

ATLANTIC VILLAGE IV

800 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

Exhibit 8



SYNALOVSKI ROMANIK SAYE
Architecture • Planning • Interior Design

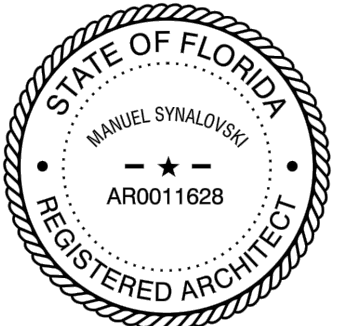
1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316

T 954.961.6806
F 954.961.6807

www.synalovski.com

Manuel Synalovski, AIA
AR 0011628

SEAL



LICENSE NO. AA26001863



ATLANTIC VILLAGE IV

800 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 4, LLC.

[illegible]

DESIGN
DELIVERABLE:
ISSUE DATE: 12/17/2021

PROJECT NUMBER: 1651-210510

DRAWN BY: JS
CHECKED BY: MS

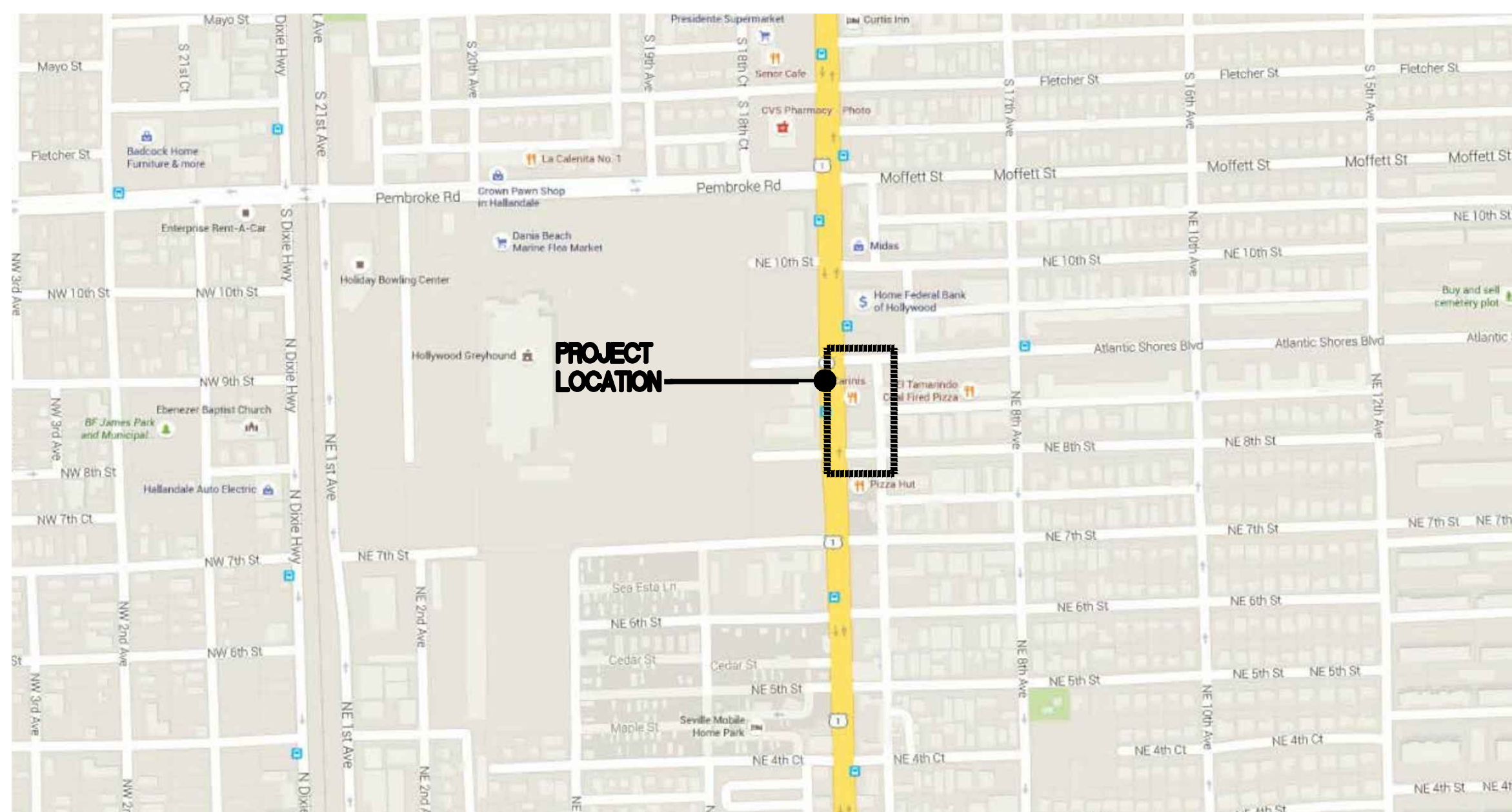
Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC
All Rights Reserved.

SHEET TITLE:

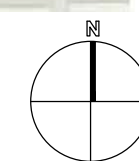
COVER SHEET

SHEET NUMBER:

T-001



LOCATION MAP
N.T.S.



ARCHITECT

SYNALOVSKI ROMANIK SAYE, LLC.

1800 ELLER DRIVE, SUITE 500
FORT LAUDERDALE, FL 33316
PH: 954-961-6806 FAX: 954-961-6807

LANDSCAPE ARCHITECT

BARRANCO, RLA INC.

**888 S ANDREWS AVENUE. SUITE 300
FORT LAUDERDALE, FL 33316
PH:954-667-7814**

CIVIL ENGINEER

FLYNN ENGINEERING SERVICES

241 COMMERCIAL BLVD
LAUDERDALE BY THE SEA, FL.33308
PH:954-522-1004 FAX:954-522-7630

OWNER / DEVELOPER

ATLANTIC VILLAGE 4, LLC.

801 N. FEDERAL HIGHWAY, SUITE 221
HALLANDALE BEACH, FL 33009
PH: 954-374-9225

TRAFFIC ENGINEER

KIMLEY-HORN

**1920 WEKIVA WAY, SUITE 200.
WEST PALM BEACH, FL 33411
PH: 561-845-0665**

DRAWING INDEX

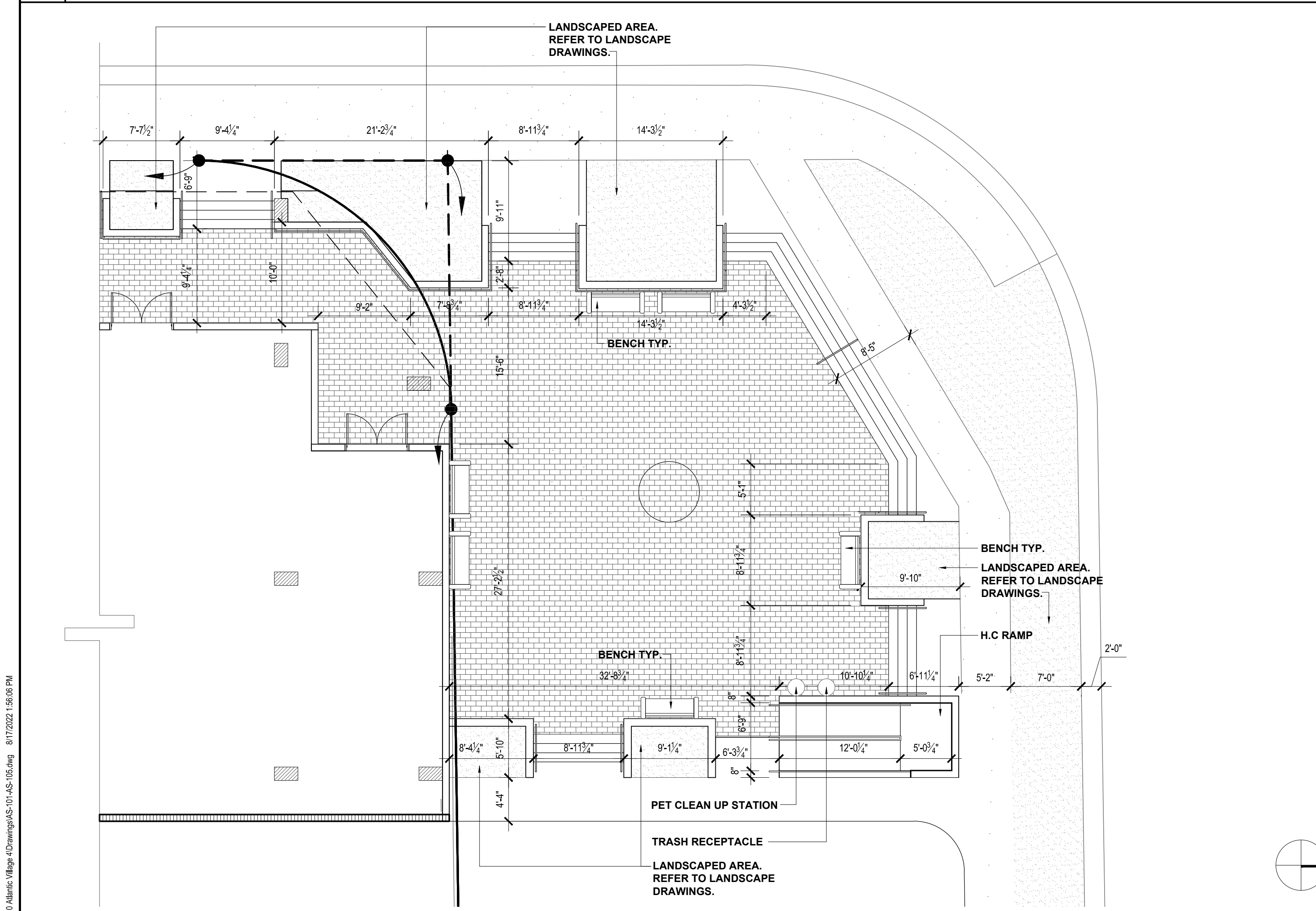
T-001	COVER SHEET
	BOUNDARY SURVEY
AS-001	SITE CALCULATIONS/ CODE INFORMATION
AS-101	SITE PLAN - GROUND FLOOR
AS-102	PARKING LEVEL 2
AS-103	PARKING LEVEL 3-6
AS-104	PARKING LEVEL 7
AS-105	TYPICAL OFFICE FLOOR PLAN
A-201	BUILDING ELEVATIONS
A-601	BUILDING SECTIONS
PH 101	PHOTOMETRIC PLAN GROUND FLOOR
PH 102	PHOTOMETRIC PLANS PARKING GARAGE
L-1	TREE DISPOSITION PLAN
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE DETAILS
	CIVIL COVER SHEET
C1	SIGNING AND MARKING PLAN
C2	PAVING, GRADING AND DRAINAGE PLAN
C3	WATER AND SEWER PLAN
C4	PAVING, GRADING AND DRAINAGE DETAILS
C5	WATER AND SEWER DETAILS
C6	GENERAL NOTES AND SPECIFICATIONS

