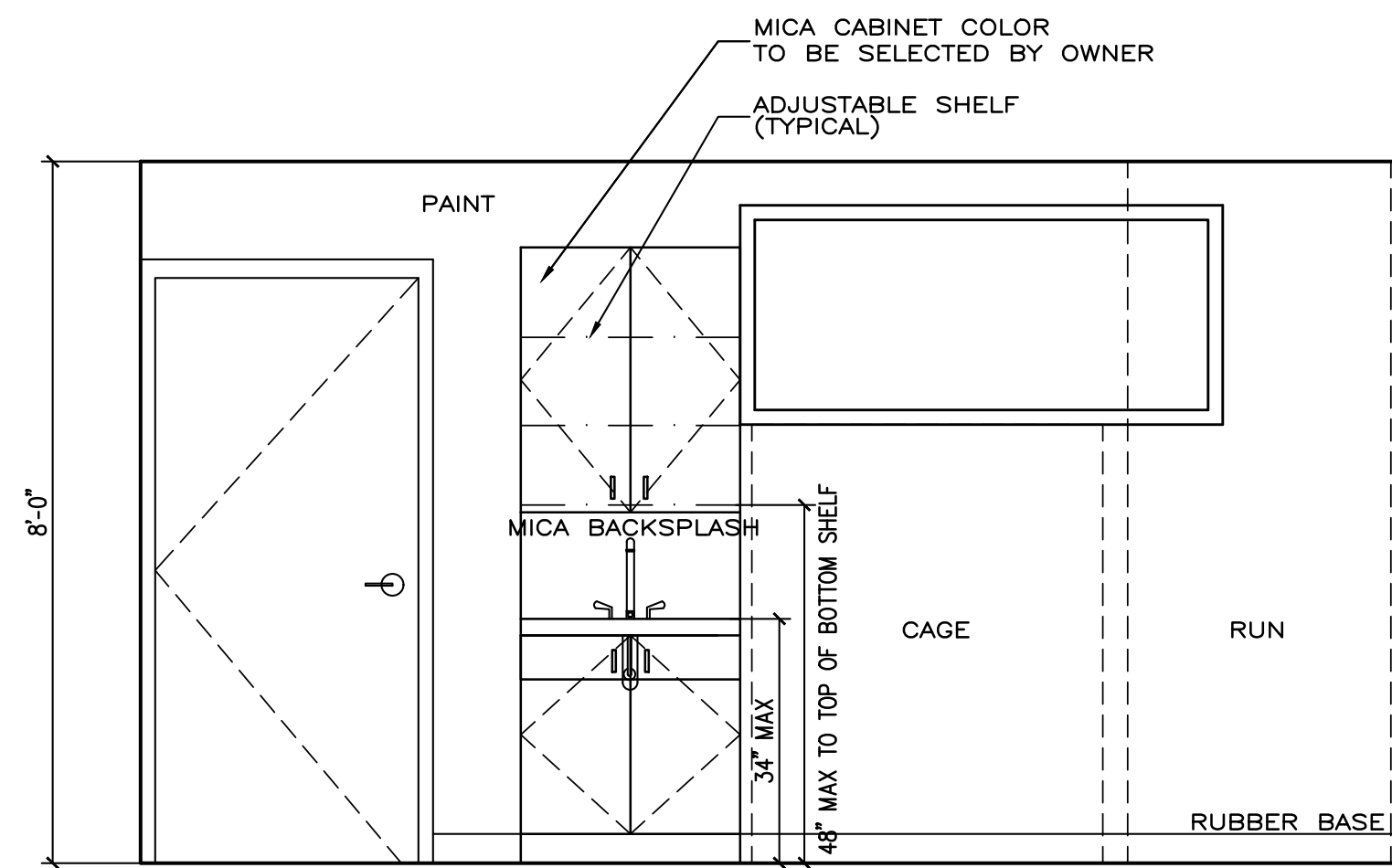
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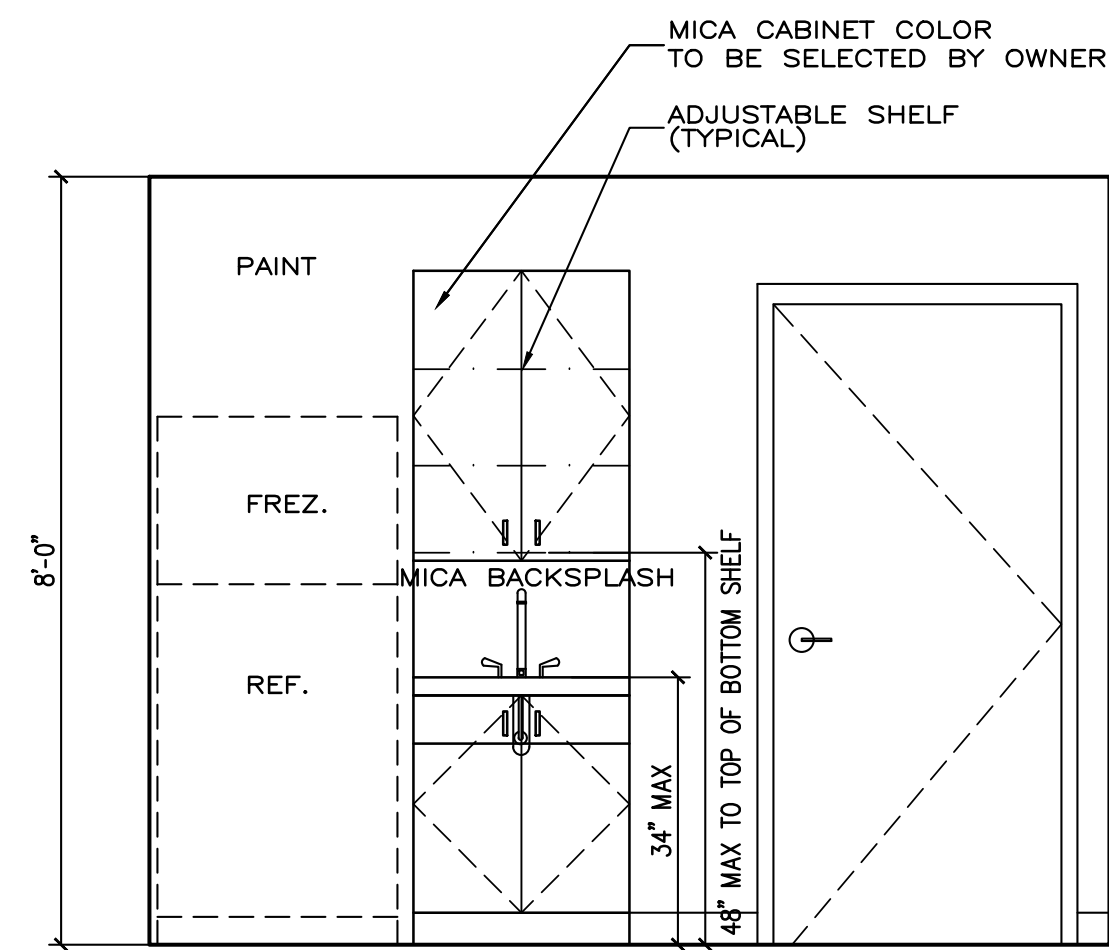
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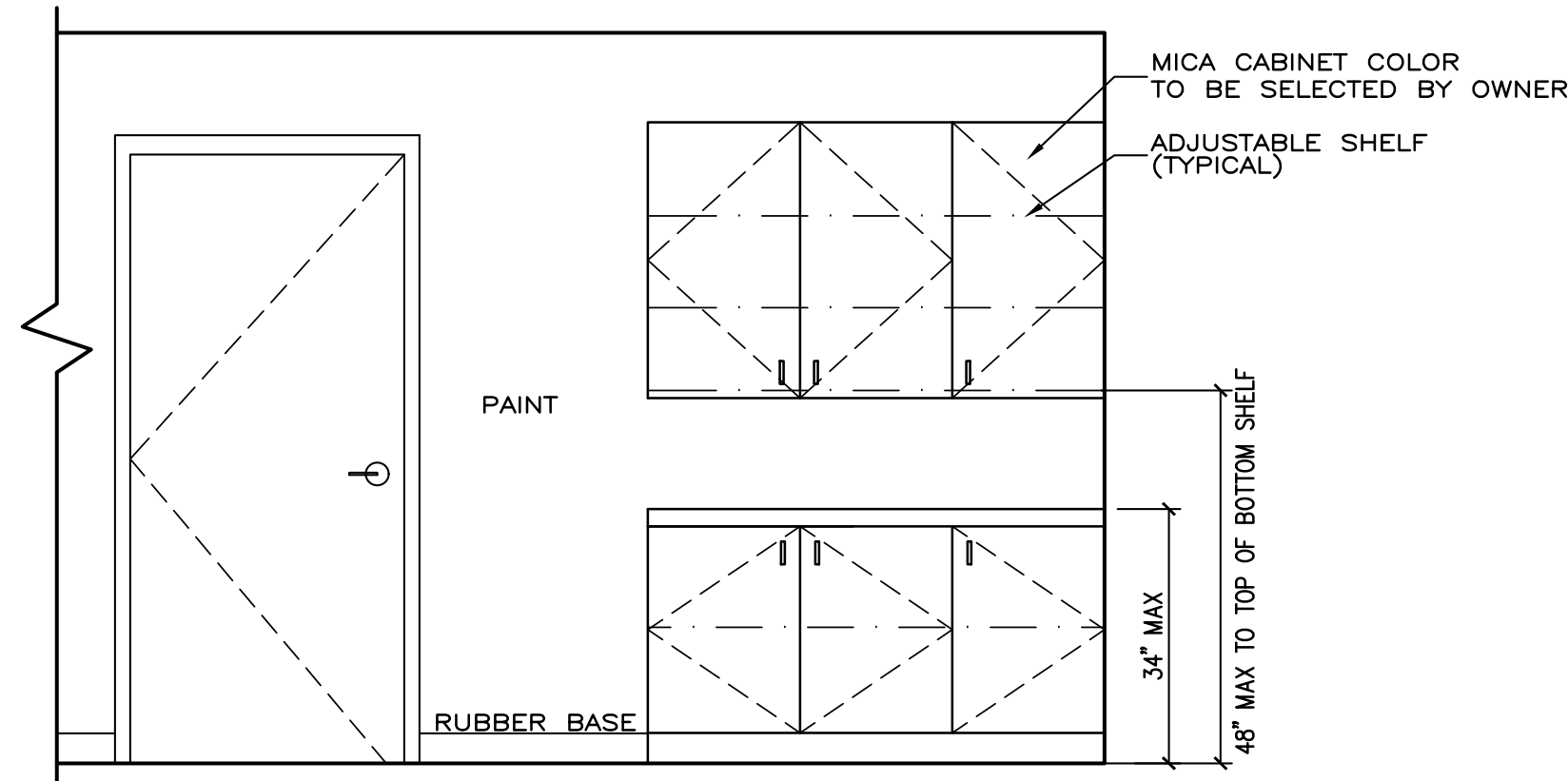
3 SURGERY INT. ELEVATION
SCALE: 1/2" = 1'-0"



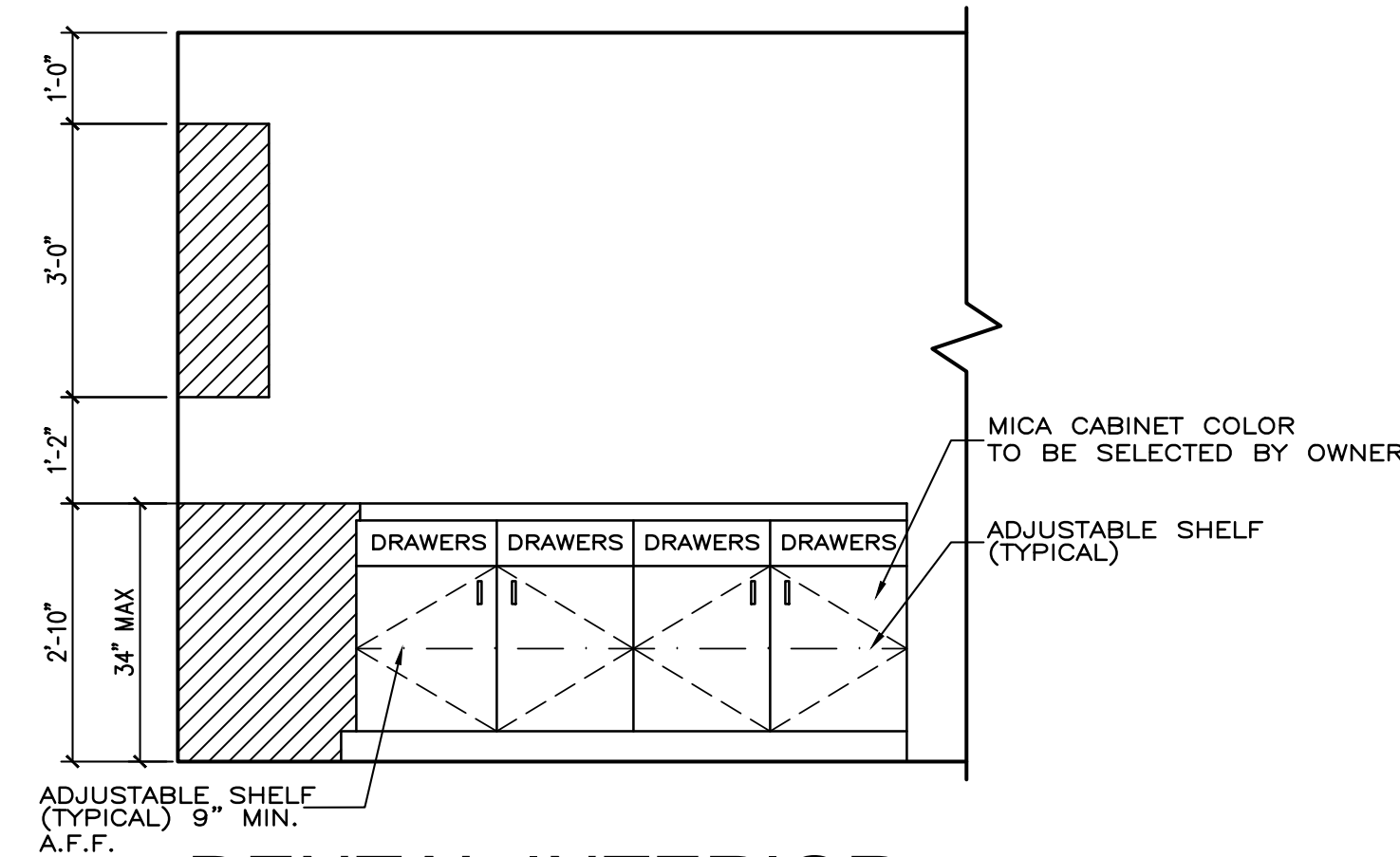
2 ISO INT. ELEVATION
SCALE: 1/2" = 1'-0"



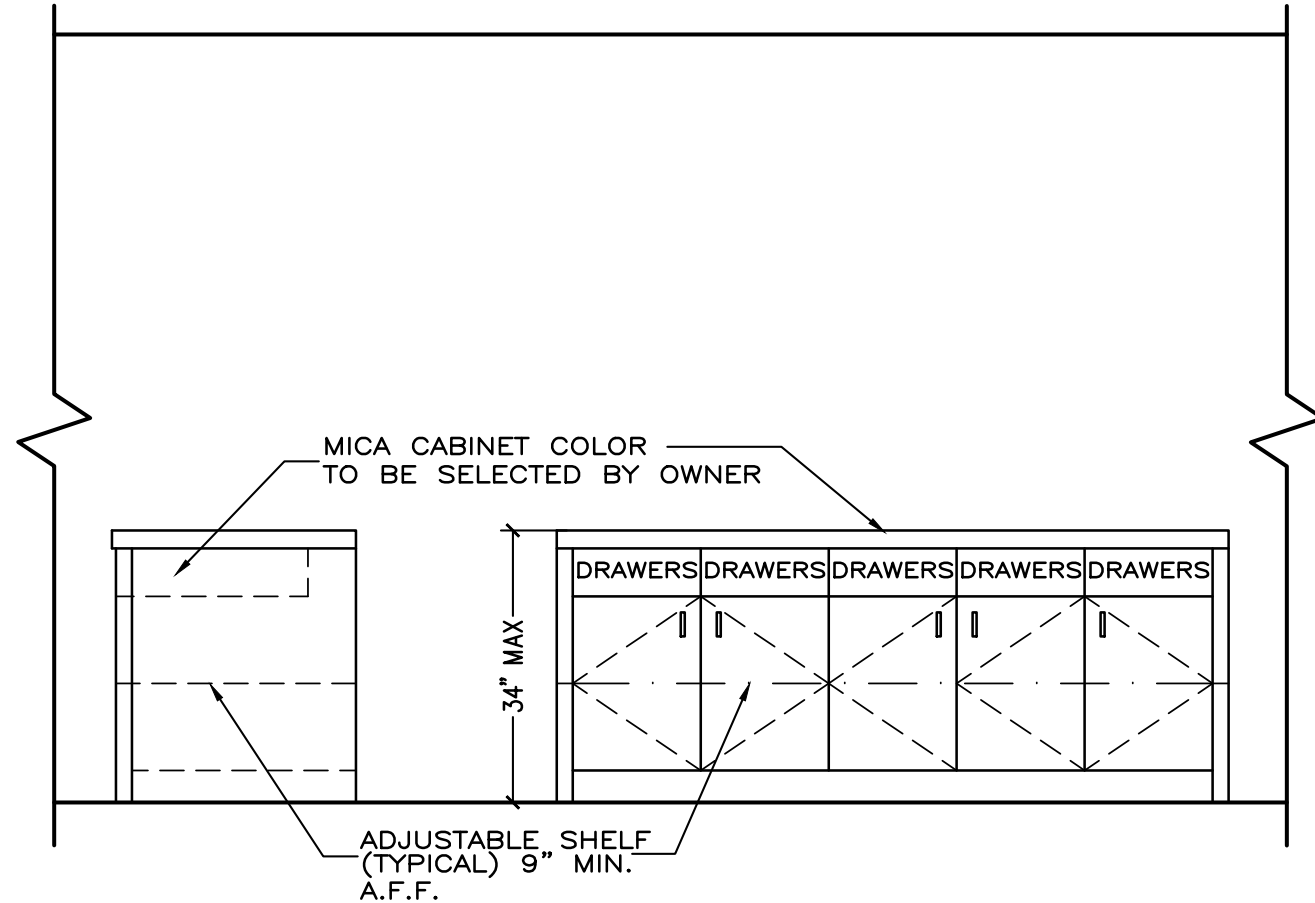
1 LOUNGE INT. ELEVATION
SCALE: 1/2" = 1'-0"



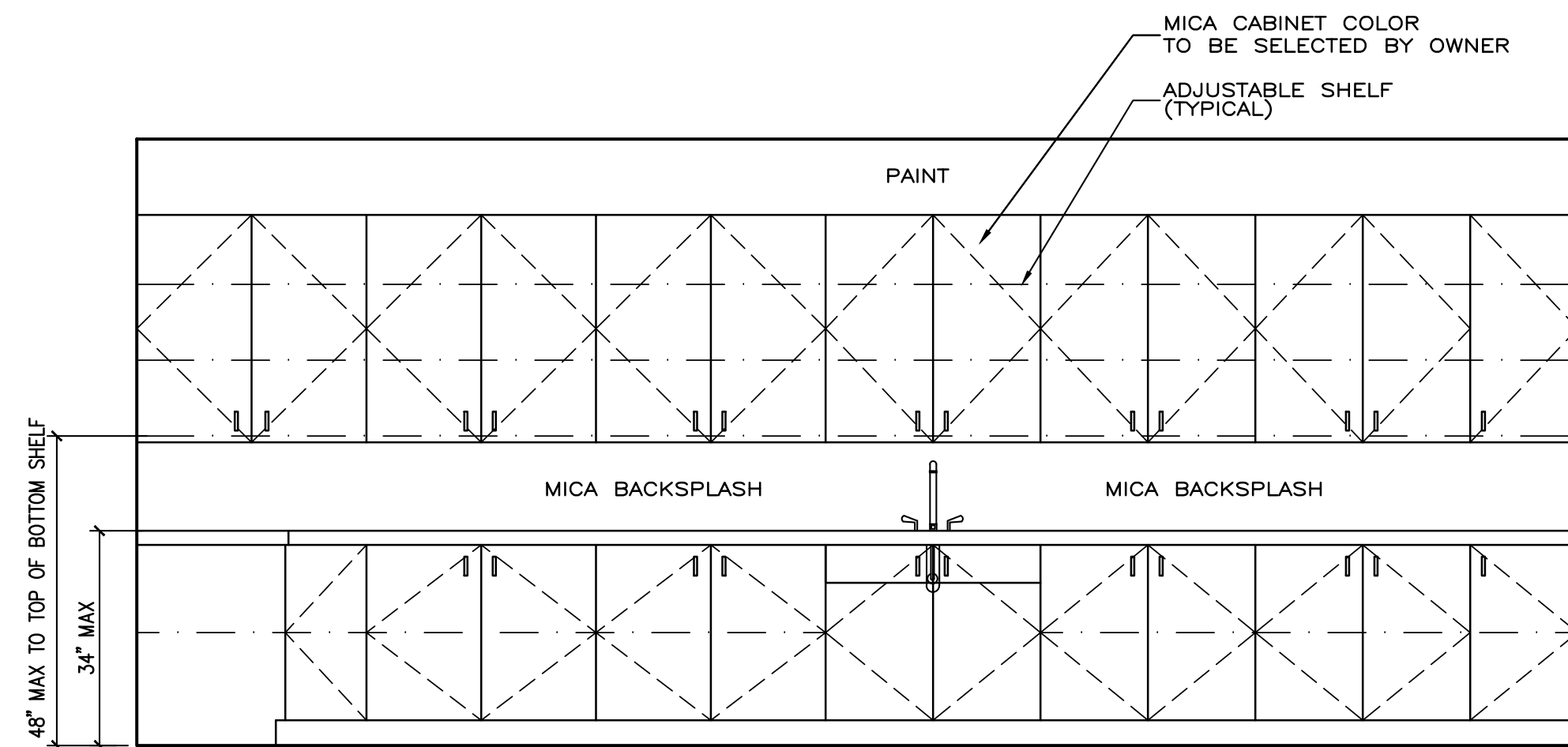
23 CORRIDOR INTERIOR ELEVATION (TYP.)
SCALE: 1/2" = 1'-0"