BUILDING DATA											
BUILDING / STORY	BUILDING USE	GROSS BUILDING AREA	COVERED EXTERIOR COMMON AREA	GARAGE PARKING AREA	NET AREA FOR PARKING CALCULATIONS	PARKING RATIO	OFF-STREET PARKING REQUIRED	OFF-STREET PARKING PROVIDED	R.O.W. PARKING PROVIDED	ADA PARKING	
										REQUIRED	PROVIDED
GROUND FLOOR	RET./ REST.	7,745 S.F.	3,008 S.F.	N/A	7,745 S.F. (GLA)	1/300 S.F	26 SPACES	N/A	FBC ACCESS. TABLE 208.2		
	COMMON/ SERVICE AREA	4,672 S.F.	N/A	N/A	N/A	N/A	N/A	N/A			
	GARAGE	N/A	N/A	4,033 S.F.	N/A	N/A	N/A	7 SPACES			
SECOND FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	42 SPACES			
THIRD FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES			
FOURTH FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES			
FIFTH FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES			
SIXTH FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES			
SEVENTH FLOOR	GARAGE	N/A	N/A	14,189 S.F.	N/A	N/A	N/A	34 SPACES			
EIGHTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
NINTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
TENTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
ELEVENTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
TWELFTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
TOTAL		105,152 S.F.	3,008 S.F.	125,602 S.F.	99,075 S.F.		331 SPACES	(*) 298 SPACES	2 SPACES	7 SPACES	7 SPACES

NOTES:
(*) REQUEST FOR REDUCTION OF 33 SPACES PER SEC. 32-455(c)(1), EQUAL OR LESS THAN 10% OF TOTAL REQUIRED PARKING.
1 "TYPE I" (12' X 30') LOADING ZONE REQUIRED PER TABLE 32-203(b). (RAM)

2

BUILDING AREA/ PARKING CALCULATIONS



3

ENLARGED FLOOR PLAN - CITY ROW PLAZA
SCALE: 1/8" = 1'-0"

RAC CORRIDOR / DESIGN SUBDISTRICT REQUIREMENTS TABLE 32-195(a)		
	REQUIRED	PROVIDED
LOT WIDTH	50' MIN.	208'-10"
LOT AREA	5,000 S.F. MIN./ 100,000 S.F. MAX.	22,948 S.F.
LOT COVERAGE	95% MAX.	94.45%
LANDSCAPE AREA	5% MIN.	5.55%
FEDERAL HWY. SETBACK	15' MIN. / 20' MAX.	13'-1"
PRIMARY STREET SETBACK	10' MIN. / 15' MAX.	ATLANTIC SHORES BLVD. 0'-3" (RAM)
SECONDARY STREET SETBACK	10' MIN.	NE 8TH ST. 0'-8" (RAM)
STREET SETBACK ABOVE THE 5TH STORY	20' MIN.	N. FEDERAL HWY. 0'-1" (RAM) ATL. SHORES BLVD. 0'-3" (RAM)
INTERIOR SIDE SETBACK	0' MIN.	N/A
SIDE SETBACK ABOVE THE 5TH STORY	30' MIN.	N/A
REAR SETBACK	10' MIN.	3'-0" (RAM)
REAR SETBACK ABOVE THE 5TH STORY	30' MIN.	3'-0" (RAM)
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN. / 100% MAX.	FEDERAL HWY. 194'-8" = 93.21%
MIN. HEIGHT PRIMARY STREETS	2 STORIES, OR 1 STORY 20 FT. HIGH	13 STORIES (PER SEC. 32-194)
MAX. BUILDING HEIGHT LIMIT	15 STORIES	13 STORIES (PER SEC. 32-194)
CIVIC OPEN SPACE SITES 40,000 S.F. OR MORE	5%	N/A
CIVIC OPEN SPACE SITES EXCEEDING BASE DENSITY OR BASE HEIGHT	7.5%	(RAM)

DIMENSIONAL REQUIREMENTS FOR STOREFRONTS TABLE 32-201 (f)		
	REQUIRED	PROVIDED
BUILDING SETBACK	VARIABLES BY SUBDISTRICT	SEE ABOVE TABLE 32-195(a)
STOREFRONT WIDTH	70% MIN. / 100% MAX.	FEDERAL HWY. = 93.21%
STOREFRONT BASE	1' MIN. / 3' MAX.	1'-0"
GLAZING HEIGHT	8' MIN.	12'-4"
GLAZING AREA	70% MIN. / 100% MAX.	FEDERAL HWY. = 95.50%
AWNING PROJECTION	3' MIN. / 2' FROM CURB MAX.	N/A
PEDESTRIAN BLADE SIGN PROJECTION	4' MAX.	N/A

DIMENSIONAL REQUIREMENTS FOR ARCADE/ COLONNADES TABLE 32-201 (g)		
	REQUIRED	PROVIDED
BUILDING SETBACK	VARIABLES BY SUBDISTRICT	SEE ABOVE TABLE 32-195(a)
ARCADE/ COLONNADE DEPTH	10' MIN. / 20' MAX.	10'-0"
ARCADE/ COLONNADE HEIGHT	12' MIN.	14'-0"
COLUMN/ PILLAR TO FACE OF CURB	2' MIN. / 4' MAX.	N/A - 11'-2" (PER FDOT AND BROWARD COUNTY R.O.W. REQUIREMENTS)
ARCADE/ COLONNADE SETBACK ENCROACHMENT	VARIABLES BY STREET	N/A
PEDESTRIAN BLADE SIGN PROJECTION	4' MAX.	N/A

- FIRE DEPARTMENT REQUIREMENTS:
- CONTRACTOR SHALL SUBMIT ALL THE REQUIRED PRODUCT APPROVAL DOCUMENTATION AND SHOP DRAWINGS WITH ARCHITECT'S OR ENGINEER'S OF RECORD APPROVED STAMP TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
 - PROVIDE BUILDING ADDRESS NUMBERS MIN. 6" HIGH TO BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY PER NFPA 1-10.11.1.1. COORDINATE WITH AHJ.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH AHJ AND PROVIDE (2) DEDICATED QUADRUPEX RECEPTACLES TO SERVE AMPLIFIERS, ANTENNAS, TYPICAL FLOOR REPEATERS AND ALL OTHER EQUIPMENT AND COMPONENTS REQUIRED FOR THE FIRE DEPARTMENT RADIO SIGNAL BOOSTER SYSTEM. RUN (2) - 2" EMPTY CONDUITS W/PULL STRING FOR ANTENNAS REPEATERS AND (2) - 2" ADDITIONAL EMPTY CONDUITS W/PULL STRING. EVALUATION AND MAPPING IS TO BE PERFORMED BY A QUALIFIED BDA INSTALLER TO DETERMINE IF A BDA IS REQUIRED WITHIN THE BUILDING. IF NEEDED THE RADIO SIGNAL BOOSTER SYSTEM SHALL BE DESIGNED, FURNISHED AND INSTALLED BY A QUALIFIED BI-DIRECTIONAL AMPLIFIER SYSTEM PROVIDER.