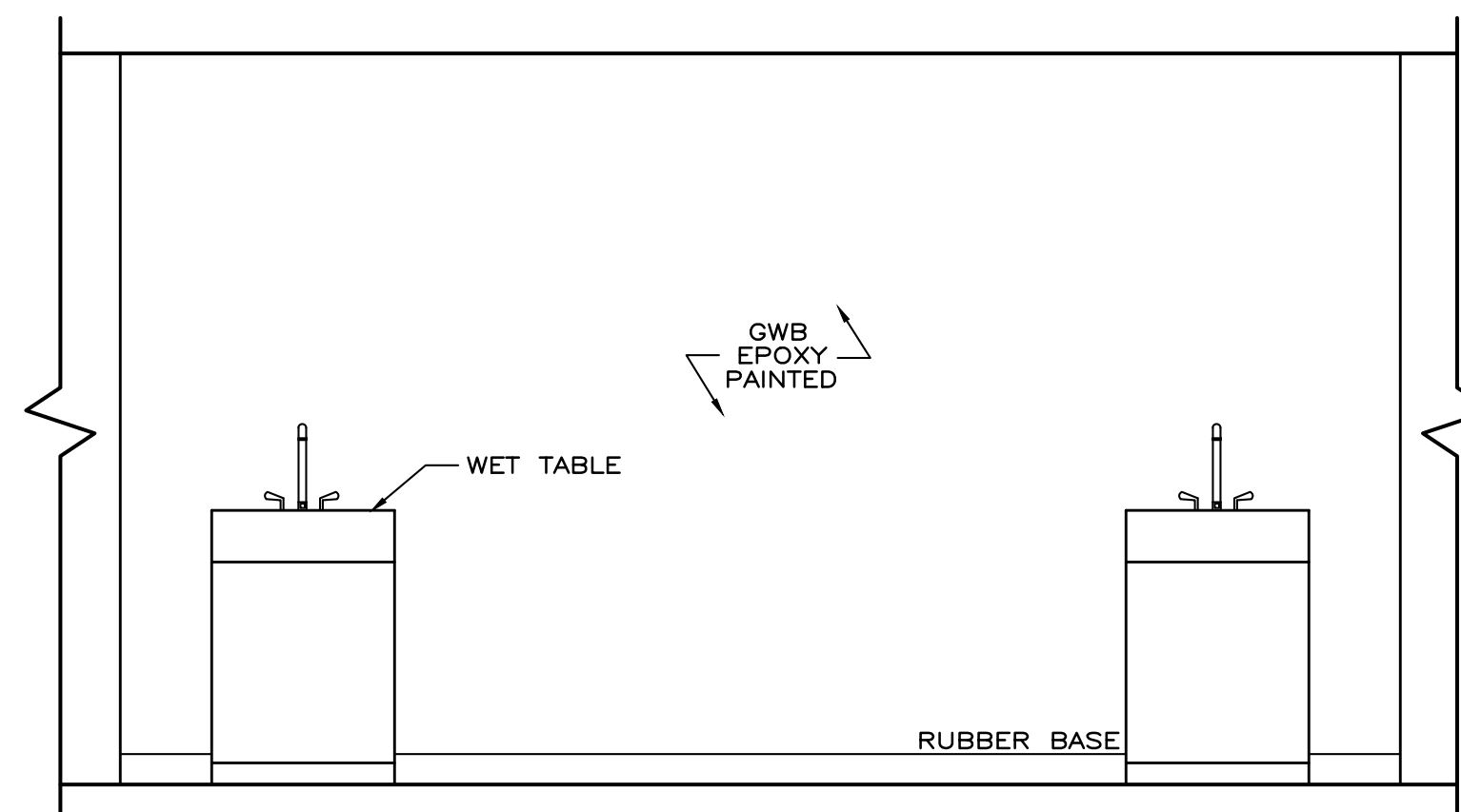
22 DENTAL INTERIOR ELEVATION (TYP.)
SCALE: 1/2" = 1'-0"



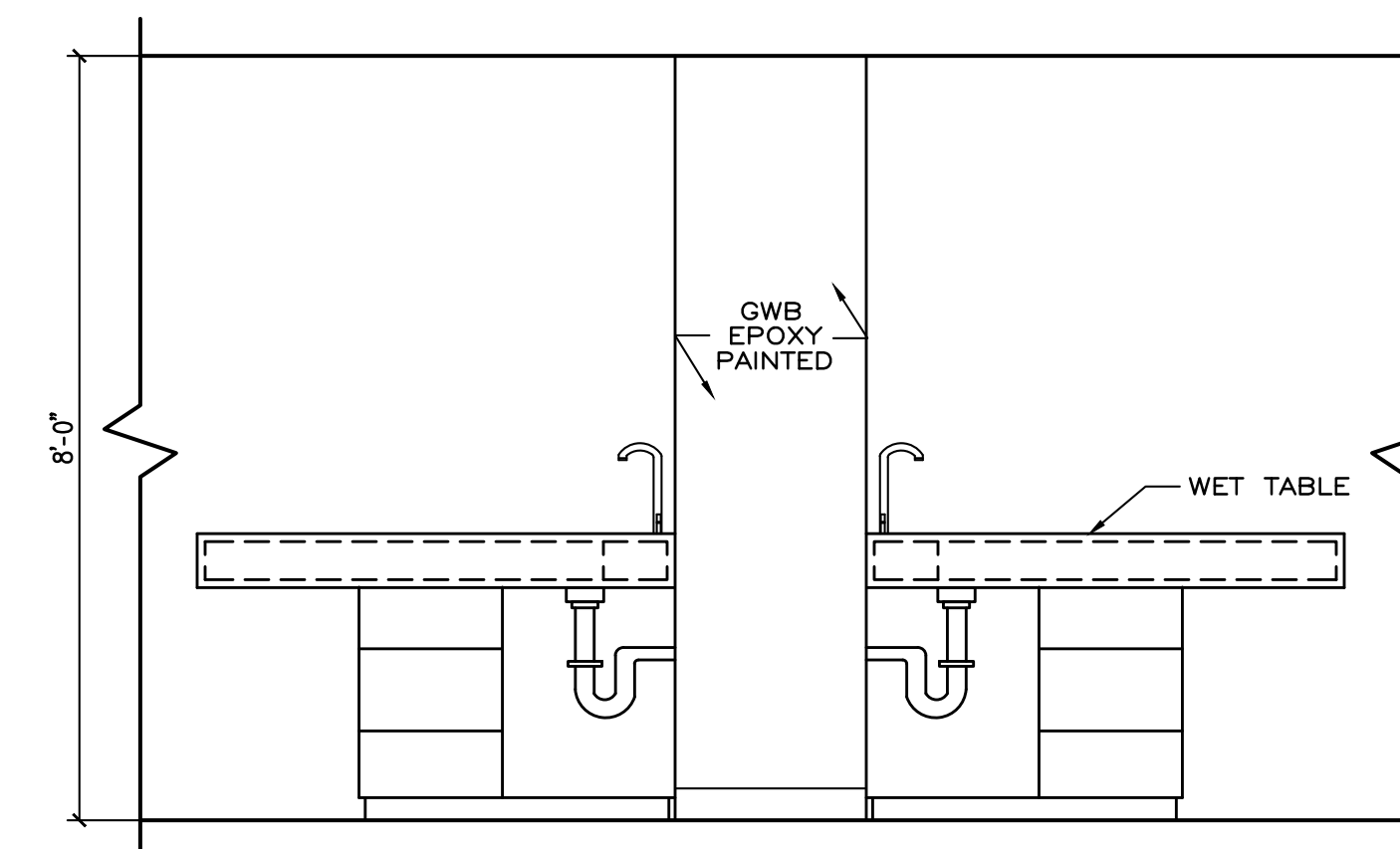
21 20 CENTER COUNTER INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



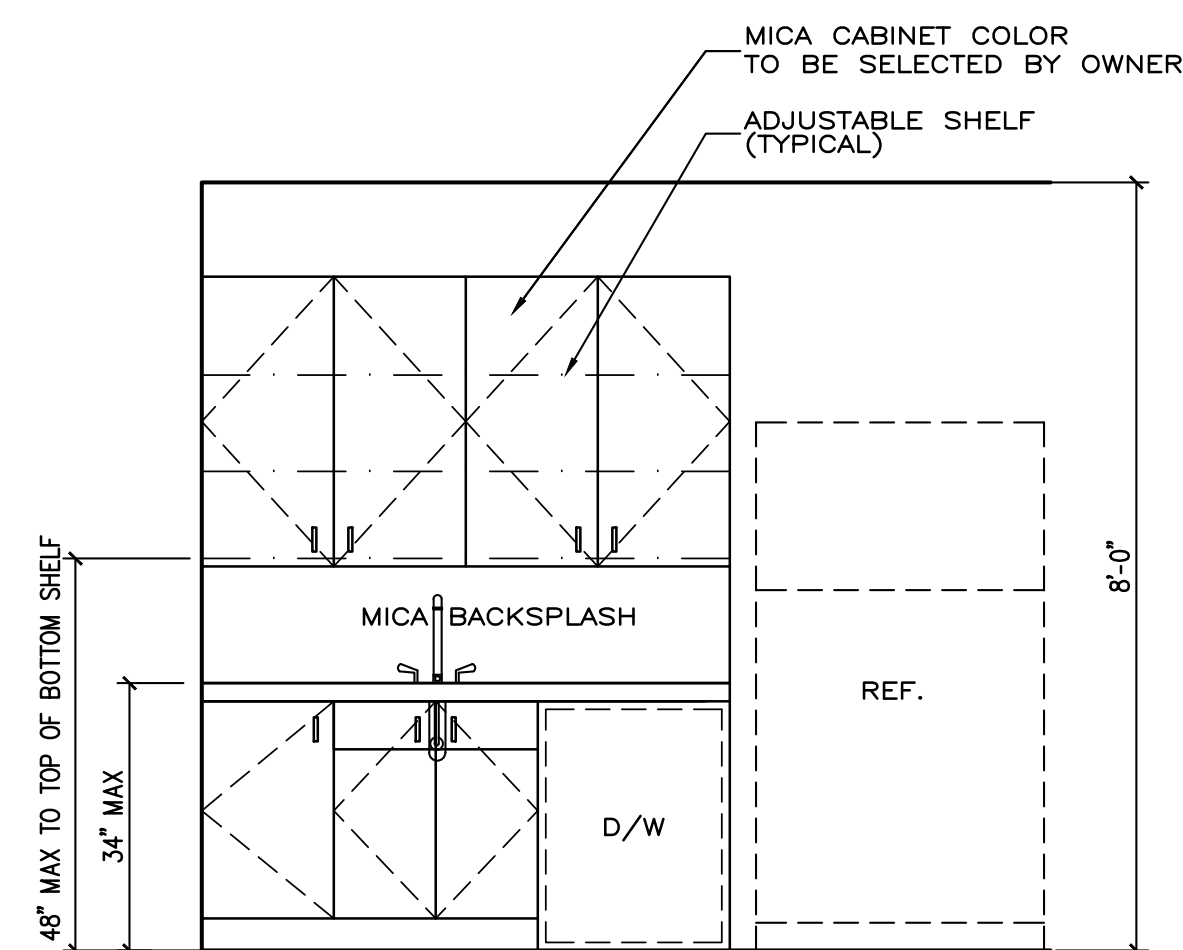
19 PROCEDURE ROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



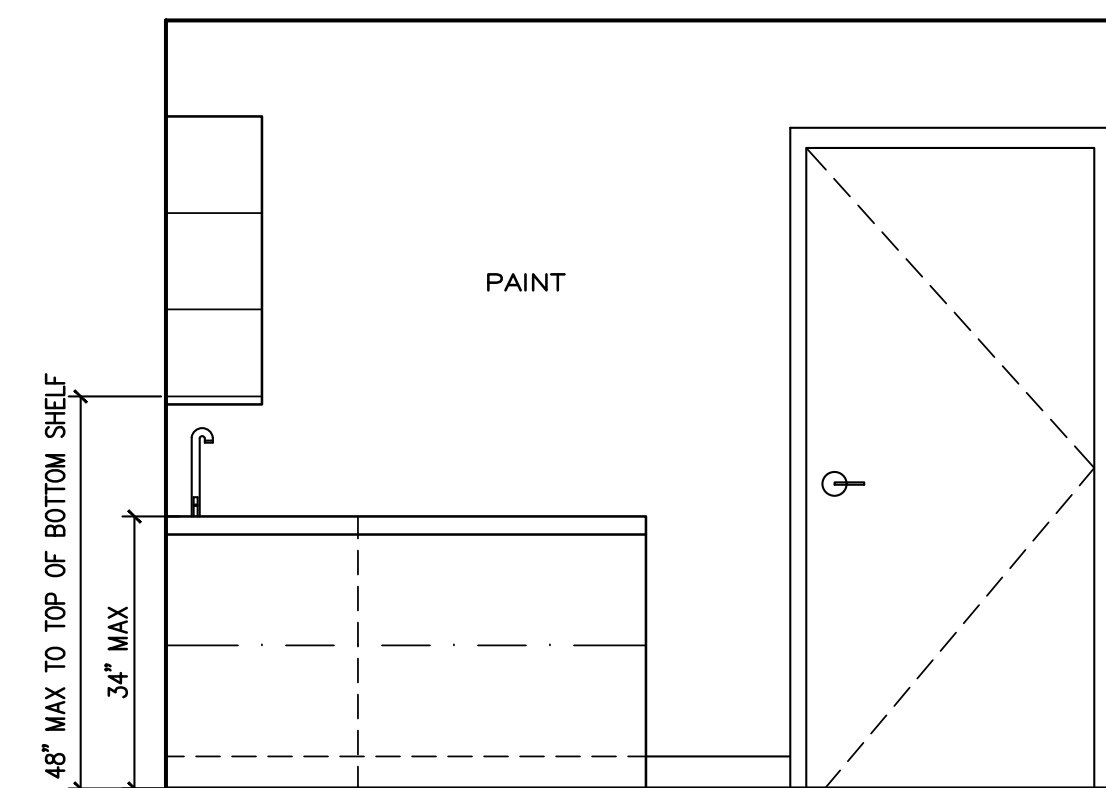
18 PROCEDURE ROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