1

SITE INFORMATION / CODE REQUIREMENTS

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, 4, 5, 6, 7 AND 8, LESS THE WESTERLY ONE FOOT, BLOCK 7, ATLANTIC SHORES DIXIE HIGHWAY SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 34, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE INFORMATION:

CURRENT ZONING: TRANSITIONAL MIXED USE SUBDISTRICT

PROPOSED RE-ZONING TO: RAC CORRIDOR SUBDISTRICT

PROPOSED USE: RETAIL / OFFICE / RESTAURANT

UTILITIES:

ELECTRIC - FP & L

WATER AND SEWER - CITY OF HALLANDALE BEACH

SITE CALCULATIONS

TOTAL SITE AREA :	22,948 SQ. FT.	(0.53 ACRES)
3'-0" ROW DEDICATION AREA :	525 SQ. FT.	
SITE AREA AFTER ROW DEDICATION :	22,423 SQ. FT.	(0.51 ACRES)
TOTAL LANDSCAPE AREA :	1,274 SQ. FT.	5.55 %
TOTAL IMPERVIOUS AREA :	21,674 SQ. FT.	94.45 %

LANDSCAPE AREA:

TOTAL PROVIDED:	1,274 SQ. FT.	5.55 %
-----------------	---------------	--------

IMPERVIOUS AREA:

TOTAL PROVIDED:	21,674 SQ. FT.	94.45 %
-----------------	----------------	---------

BLDG. FOOTPRINT/ COVER WALK AREA: 15,510 SQ. FT. 67.59 %

WALKS: 404 SQ. FT. 1.76 %

COVER VEHICULAR USE AREA (V. U. A.): 5,760 SQ. FT. 25.10 %

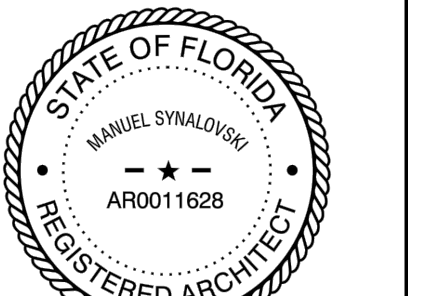
LOCATION MAP





1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.synalovsk.com

Manuel Synalovski, AIA
AR 0011628
SEAL



LICENSE NO. AA26001863

ATLANTIC VILLAGE IV

800 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 4, LLC.

[illegible]

DESIGN
DELIVERABLE:
ISSUE DATE: 12/17/2021

PROJECT NUMBER: 1651-210510

DRAWN BY: JS

CHECKED BY: MS

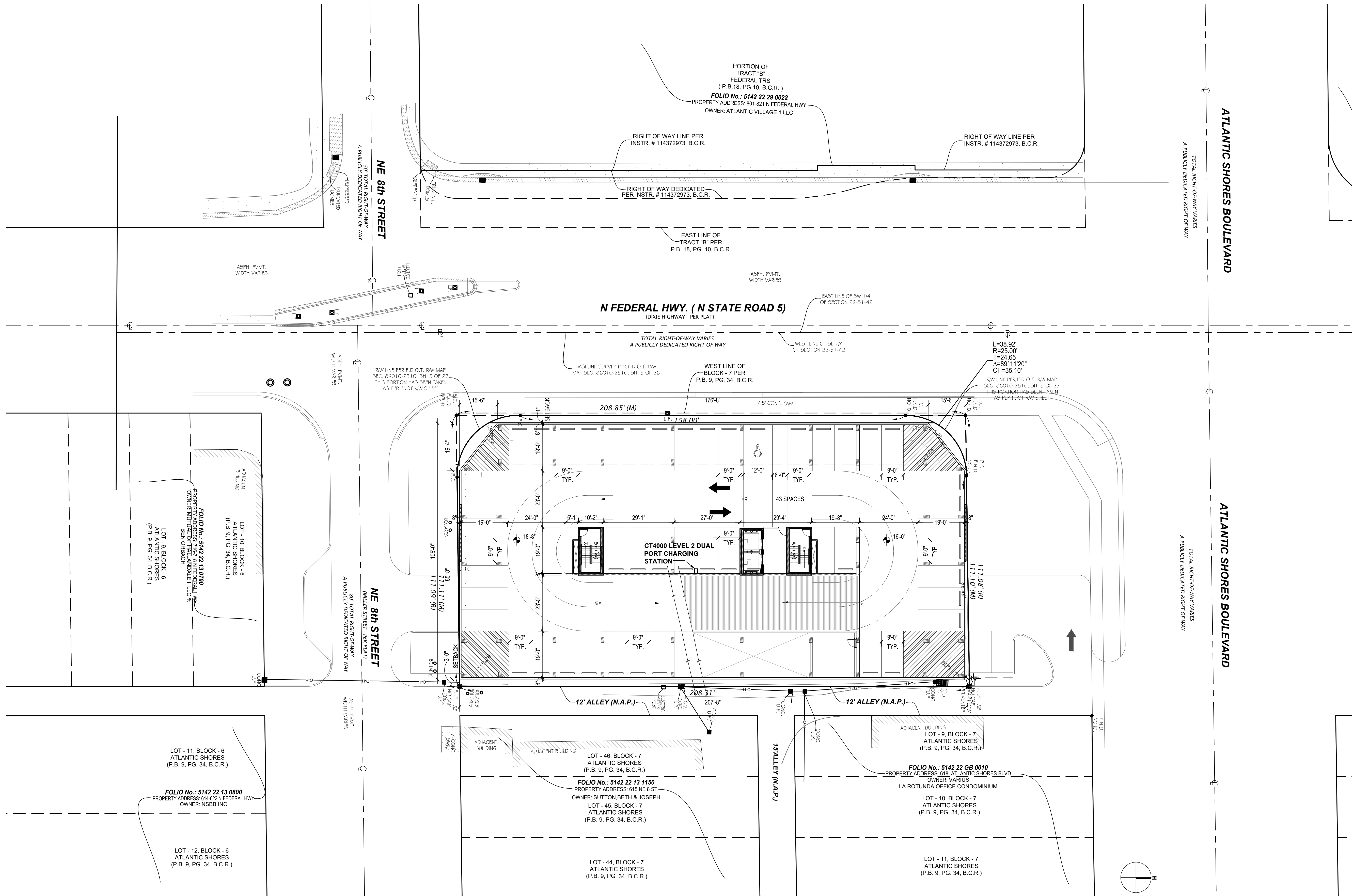
Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC
All Rights Reserved.

SHEET TITLE:

PARKING LEVEL 2

SHEET NUMBER:

AS-102



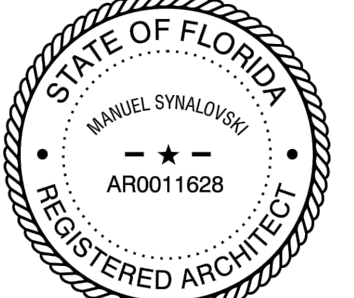


T 954.961.6806
F 954.961.6807

www.synalovski.com

Manuel Synalovski, AIA

AR 0011628

SEAL


LICENSE NO. AA26001863

800 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 4, LLC.

DESIGN
DELIVERABLE:
ISSUE DATE: 12/17/2021

PROJECT NUMBER: 1651-210510

DRAWN BY: JS

CHECKED BY: MS

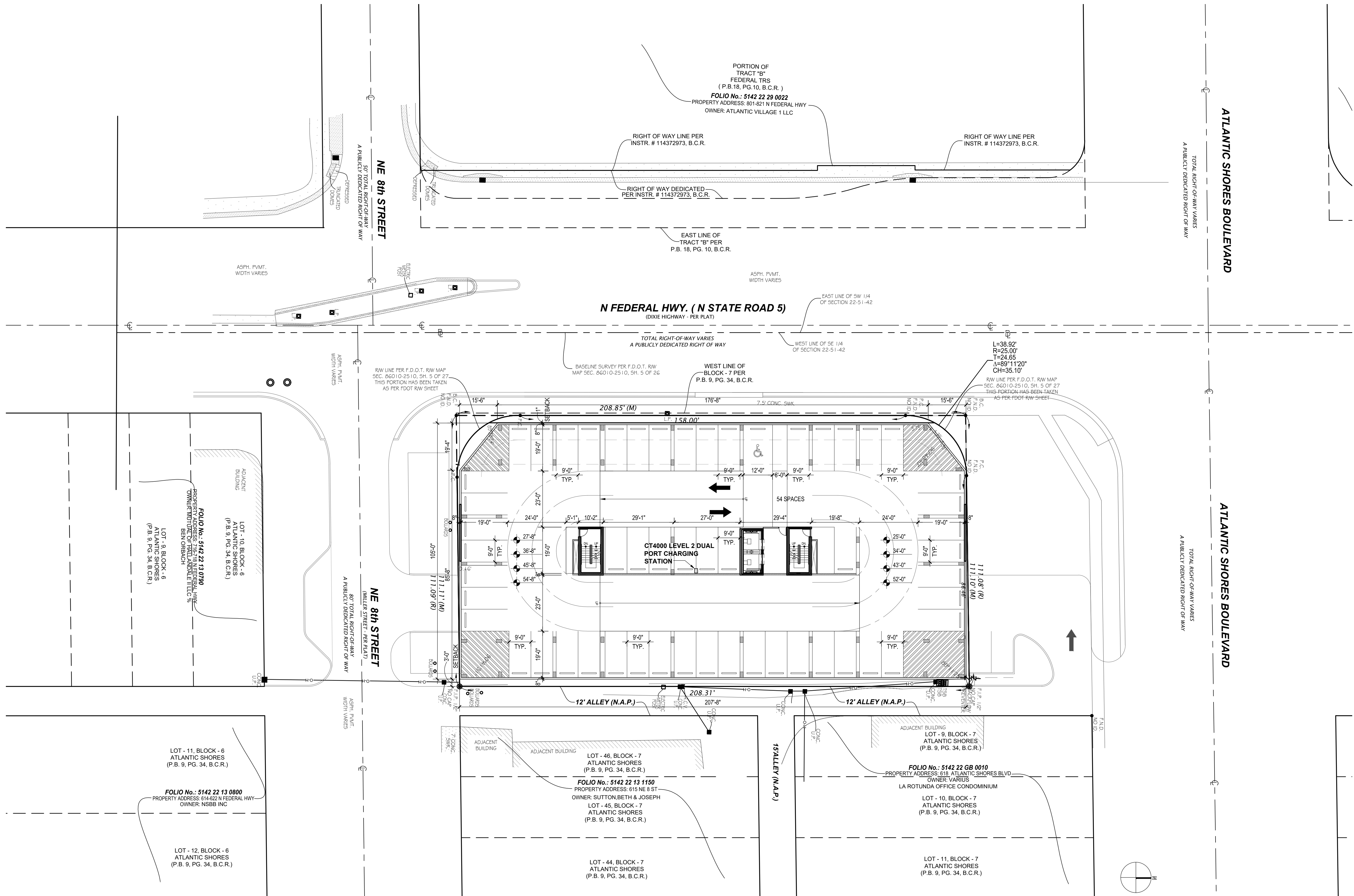
Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC
All Rights Reserved.