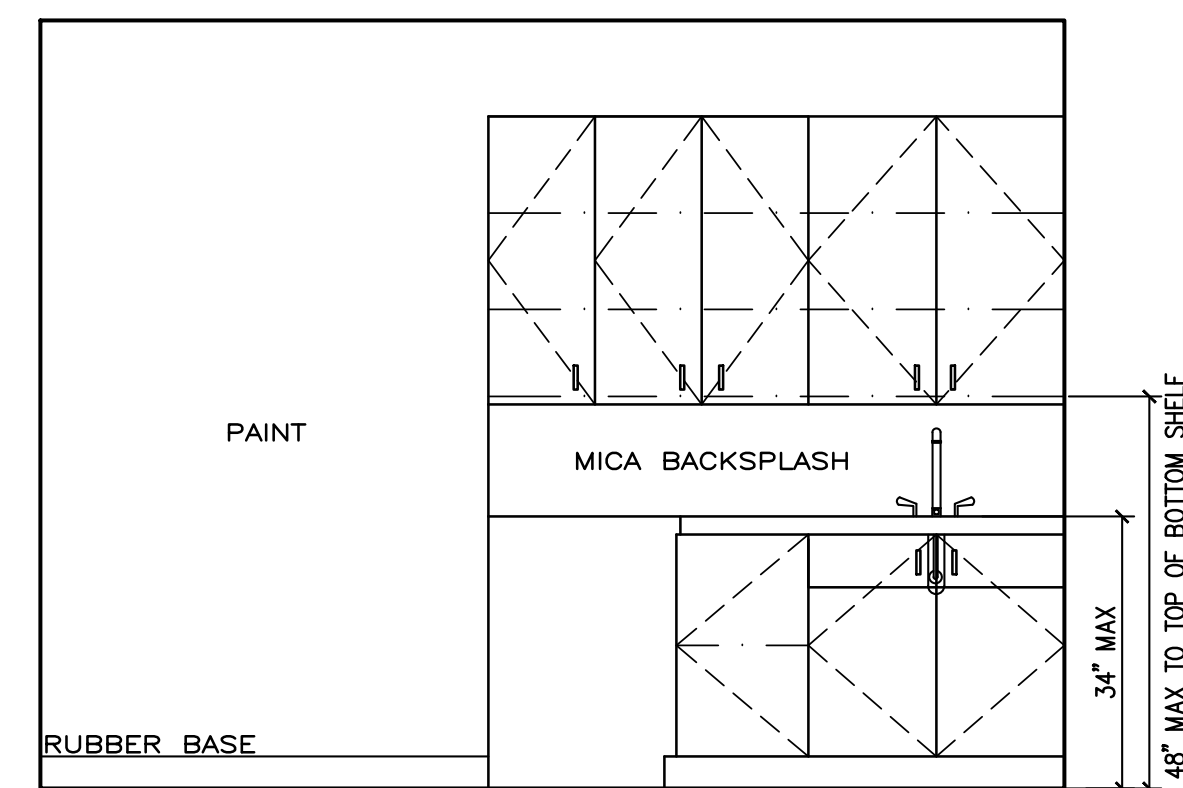
17 PROCEDURE ROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



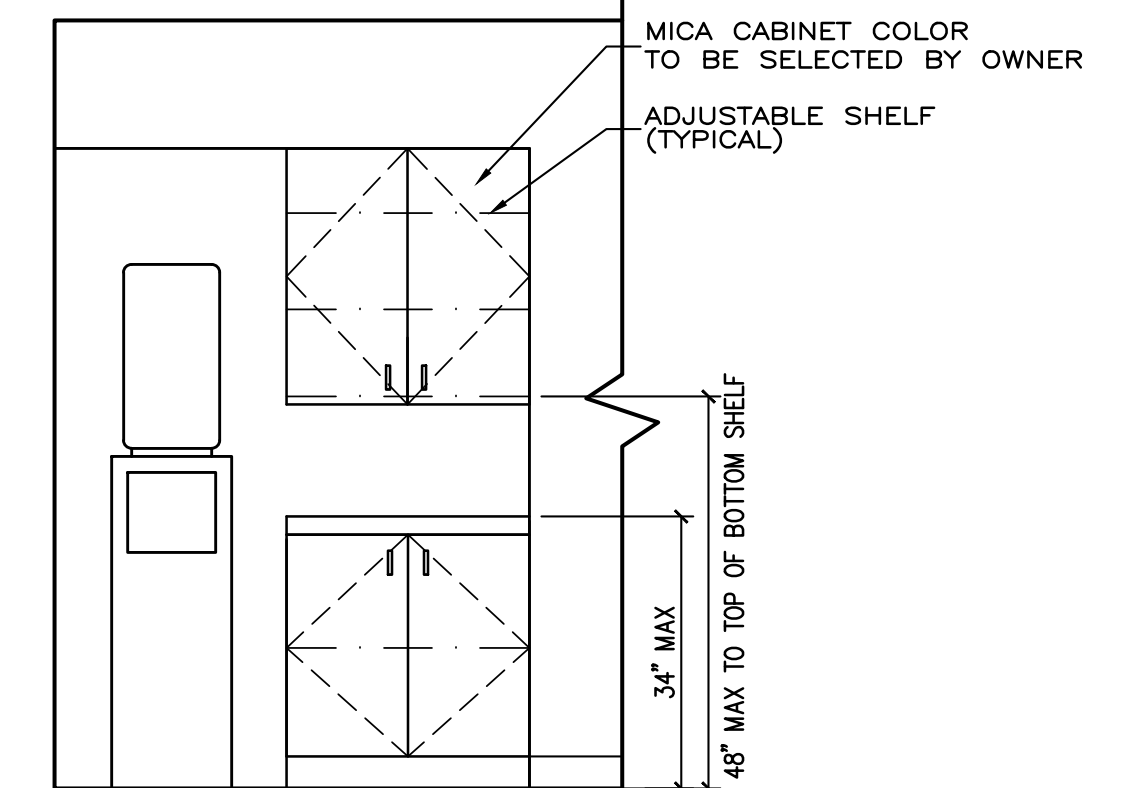
16 GROOMING & FOOD PREP. INT. ELEVATION
SCALE: 1/2" = 1'-0"



15 EXAM 1 INT. ELEVATION (TYP.)
SCALE: 1/2" = 1'-0"



14 EXAM 1 INT. ELEVATION (TYP.)
SCALE: 1/2" = 1'-0"



13 CORR. COUNTER ELEVATION
SCALE: 1/2" = 1'-0"

REVISIONS



JSA GROUP INC.
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924
AR-0015751/AA0003560/ID-0002171 julio@jsagroup.net

PROPOSED VETERINARIAN CLINIC
NEIGHBORHOOD VETERINARIAN CLINIC
26 S.W. 4th AVENUE
HALLANDALE, FL.

20-001

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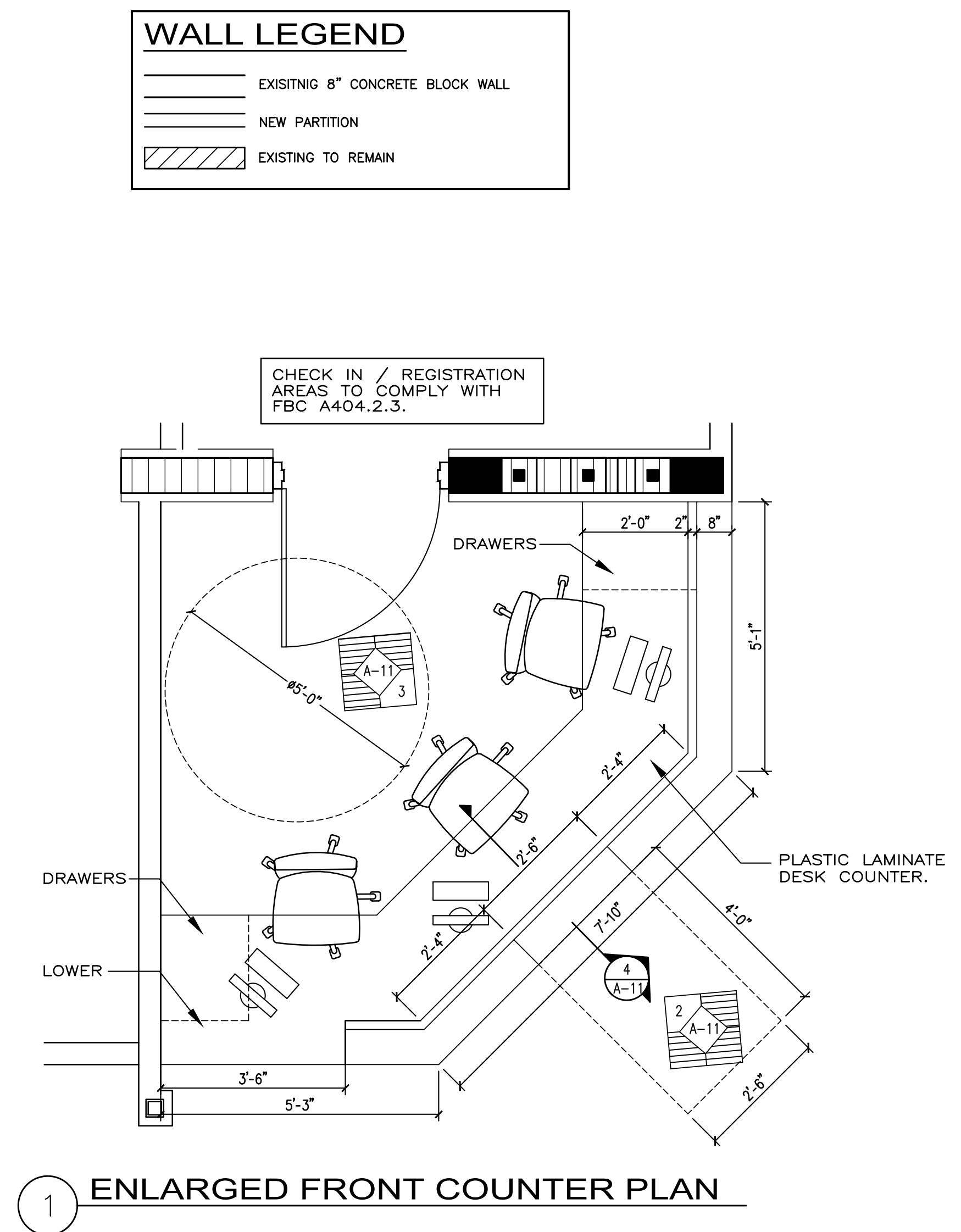
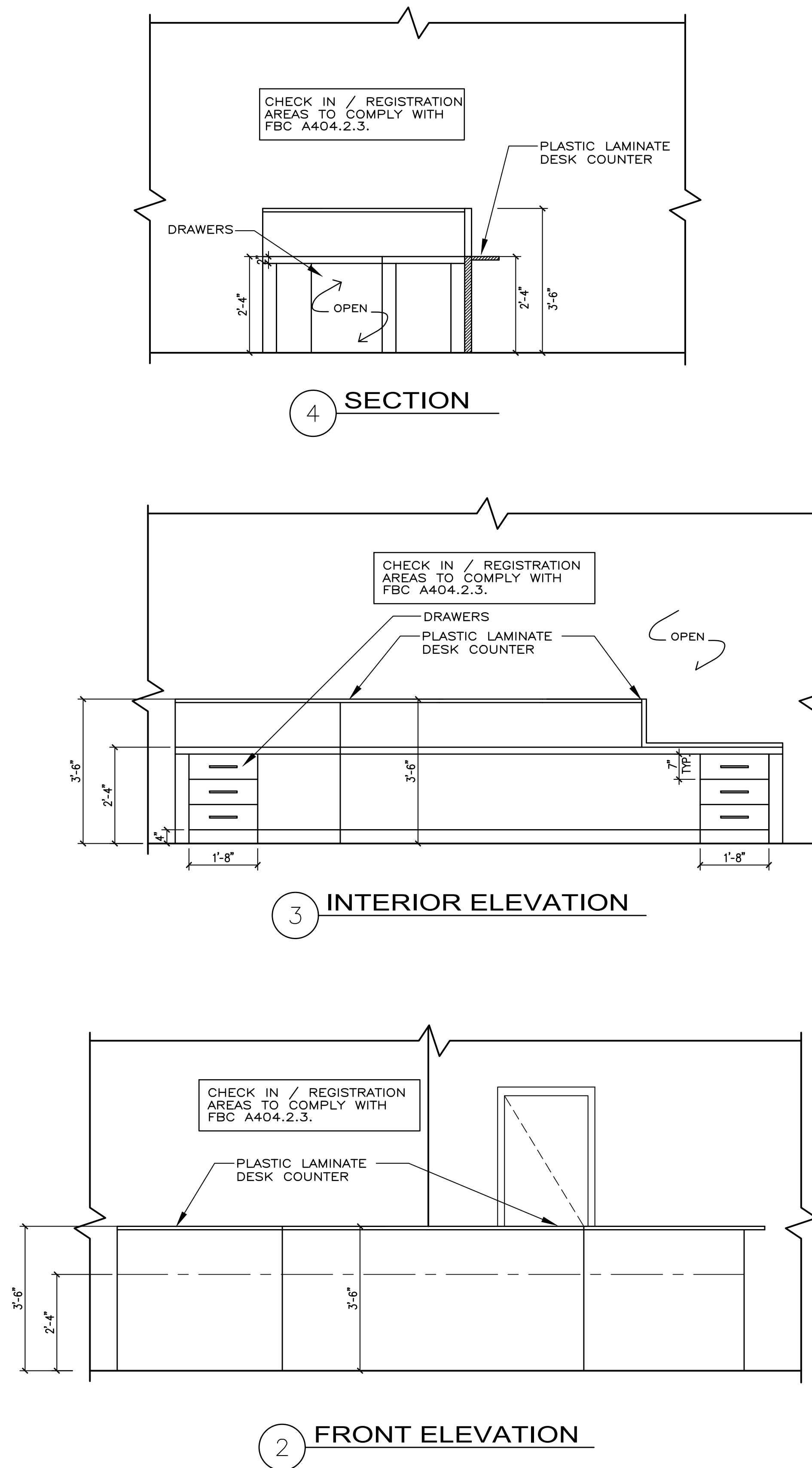
MAY 2021

SEAL

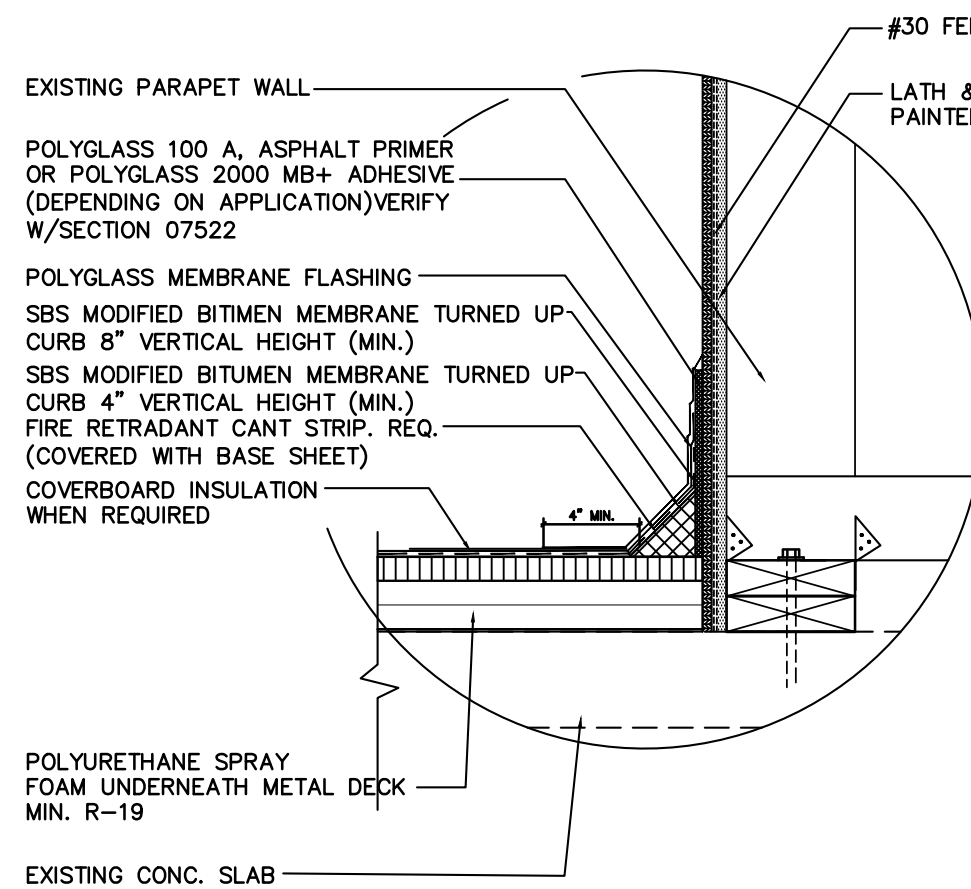
JULIO SANCHEZ
NO. 15751

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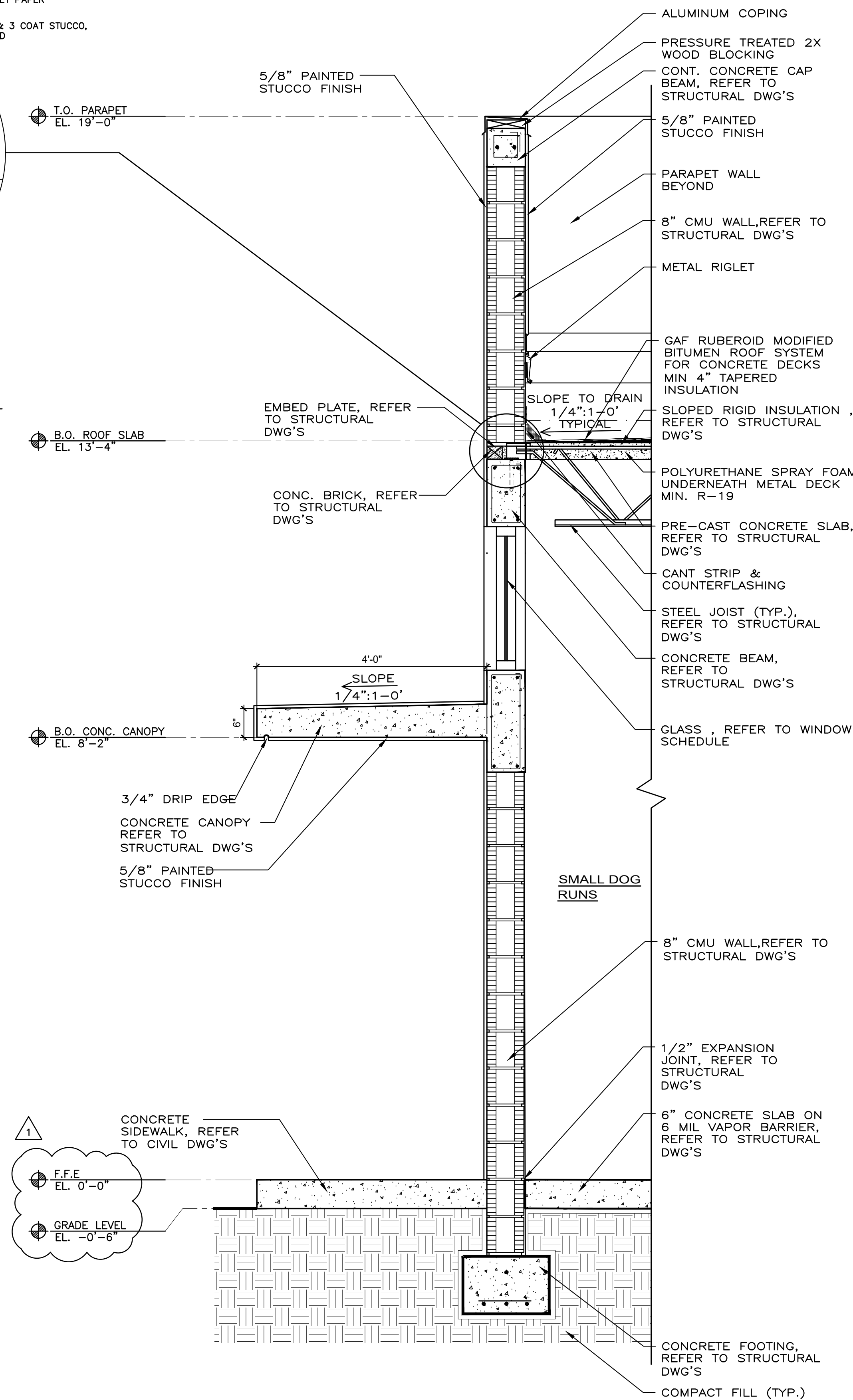
A-10