SHEET TITLE:

PARKING LEVEL 3-6

SHEET NUMBER:

AS-103





T 954.961.6806

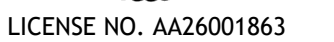
T 954.961.6806

T 954.961.6806

www.synalovski.com

Manuel Synalovski, AIA

AR 0011628



800 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 4, LLC.

DESIGN
DELIVERABLE:
ISSUE DATE: 12/17/2021

PROJECT NUMBER: 1651-210510

DRAWN BY: JS

CHECKED BY: MS

Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC

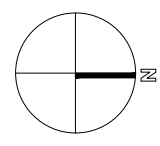
SHEET TITLE:

PARKING LEVEL 7

SHEET NUMBER:

AS 104

AS-104



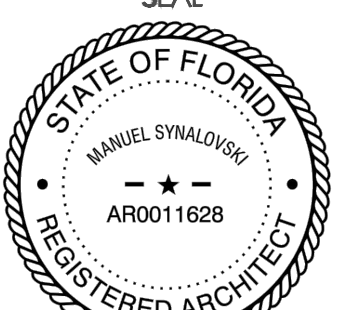


T 954.961.6806
F 954.961.6807

www.synalovskd.com

Manuel Synalovski, AIA

AR 0011628



LICENSE NO. AA26001863

800 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT: ATLANTIC VILLAGE 4, LLC.

DESIGN
DELIVERABLE:
ISSUE DATE: 12/17/2021

PROJECT NUMBER: 1651-210510

DRAWN BY: JS

CHECKED BY: MS

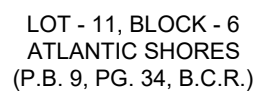
Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC
All Rights Reserved.

SHEET TITLE:

**TYPICAL OFFICE
FLOOR PLAN**

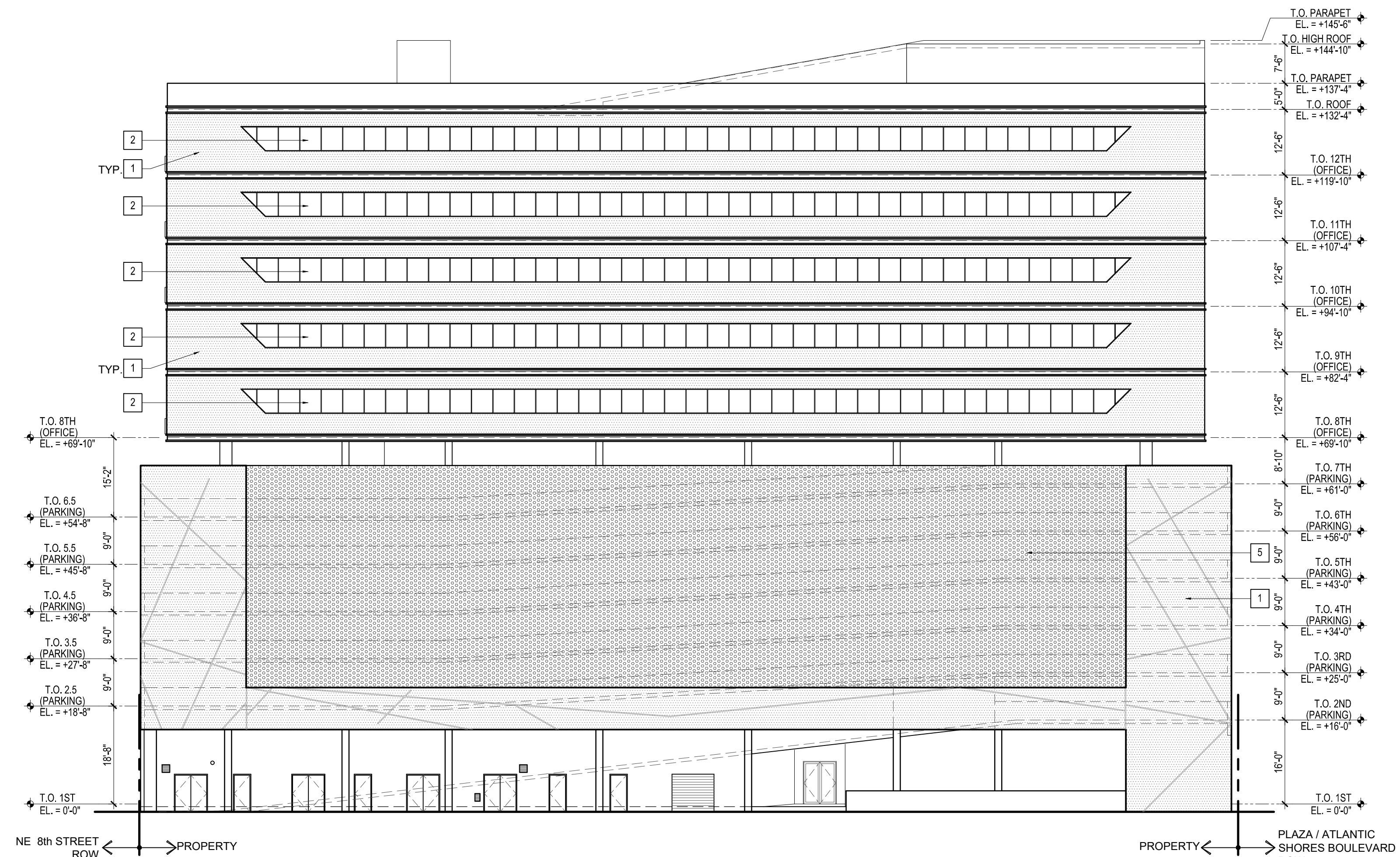
SHEET NUMBER:

AS-105

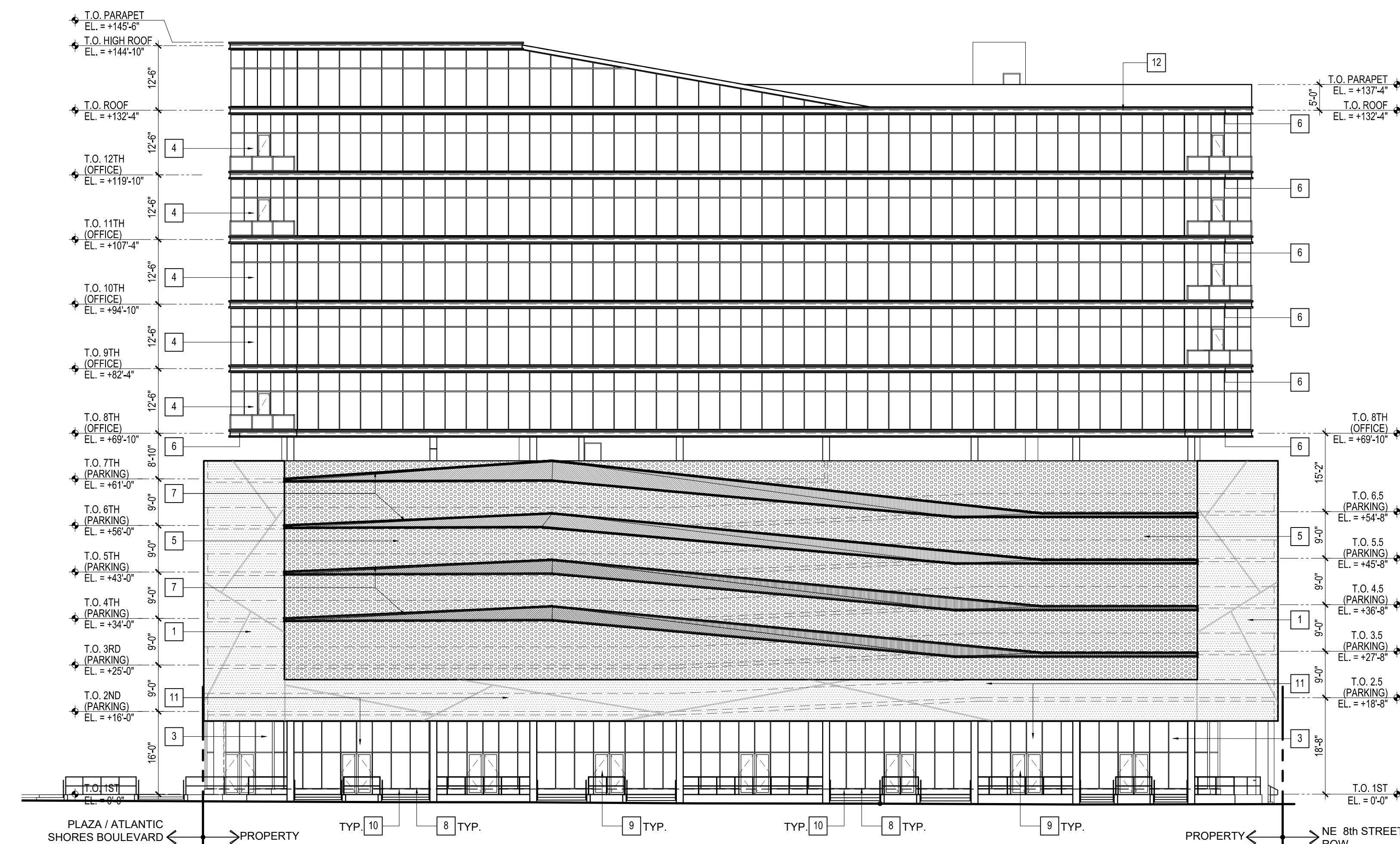


FOLIO No.: 5142 22 13 0800
PROPERTY ADDRESS: 614-622 N FEDERAL HW
OWNER: NSBB INC

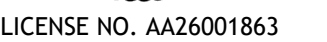
LOT - 12, BLOCK - 6
ATLANTIC SHORES
(P.B. 9, PG. 34, B.C.R.)



4 EAST ELEVATION



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"

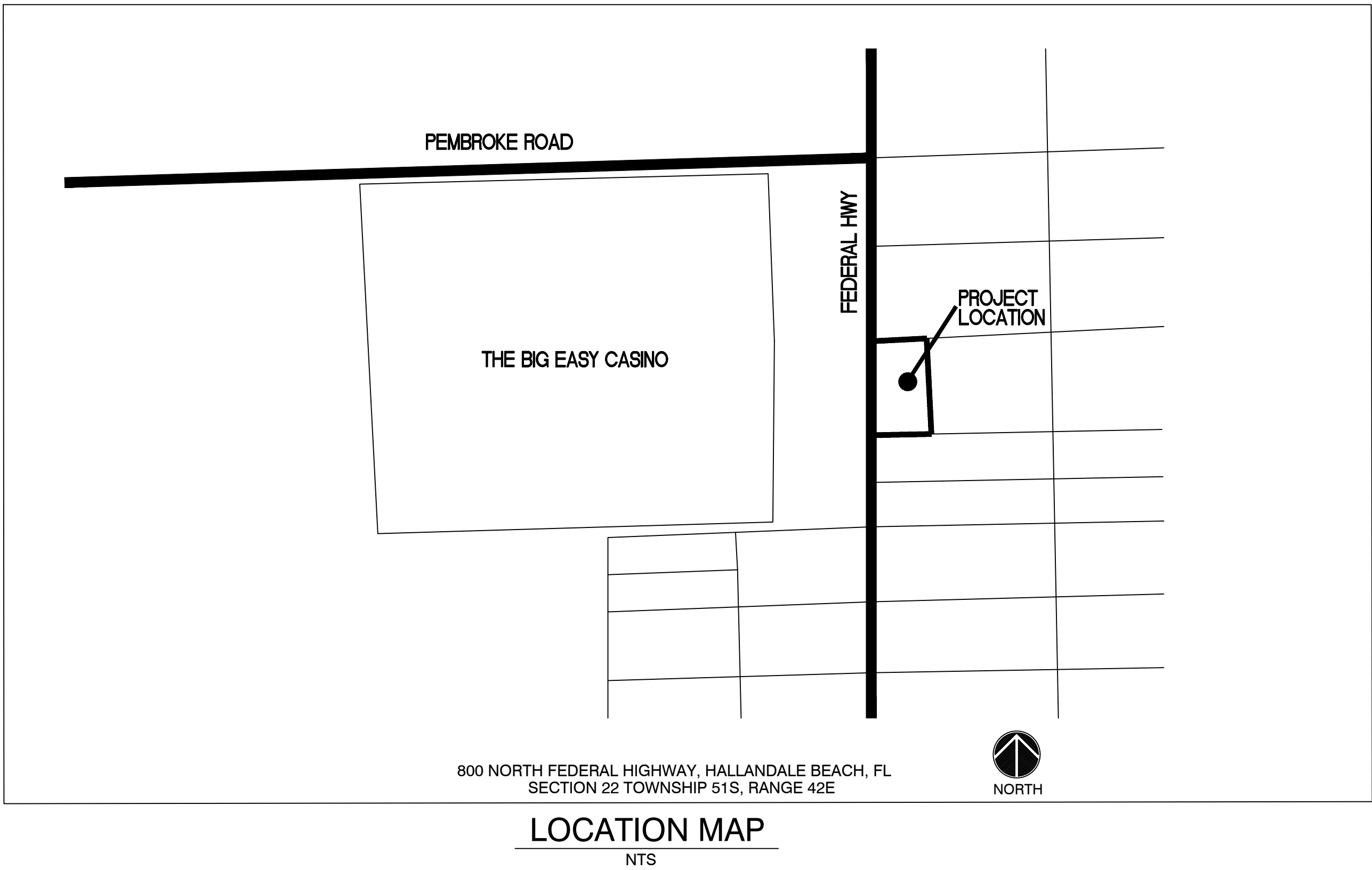


CLIENT: ATLANTIC VILLAGE 4, LLC.

SHEET NUMBER:
A-201

ATLANTIC VILLAGE 4

HALLANDALE BEACH, FLORIDA



FDOT NOTES:
DRAINAGE PERMIT NUMBER 2022-D-491-_____
DRIVEWAY PERMIT NUMBER 2022-A-491-_____
STATE ROAD 5
SECTION NUMBER 86010
MILE POST ____

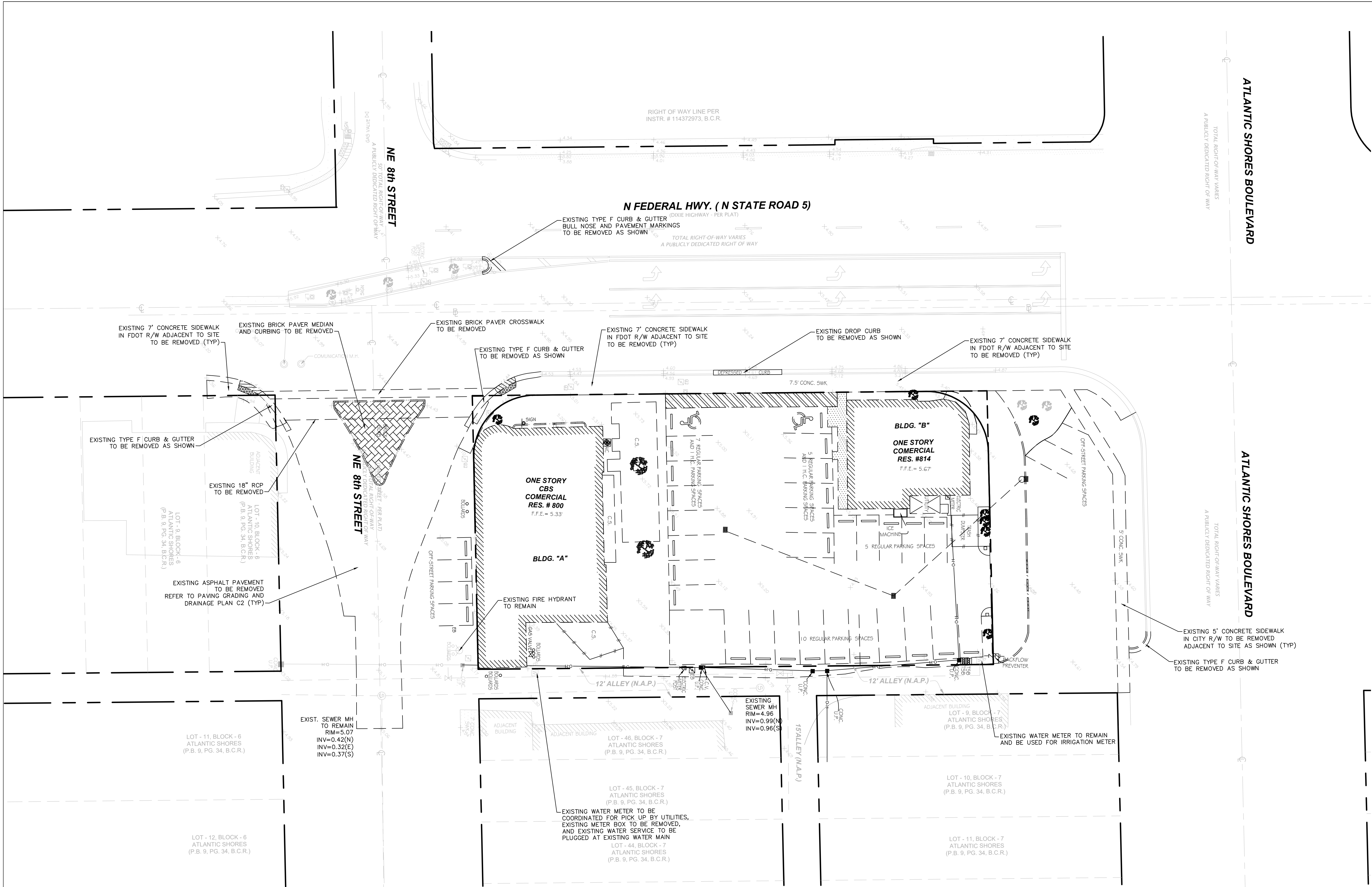
INDEX:	
	COVERSHEET
C1	SIGNING AND MARKING PLAN
C2	PAVING, GRADING, AND DRAINAGE PLAN
C3	WATER AND SEWER PLAN
C4	PAVING, GRADING, AND DRAINAGE DETAILS
C5	WATER AND SEWER DETAILS
C6	GENERAL NOTES & SPECIFICATIONS



THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY DENNIS R. SHULTZ, P.E.
ON Mar 02, 2022

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

FLYNN ENGINEERING 241 COMMERCIAL BLDG. LAUDERDALE BY THE SEA, FL 33308 PHONE: (954) 522-1004 WWW.FLYNNENGINEERING.COM EIR # 6576	Job No. 15-1273.05
	Plot Date 12/13/21
	Drawn by DRS
	Proj. Engr. DRS
	Appr. by DRS



DEMOLITION NOTES

- THE EXISTING BASE MATERIAL REMOVED BY DEMOLITION WORK MAY BE STOCK PILED AND REUSED AS AS BASE AND SUBBASE MATERIAL. APPROVAL OF STOCK PILED BASE MATERIAL FOR REUSE WILL BE PER FIELD EXAMINATION BY THE OWNER, THE TESTING LABORATORY, AND THE ENGINEER OF RECORD.
- CONTRACTOR SHALL REMOVE EXISTING PAVEMENT STRUCTURE BASED UPON FINAL FINISHED SURFACE (GRASS OR PAVEMENT) AS REQUIRED PER THE FOLLOWING PROPOSED IMPROVEMENTS

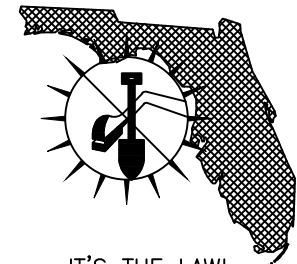
PAVEMENT: REMOVE ASPHALT/ CONCRETE SURFACE ONLY

GRASS: REMOVE ASPHALT AND ROCK BASE AND REGRADE AS REQUIRED PER PLAN.
- PAVEMENT: REMOVE ASPHALT/ CONCRETE SURFACE ONLY
- THE CONTRACTOR SHALL SAWCUT ALONG A NEAT STRAIGHT LINE AT ALL POINTS OF CONNECTION WITH EXISTING PAVEMENT / CURB TO REMAIN.
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS ALONG DEMOLITION AREAS AND MAINTAIN IN PLACE A FOOT (FEDERAL HWY) AND CITY APPROVED MAINTENANCE OF TRAFFIC PLAN.
- ALL ON-SITE ABOVE AND BELOW GROUND ITEMS (INCLUDING BILLBOARDS, CHAIN LINK FENCE, CBS WALLS, BOLLARDS, SIGNS, LIGHT POLES, ETC.) SHALL BE REMOVED BY CONTRACTOR WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED TO REMAIN.
- ALL UTILITY COMPANIES (FPL, ATT, GAS CO, ETC.) SHALL BE NOTIFIED 2 WEEKS PRIOR TO BEGINNING OF DEMOLITION FOR REMOVAL AND/OR DISCONNECTION OF ON-SITE SERVICE LINES/ POLES. ANY REMNANTS LEFT BY UTILITY COMPANIES SHALL BE REMOVED BY CONTRACTOR.
- PRIOR TO BUILDING DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE CITY OF HALLANDALE BEACH PUBLIC WORKS DEPARTMENT FOR REMOVAL OF ASSOCIATED WATER METERS.
- ALL DEMOLITION DEBRIS NOT OTHERWISE NOTED ON THE PLANS OR IN THESE NOTES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY REQUIREMENTS.
- ALL EXISTING ONSITE TREES/ BUSHES TO BE REMOVED/ RELOCATED AS NOTED ON LANDSCAPE PLANS. ALL SOB AND TOP SOIL SHALL BE STRIPPED SO SUBGRADE AND BASE ROCK CAN BE ADDED.
- CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY DEWATERING AND/OR DRAINAGE REQUIRED DURING CONSTRUCTION.
- RELOCATION/REMOVAL OF ELECTRICAL POLES & OVERHEAD WIRES TO BE COORDINATED W/ FPL AS REQUIRED.
- ON-SITE UNDERGROUND WATER AND SEWER MAINS SHALL BE REMOVED COMPLETELY WHEN UNDER NEW FOUNDATIONS.
- BACKFILL FOR ANY VOIDS LEFT BY REMOVAL OF UNDERGROUND UTILITIES SHALL BE AS NOTED IN BY GEOTECHNICAL ENGINEER RECOMMENDATIONS FOR SUCH BACKFILL
- CONTRACTOR SHALL COORDINATE W/ CITY THE REMOVAL/RELOCATION OF ANY WATER METERS.
- CONTRACTOR SHALL COORDINATE W/ FPL FOR REMOVAL/RELOCATION OF ANY POWER POLES.

DEMOLITION LEGEND

----- ITEM TO BE DEMOLISHED

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA



SUNSHINE STATE ONE CALL OF FLORIDA, INC.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E. ON Jul 26, 2022

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

NPDES

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES



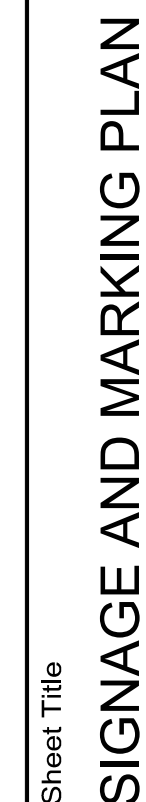
SITE DEMO PLAN

ATLANTIC VILLAGE 4

Phase:
PERMITTING
PLANS

Revisions

Scale: 1"=20.0'	Date 12/13/21
Job No. 15-1273.05	Plot Date 07/22/22
Drawn by DRS	Sheet No. D1
Proj. Engr. DRS	
Appr. by DRS	1 of 10