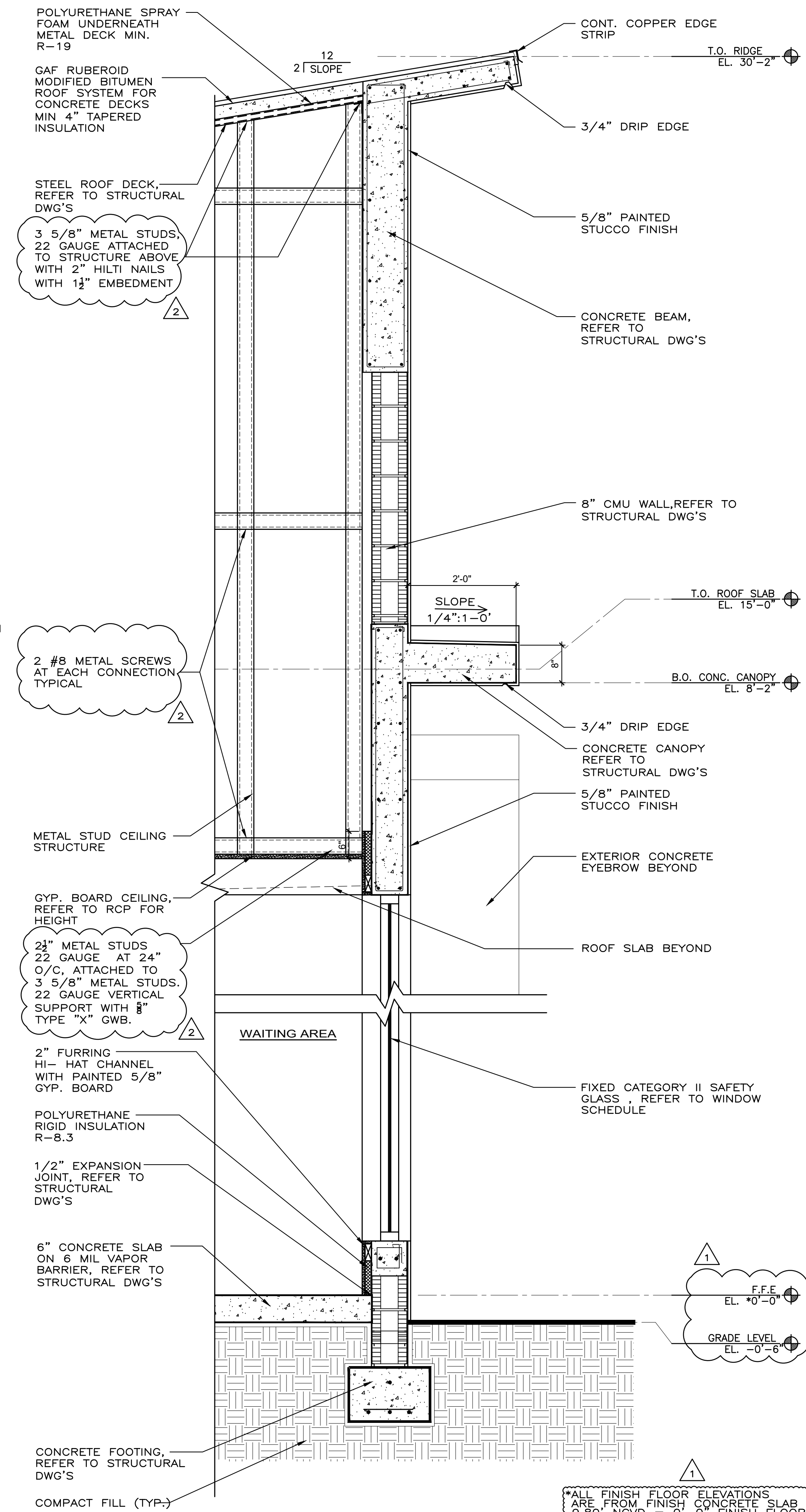
NOTE:
REPAIR EXISTING STUCCO
AND PAINT AS REQUIRED



2.1 DETAIL (TYPICAL)
A-12 SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"



1 WALL SECTION
SCALE: 3/4" = 1'-0"

REVISIONS

1	MAY 26, 2022
2	OCT. 19, 2022



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A-12

DOOR SCHEDULE													
MARK	DIMENSIONS			DOOR TYPE	LABEL	MATERIALS		DETAILS				REMARKS	NOA & EXP. DATE
	W.	H.	TH.			DOOR	FRAME	THRESHOLD	HEAD	JAMB	SILL		
D1	3'-0"	8'-0"	—	C	—	METAL/IMPACT GLASS	METAL	ALUMINUM			S-1	STOREFRONT DOOR. DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY. IMPACT GLASS.	
D2	3'-0"	8'-0"	—	C	—	METAL/IMPACT GLASS	METAL	ALUMINUM			S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY. IMPACT GLASS.	
D3	3'-0"	7'-0"	1-3/4"	A	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	NOA: NO. 20-0708.03 EXP: 07-16-2025
D4	3'-0"	7'-0"	1-3/4"	A	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	NOA: NO. 20-0708.03 EXP: 07-16-2025
D5	3'-0"	7'-0"	1-3/4"	F	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	IMPACT RESISTANT STOREFRONT	NOA: NO. 20-1005.11 EXP: 05-05-2022
D6	3'-0"	7'-0"	1-3/4"	F	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	IMPACT RESISTANT STOREFRONT	NOA: NO. 20-1005.11 EXP: 05-05-2022
D7	3'-0"	7'-0"	1-3/4"	A	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	NOA: NO. 20-0708.03 EXP: 07-16-2025
D8	10'-0"	8'-6"	—	D	—	WOOD CEDAR	—	—	—	—	—	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	
D9	3'-0"	7'-0"	1-3/4"	A	—	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D10	3'-0"	7'-0"	1-3/4"		C	16GA. STEEL	16GA. STEEL (5-3/4"x2")	ALUMINUM	H-1	J-1	S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	
D11	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D12	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D13	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D14	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D15	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D16	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D17	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D18	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D19	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D20	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D21	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D22	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D23	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D24	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D25	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D26	3'-0"	7'-0"	1-3/4"	E	—	WD/FROSTED GLASS	METAL	—	H-1	J-1	—	CAT. 2 SAFETY GLASS	
D27	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	H-1	J-1	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D28	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SPECIALTY DOOR SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D29	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SPECIALTY DOOR SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D30	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SPECIALTY DOOR SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D31	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SPECIALTY DOOR SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D32	3'-0"	7'-0"	1-3/4"	B	C	WD SOLID CORE	METAL	—	—	—	—	DOUBLE SWING W/ VISION PANEL	
D33	3'-0"	7'-0"	1-3/4"	B	C	WD SOLID CORE	METAL	—	—	—	—	DOUBLE SWING W/ VISION PANEL	
D34	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SPECIALTY DOOR SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D35	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D36	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D37	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D38	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D39	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D40	3'-0"	7'-0"	1-3/4"	B	C	WD SOLID CORE	METAL	—	—	—	—	DOUBLE SWING W/ VISION PANEL	
D41	3'-0"	7'-0"	1-3/4"	B	C	WD SOLID CORE	METAL	—	—	—	—	DOUBLE SWING W/ VISION PANEL	
D42	3'-0"	7'-0"	1-3/4"	A	C	WD SOLID CORE	METAL	—	—	—	—	SEE DETAIL 1/A-8	NOA: NO. 20-0708.03 EXP: 07-16-2025
D43	3'-0"	7'-0"	1-3/4"	A	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	NOA: NO. 20-0708.03 EXP: 07-16-2025
D44	3'-0"	7'-0"	1-3/4"	A	C	METAL	METAL	ALUMINUM	H-1	J-1	S-1	DOOR AND COMPONENTS TO RECEIVE A RUST INHIBITIVE PRIMER FINISH AT FACTORY.	NOA: NO. 20-0708.03 EXP: 07-16-2025

SUBMITTAL NOTE:

CONTRACTOR TO SUMBIT SHOP DRAWINGS (SUBMITTALS) & NOA'S FOR ALL SPECIFICATIONS NOTED ON CONSTRUCTION DOCUMENTS MINIMUM OF (3) COPIES W/SAMPLES.

NOTES:

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FIXED GLASS AND SHALL BE CAT. 2 SAFETY GLASS OR IMPACT GLASS.

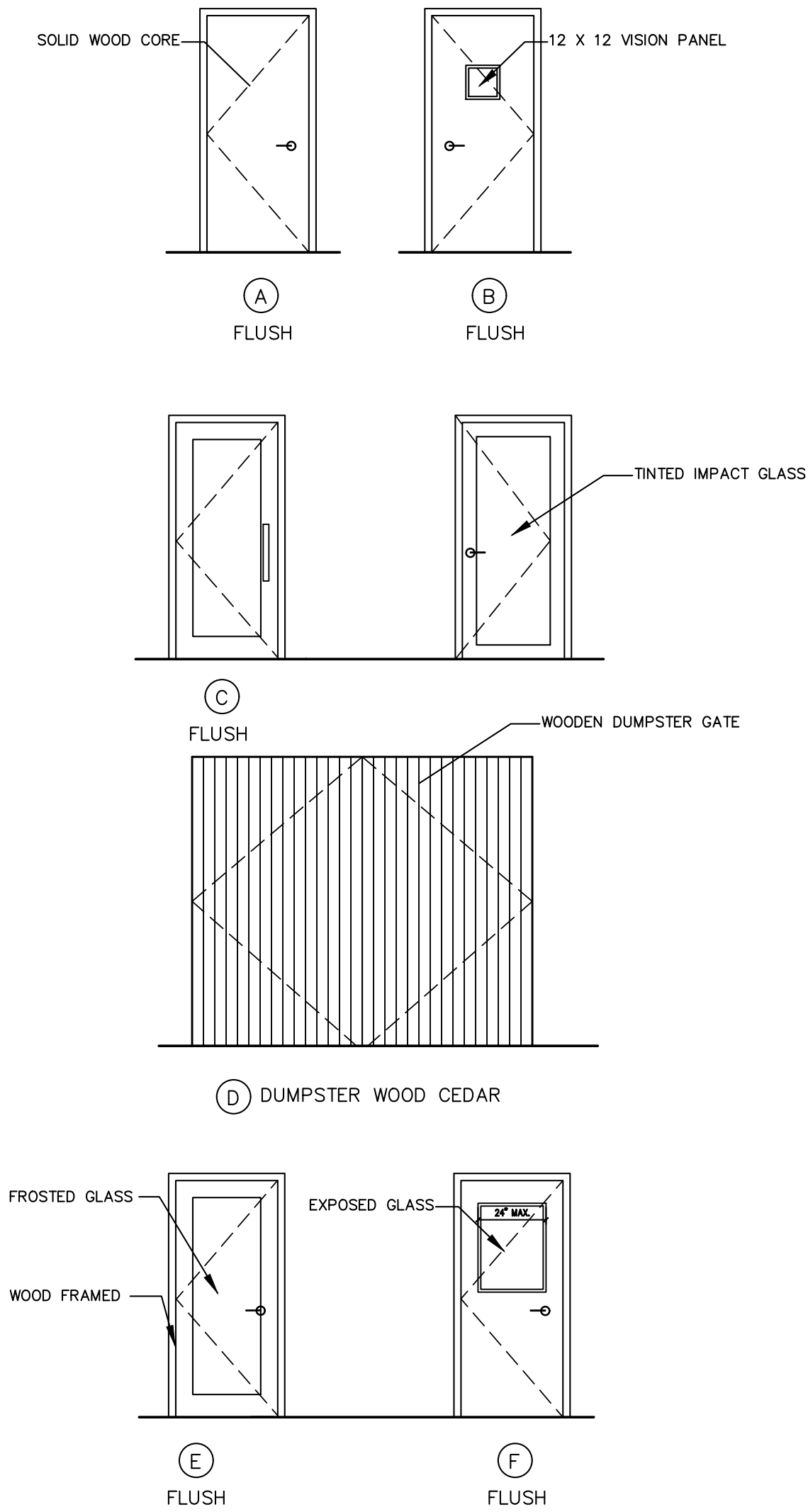
ALL APPLICABLE WINDOWS SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2020 WITH REGARDS TO EGRESS REQUIREMENTS AND MINIMUM CLEAR OPENINGS SIZES.

ALL OTHER GLASS(UNLESS NOTED OTHERWISE) SHALL BE STANDARD GREY TINT 1/8" THICKNESS.

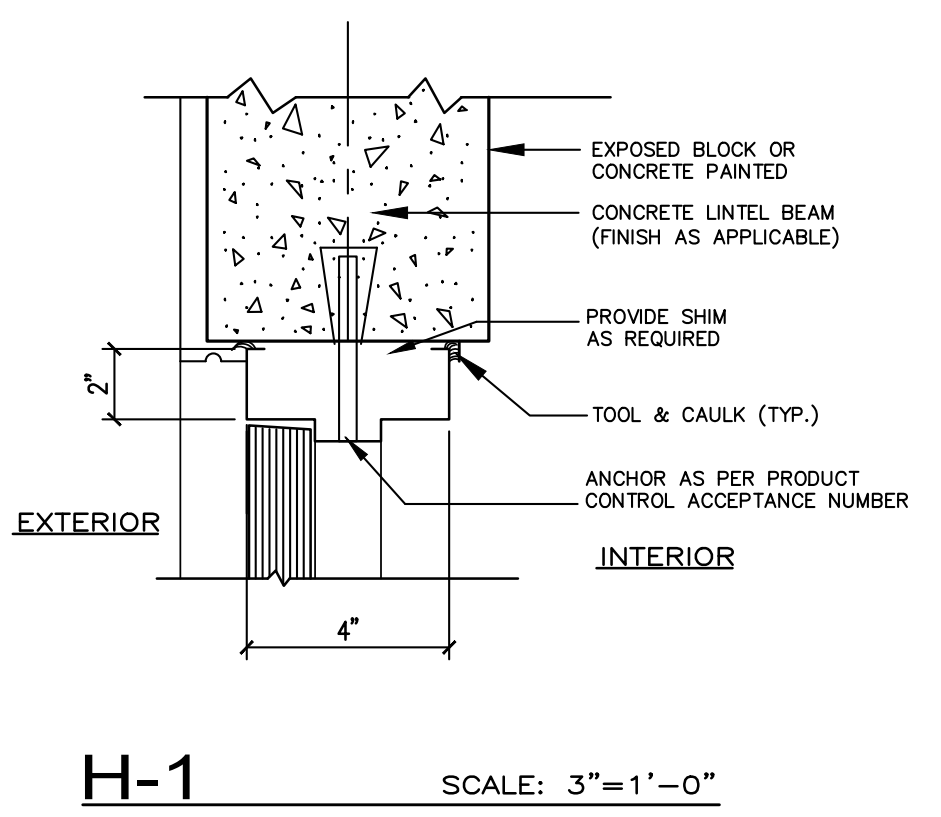
CONTRACTOR TO PROVIDE PRODUCT APPROVAL AND SEPARATE PERMIT FOR WINDOWS AND DOORS.

COORDINATE HARDWARE SETS WITH OWNER. ALL WALLS TO BE PAINTED.

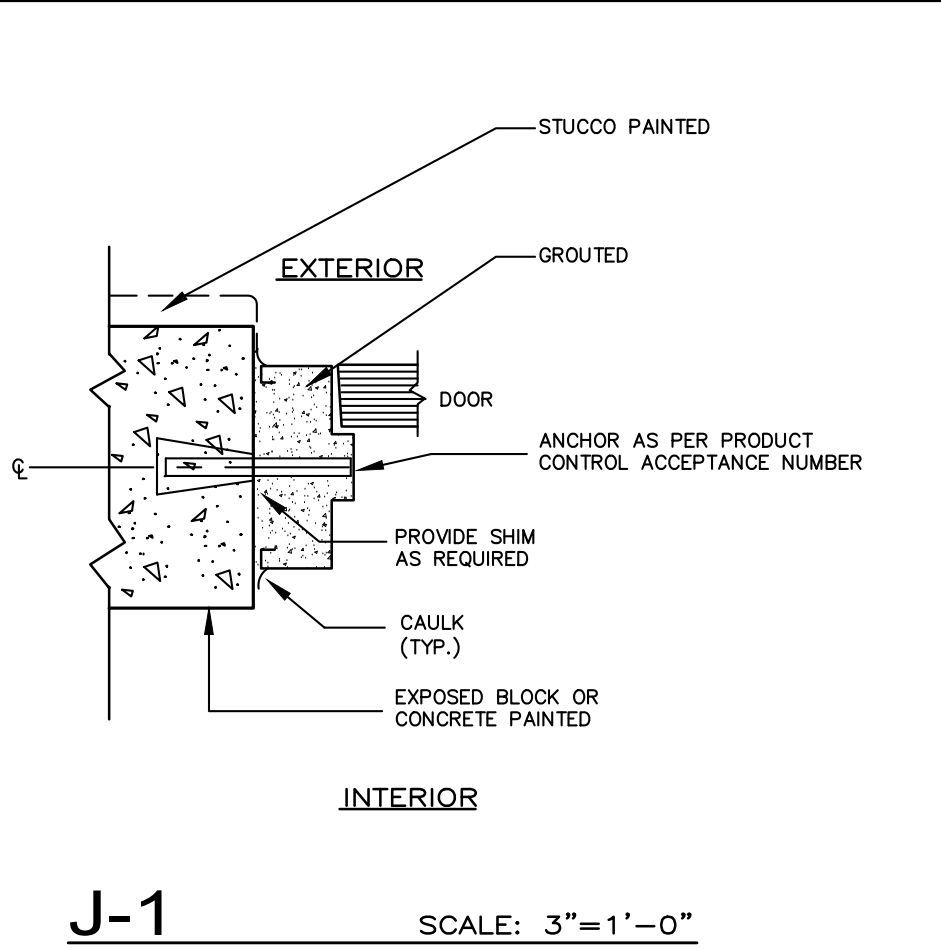
THESE DOCUMENT ARE IN COMPLIANCE WITH THE FBC 2020.



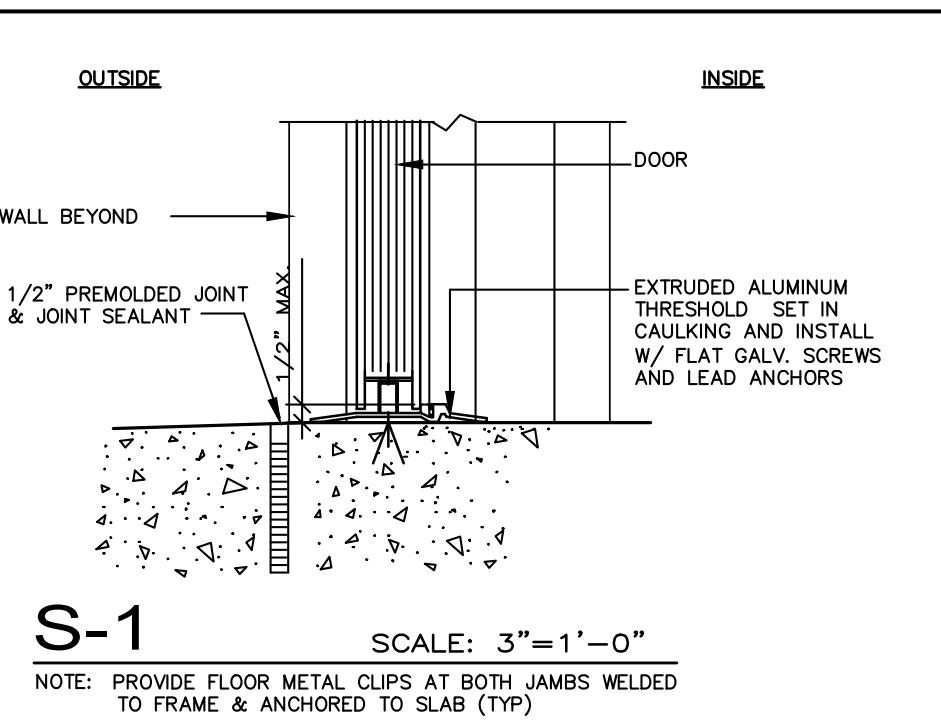
HEADS



JAMBS



SILLS



GENERAL NOTES:

1. ALL EXTERIOR AND INTERIOR DOOR FRAMES TO BE FULLY GROUTED.
2. EXTERIOR DOOR FRAMES TO BE GROUTED WITH CONCRETE OR BLOCK MORTAR.
3. INTERIOR DOOR FRAMES IN STUD PARTITIONS TO BE FILLED WITH GYPSUM BASE COAT PLASTER BEFORE INSTALLATION.

REVISIONS

JSA

JSA GROUP INC.

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AR-0015751/ID-0002171 julio@jsagroup.net

PROPOSED VETERINARIAN CLINIC

NEIGHBORHOOD VETERINARIAN CLINIC

26 S.W. 4th AVENUE
HALLANDALE, FL.

20-001

DRAWN BY: JS

MAY 2021

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JULIO SANCHEZ
NO. 15751

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A-13

NOTES:

ALL EXTERIOR DOORS AND WINDOWS SHALL BE IMPACT RESISTANT.
ALL APPLICABLE WINDOWS SHALL COMPLY WITH FLORIDA BLDG. CODE 2020 WITH REGARDS TO EGRESS REQUIREMENTS AND MINIMUM CLEAR OPENING SIZES.
ALL OTHER GLASS (UNLESS NOTED OTHERWISE) SHALL BE STANDARD GREY TINT 1/8" THICKNESS.
CONTRACTOR TO PROVIDE PRODUCT APPROVAL AND SEPARATE PERMIT FOR WINDOWS & DOORS.
COORDINATE HARDWARE SETS W/OWNER.
ALL WALLS TO BE PAINTED.
THESE DOCUMENTS ARE IN COMPLIANCE WITH THE FBC 2020.

NOTE:

G.C. IS TO PROVIDE SPECIFIED WINDOWS & DOORS SHOP DRAWINGS

WINDOW SCHEDULE

MARK	CODE	QUANTITY	TYPE	WIDTH	HEIGHT	REMARKS	DESCRIPTION	LOCATION
A	CUSTOM	2	FIXED GLASS	6'-6"	6'-10"	STOREFRONT/IMPACT GLASS		EXTERIOR
B	CUSTOM	6	FIXED GLASS	4'-9"	6'-0"	STOREFRONT/IMPACT GLASS		EXTERIOR
C	CUSTOM	2	FIXED GLASS	4'-9"	6'-10"	STOREFRONT/IMPACT GLASS		EXTERIOR
D	CUSTOM	4	FIXED GLASS	11'-8"	2'-2"	STOREFRONT/IMPACT GLASS		EXTERIOR
E	CUSTOM	4	FIXED GLASS	4'-9"	6'-6"	STOREFRONT/IMPACT GLASS		EXTERIOR
F	CUSTOM	2	FIXED GLASS	4'-9"	4'-8"	STOREFRONT/IMPACT GLASS		EXTERIOR
G	CUSTOM	2	FIXED GLASS	5'-0"	5'-0"	STOREFRONT/IMPACT GLASS	2'-6" DIAMETER	EXTERIOR
H	CUSTOM	2	FIXED GLASS	9'-8"	2'-2"	STOREFRONT/IMPACT GLASS		EXTERIOR

WINDOW NOTES:

ALL APPLICABLE WINDOWS SHALL COMPLY WITH FLORIDA BUILDING CODE 2010 WITH REGARDS TO EGRESS REQUIREMENTS AND MINIMUM CLEAR OPENING SIZES.
ALL FIXED GLASS SHALL CAT 2 SAFETY GLASS.
ALL OTHER GLASS (UNLESS NOTED OTHERWISE) SHALL BE STANDARD GREY TINT.

SUBMITTAL NOTE:

CONTRACTOR TO SUBMIT SHOP DRAWINGS (SUBMITTALS) & NOA'S FOR ALL SPECIFICATIONS NOTED ON CONSTRUCTION DOCUMENTS MINIMUM OF (3) COPIES W/SAMPLES.