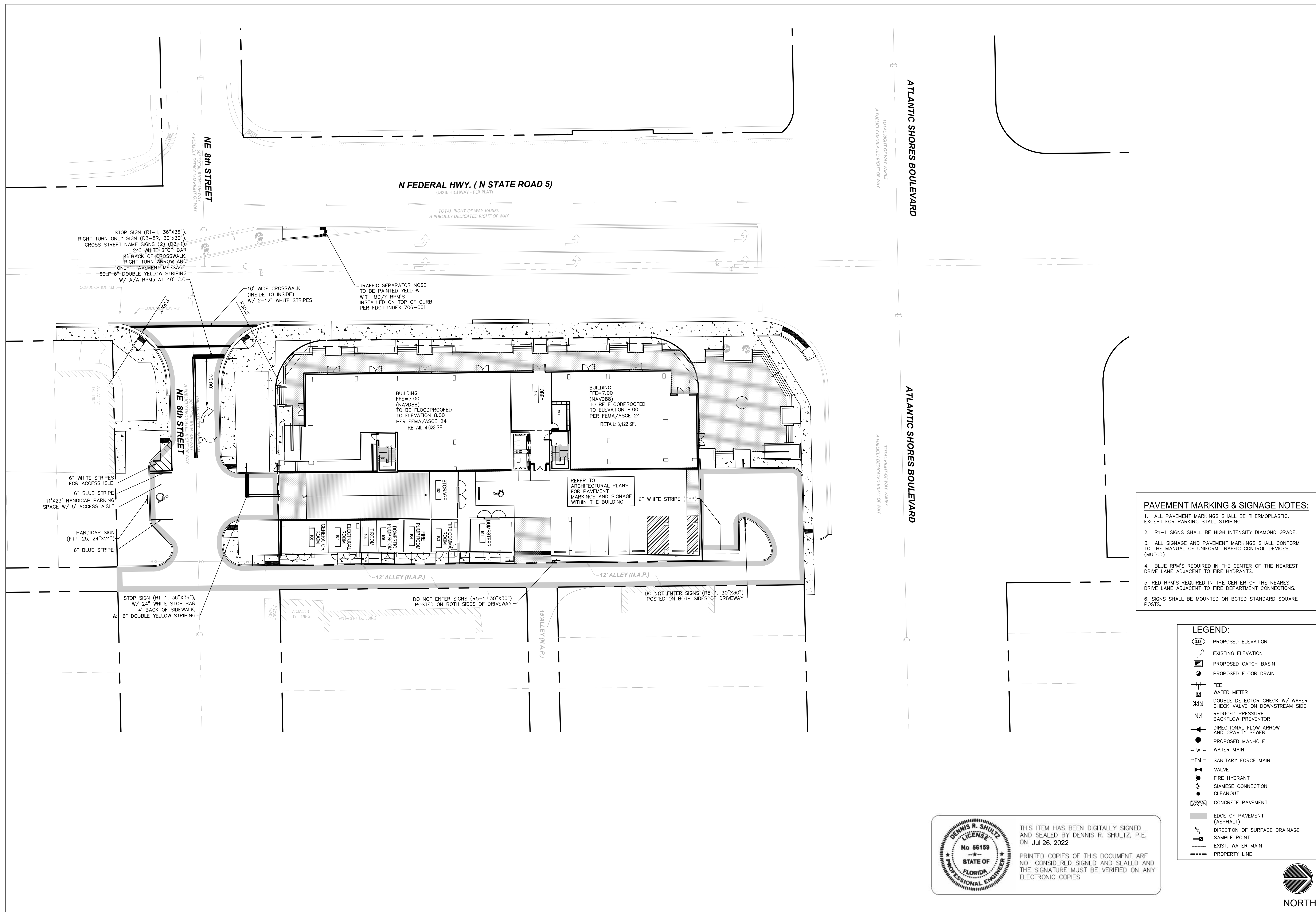
b Title
ATLANTIC VILLAGE 4

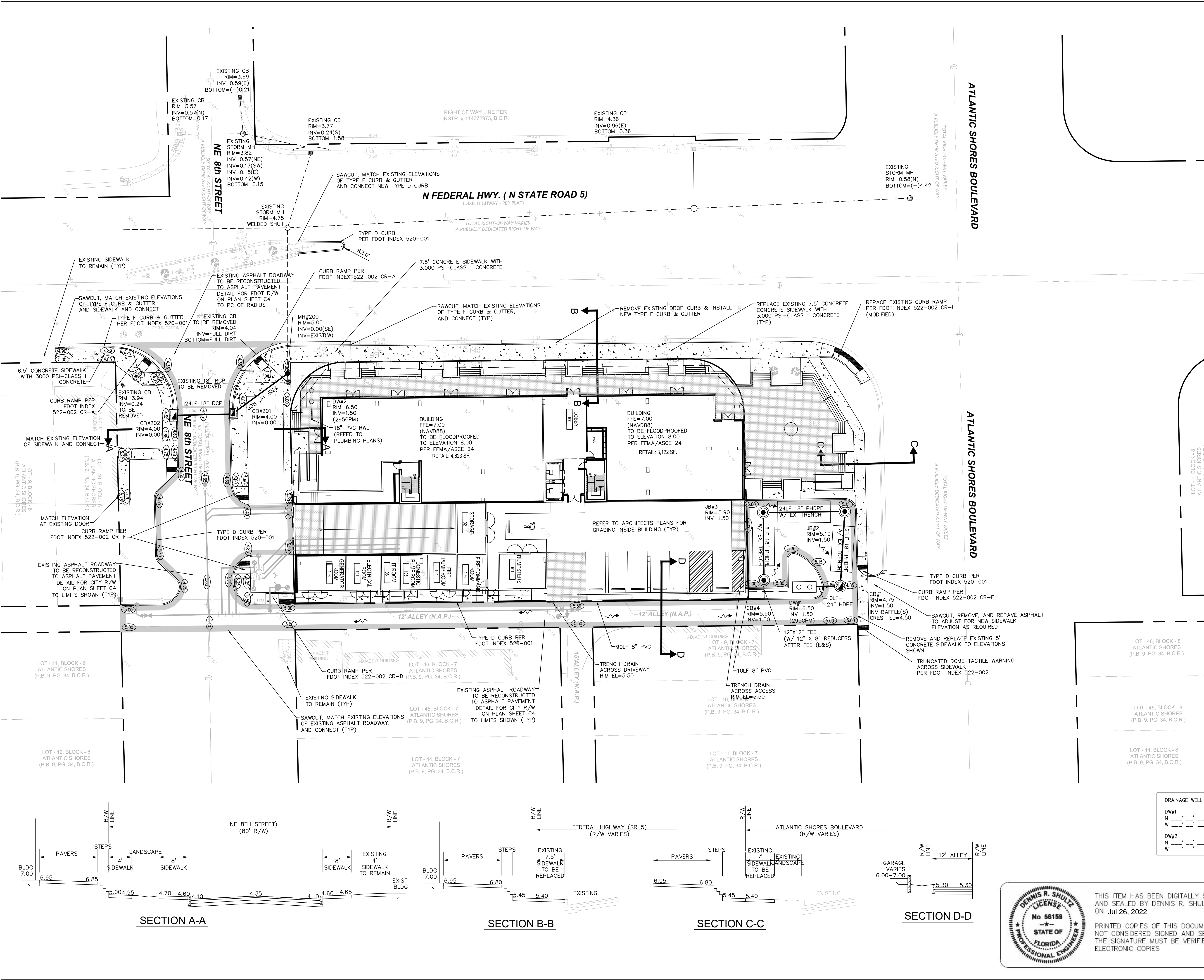
800 NORTH FEDERAL HIGHWAY
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

Phase:
PERMITTING
PLANS

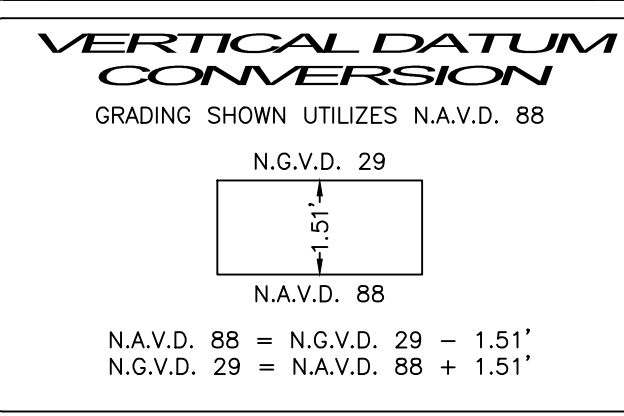
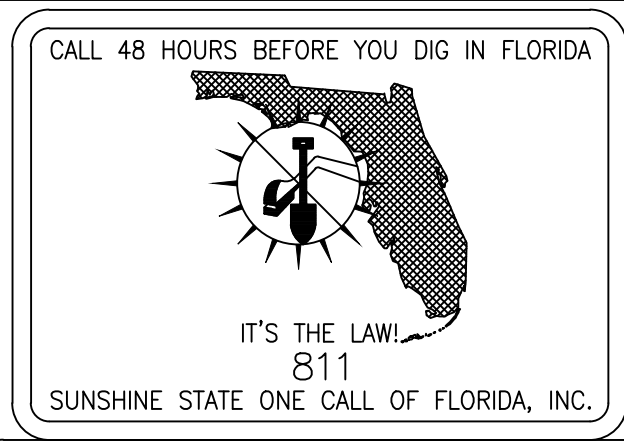
Revisions

Scale: 1"=20.0'	Date 12/13/21
Job No. 15-1273.05	Plot Date 07/22/22
Drawn by DRS	Sheet No. C1
Proj. Engr. DRS	
Appr. by DRS	2 of 10





- PAVING AND DRAINAGE NOTES:**
1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
 2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
 3. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 4. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
 5. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
 6. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG.DRIVE WAY, PROPERTY LINE, OR ROADWAY.
 7. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS
 8. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER & LANDSCAPE ARCHITECT TO FIELD ADJUST GRADING & UNDERGROUND PIPING AS REQUIRED TO PRESERVE EXISTING TREES TO REMAIN.
 9. ANY EXISTING BROKEN SIDEWALK MUST BE REMOVED AND REPLACED PER THE CITY STANDARDS FOUND AT CITY WEB SITE WWW.COHB.ORG (UNDER PUBLIC WORKS - ENGINEERING FORMS)
 10. SIDEWALK CONNECTIONS TO THE FDOT RIGHT-OF-WAY OF FEDERAL HIGHWAY (SR 5), REQUIRES A CONSTRUCTION JOINT AT THE ULTIMATE RIGHT-OF-WAY LINE AT EACH CONNECTION.
 11. THIS PROPERTY LIES IN BOTH FLOOD ZONE AE, ELEV. = 7 NAVD & FLOOD ZONE X ON FIRM PANEL 12011C0732H, DATED 08/18/14. BROWARD COUNTY 100 YR. FLOOD CONTOUR = ELEV. 5.00 NAVD. BROWARD COUNTY 10 YR. FLOOD CONTOUR = ELEV. 3.50 NAVD. AVERAGE WET SEASON WATER LEVEL = ELEV. 1.50 NAVD.
 12. TRUNCATED DOMES WITHIN THE CITY RIGHT-OF-WAY SHALL BE CAST IN PLACE TYPE.
 13. CONTRACTOR TO CONTACT ENGINEERING DEPARTMENT DURING CONSTRUCTION FOR MAJOR DEVELOPMENT INSPECTIONS SUCH AS ROCK BASE, FORMS, NPDES, DRAINAGE INSTALLATION, AND VERIFICATION OF STOP SIGN AND BAR INCLUDING THE MILLING AND RESURFACING. ENGINEERING DEPARTMENT PHONE IS 954-457-1357.
 14. CATCH BASINS WILL BE COVERED UP DURING CONSTRUCTION AND CLEANED TO BE FREE OF DEBRIS UPON CONSTRUCTION COMPLETION.
 15. ANY DAMAGE TO AN EXISTING AREA OF THE RIGHT-OF-WAY MUST BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AS PER CITY STANDARDS.