WINDOW DETAILS

EXTERIOR

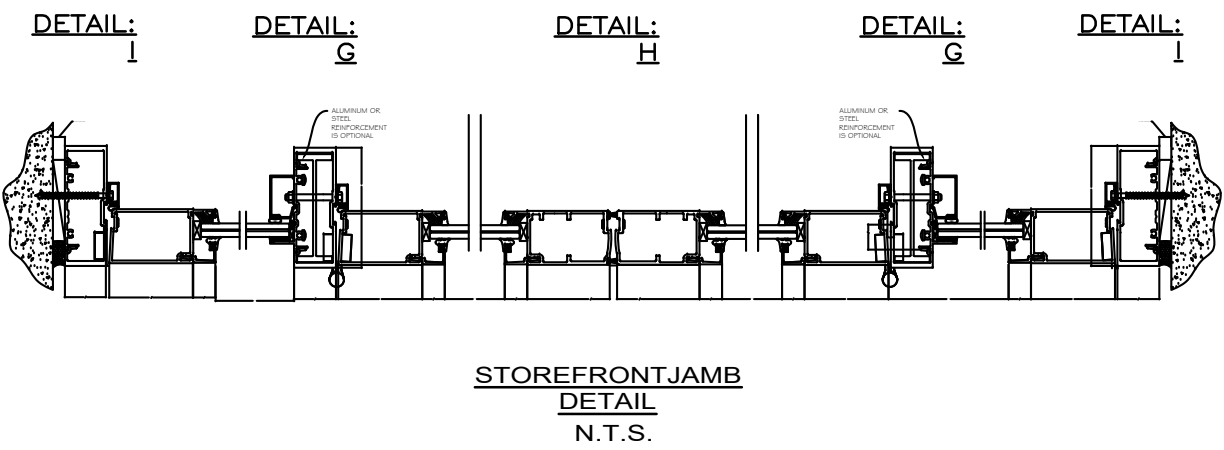
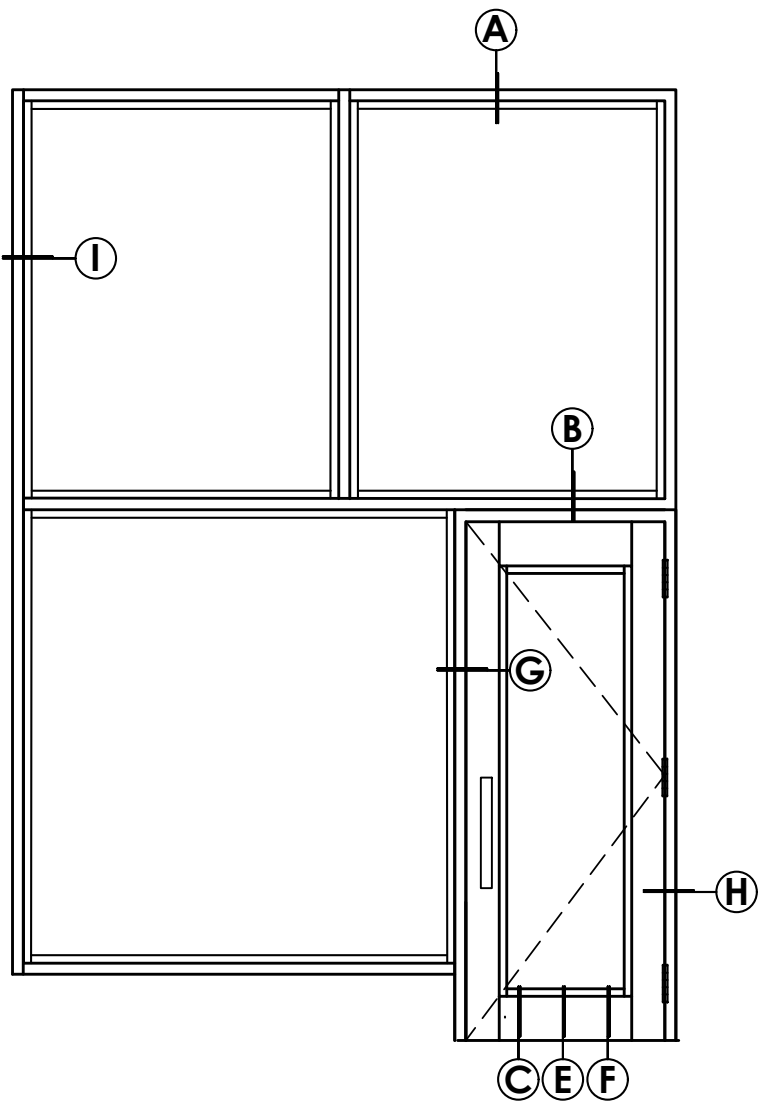
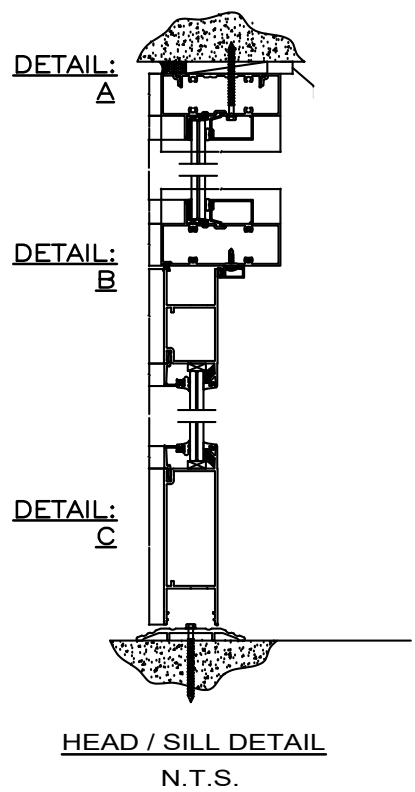
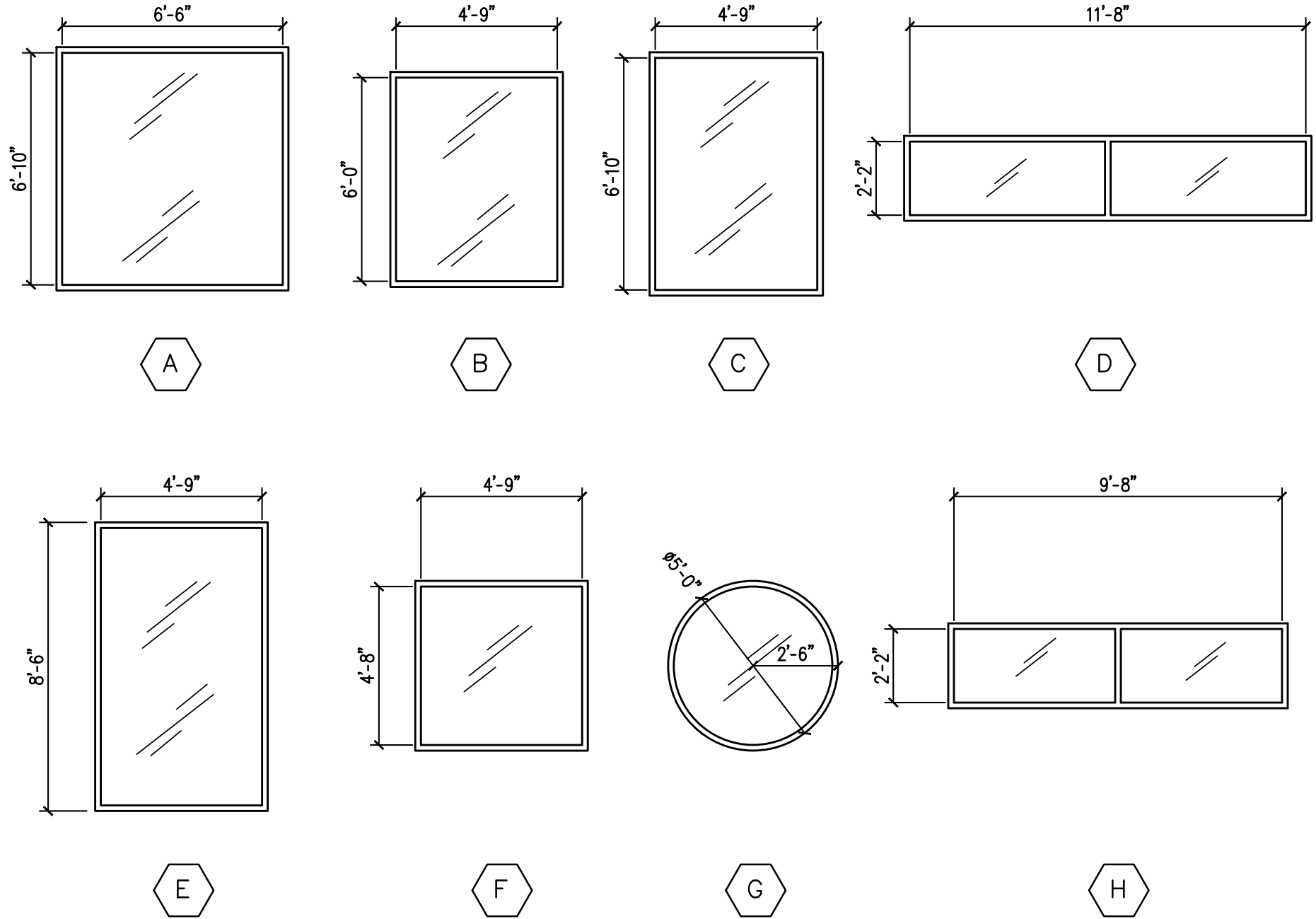
EXTERIOR

JAMB DETAIL

HEAD DETAIL

SILL DETAIL

HEAD DETAIL



TYPE A

TYPE: STOREFRONT DOOR
MATERIAL: ALLUMINUM
FINISH: TO MATCH EXISTING
USE: EXTERIOR

REVISIONS



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JANUARY 2021

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INTERIOR WALL SECTION (TYPICAL)

SCALE: 3/4" = 1'-0"

A
A-9

**INTERIOR WALL
SECTION AT WINDOW (TYPICAL)**

SCALE: 3/4"=1'-0"

(B)
A-9

INTERIOR WALL SECTION AT WINDOW

SCALE: $\frac{3}{4}" = 1' - 0"$

C
A-9



20-001

DRAWN BY: JS

MAY 2021

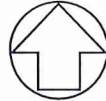
SEAL

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NO. 15751

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A-15

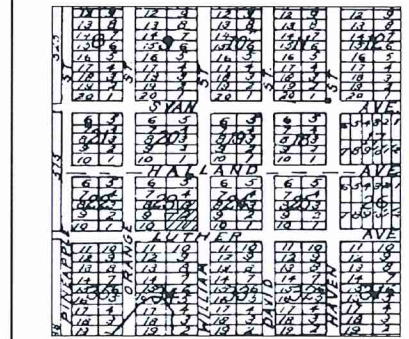
MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY



NORTH
SCALE: 1"=20'

suarez surveying & mapping, inc.
15190 SW 136th Street, Suite 20, Miami, Florida 33196
Tel: 305.596.1799 Fax: 305.596.1886
www.suarezsurveying.com

PLAT IMAGE:
NOT TO SCALE

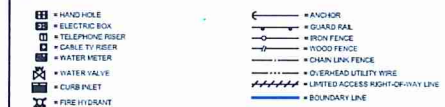


LEGEND

ABBREVIATIONS:

A = ARC DISTANCE
AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
CB = CATCH BASIN
CHB = CHORD BEARING
CMB = CURB & CUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
CONC = CONCRETE
DE = DRAINAGE EASEMENT
DNE = DRAINAGE & MAINTENANCE EASEMENT
DWY = DRIVEWAY
EB = ELECTRIC BOX
ENC = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FF = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FND = FOUND NAIL (NO ID)
FND = FOUND NAIL & DISK
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
LE = LANDSCAPE EASEMENT
LNE = LAKE MAINTENANCE EASEMENT
(M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
ORB = OFFICIAL RECORDS BOOK
OS = OFFSET
(P) = PLAT
PBC = PALM BEACH COUNTY
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAGE
PI = POINT OF INTERSECTION
PK = PARKER KAEHL (SURVEY NAIL)
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
(R) = RECORD
RW = RIGHT OF WAY
RES = RESIDENCE
SIP = SET IRON PIPE
SND = SET NAIL & DISK (PK)
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
UE = UTILITY EASEMENT
W/F = WOOD FENCE
WIDE = WALL MAINTENANCE EASEMENT

SYMBOLS:



SURFACE:



TREE TABLE				
NO	COMMON NAME	DBH (FT)	HEIGHT (FT)	SPREAD (FT)
1	PONTYTAIL PALM	6	15	15
2	OAK	4	35	45
3	PINK TABIBULLIA	0.5	18	8
4	AVOCADO	3	35	45
5	PINK TABIBULLIA	0.7	20	10
6	GUMBO LIMBO	1.2	27	30
7	TABIBULLIA	0.6	20	15
8	AVOCADO	1.5	30	20

ONLY TREES WITH A TRUNK DIAMETER OF 4" OR GREATER MEASURED AT BREAST HEIGHT WERE LOCATED. DBH - DIAMETER AT BREAST HEIGHT

LEGAL DESCRIPTION:
PROPERTY ID: 514228021510
LOT 1, LOT 2 LESS THE WEST 50 FEET OF THE NORTH 13 FEET AND THE EAST 100 FEET OF LOT 3, BLOCK 23, TOWN OF HALLANDALE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B AT PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES:
1. ELEVATIONS WHEN SHOWN REFER TO NORTH AMERICAN VERTICAL DATUM (NAVD 88).
2. NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. IMPROVEMENTS SHOWN HAVE BEEN MEASURED TO THE NEAREST 10TH OF A FOOT. TIES SHOWN HAVE BEEN MEASURED TO THE NEAREST 100TH OF A FOOT.
7. ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 7104.
8. THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY CLIENT OR ITS REPRESENTATIVE.
9. FENCE OWNERSHIP NOT DETERMINED.
10. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN, THE SOUTH LINE OF LOT 1 HAS BEEN ASSIGNED A BEARING OF N 87°54'08" E.
11. TYPE OF SURVEY: BOUNDARY AND TOPOGRAPHIC

DATE OF SURVEY: 08/19/2020
JOB #: 191230166
FILE #: D-1473
PROJECT NAME: SURVEYS 2020
CAD FILE(R): PETT INC.
PARTY CHIEF: KLAUDG
SHEET 1 OF 1

CERTIFIED TO:
PETT INC
JOSE E. BUSTILLO, ESQ., P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE CO.

UPDATE LEGAL DESCRIPTION, BOUNDARY, TOPOGRAPHIC AND TREE SURVEY 04/23/2021 JOB # 210432729
REVISIONS:

BENCHMARK REFERENCE:
BROWARD COUNTY BENCHMARK
BOD BM 3342
ELEVATION: 8.522 NGVD29 6.97 NAVD88
STIR: 27-51-42
SQUARE CUT IN NW CORNER OF CURB AT INTERSECTION HALLANDALE BOH BLVD & NE 3 AVE.
B.M. FOUND 4-6-2000
FOUND GOOD 12-18-2006

PROPERTY ADDRESS:
26 SW 4th AVENUE, HALLANDALE BEACH, 33009 FLORIDA
PROPERTY ID: 514228021510

FLOOD ZONE INFORMATION:
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 08/18/14 AND INDEX MAP REVISED ON 08/18/14 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE X BASE FLOOD ELEVATION N/A COMMUNITY NAME & NUMBER HALLANDALE BEACH 12511Q MAP & PANEL NUMBER 12011C0232 SUFFIX H

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 53-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE ATTESTING REGISTERED SURVEYOR AND MAPPER



Juan A. Suarez,
License No. 156220
JUAN A. SUAREZ
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6220