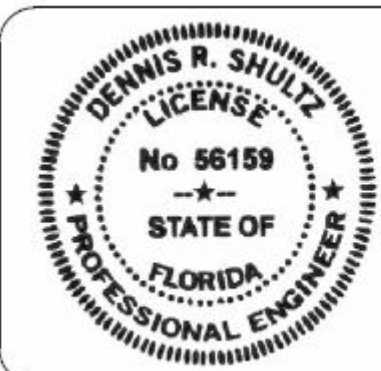
NPDES

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEF.STATE.FL.US/WATER/STORMWATER/NPDES

- LEGEND:**
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - PROPOSED FLOOR DRAIN
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMESE CONNECTION
 - CLEANOUT
 - CONCRETE PAVEMENT
 - EDGE OF PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - PROPERTY LINE

DRAINAGE WELL COORDINATES:

DW#1	N	6.95	W	6.85
DW#2	N	5.00	W	4.95



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E. ON Jul 26, 2022

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

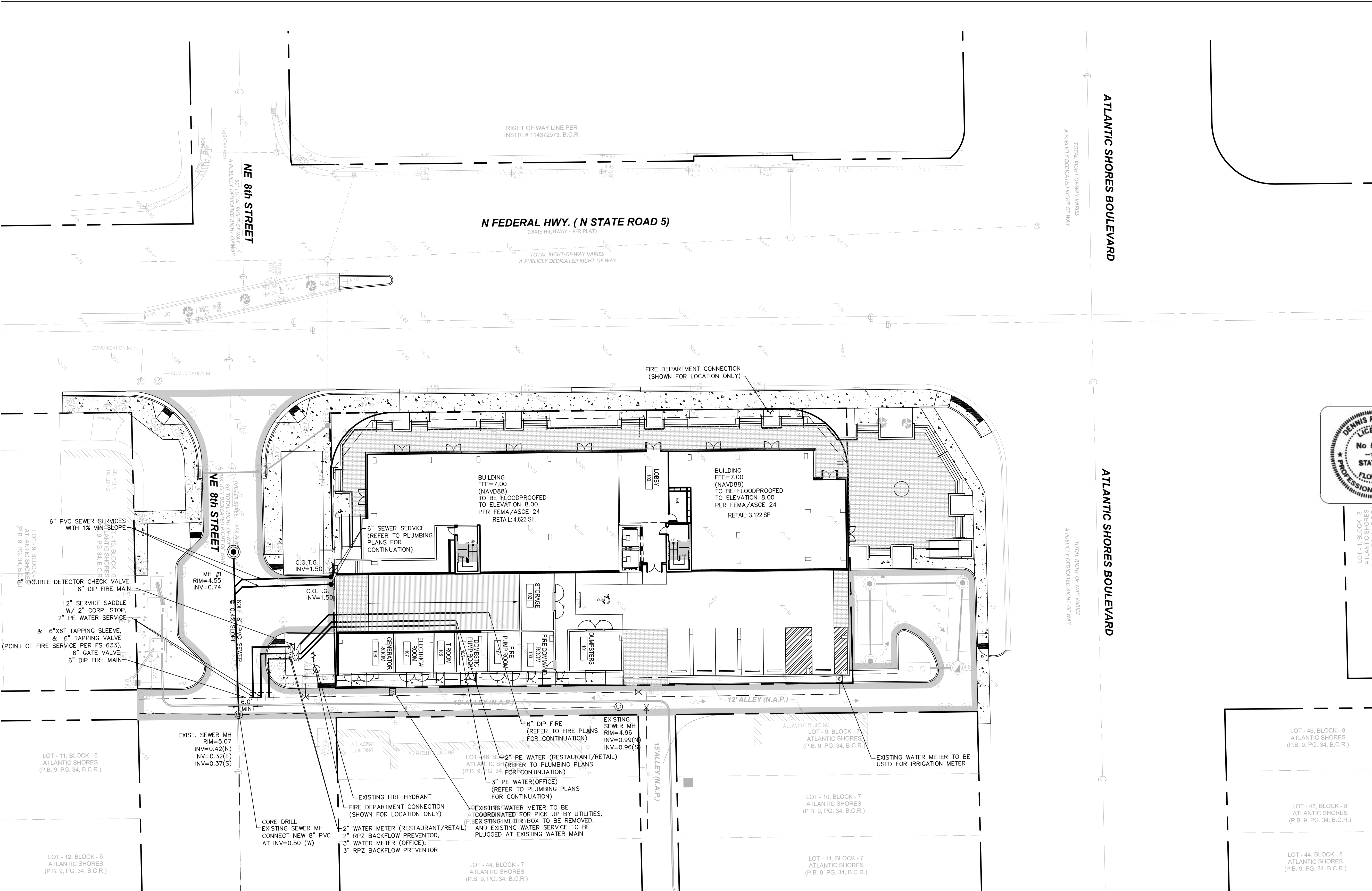


Phase:

PERMITTING PLANS

Revisions

Scale:	Date
1"=20.0'	12/13/21
Job No.	Plot Date
15-1273.05	07/26/22
Drawn by	Sheet No.
DRS	C2
Proj. Engr.	
DRS	
Appr. by	3 of 10
DRS	

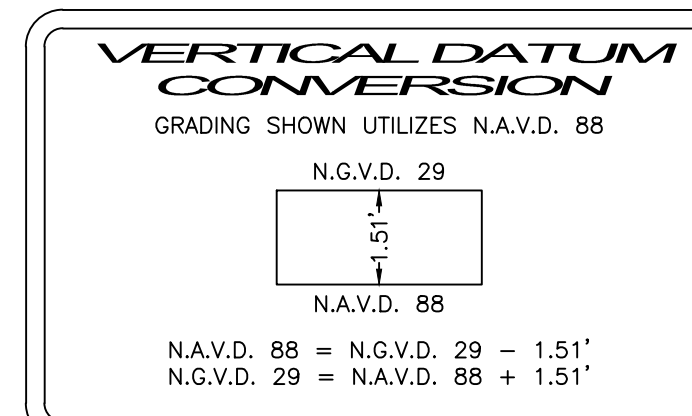
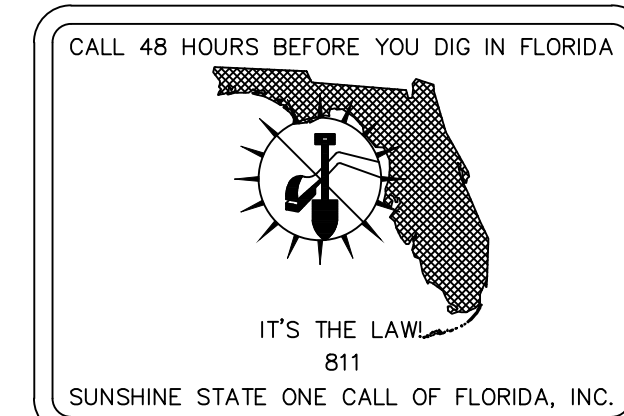


- WATER NOTES:**
1. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 2. WATER AND SEWER MAINS MINIMUM DEPTH OF COVER TO BE: 30" FOR DIP AND 36" FOR PVC MAINS.
 3. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
 4. W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS.
 5. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE FLORIDA DEPARTMENT OF HEALTH (FDEP) REQUIREMENTS.
 6. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
 7. CONTRACTOR SHALL VERIFY EXISTING WATER/SEWER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E. ON Jul 26, 2022

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES



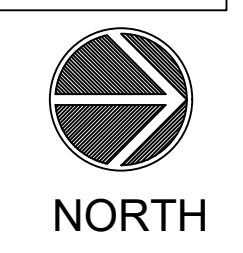
- LEGEND:**
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - PROPOSED FLOOR DRAIN
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMENSE CONNECTION
 - CLEANOUT
 - CONCRETE PAVEMENT
 - EDGE OF PAVEMENT (ASPHALT)
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - PROPERTY LINE

REQUIRED FIRE FLOW:

1. MINIMUM REQUIRED FIRE FLOW PER NFPA TABLE 18.4.5.1.2 BASED ON 105,152 SF OF BUILDING WITH TYPE II (222) CONSTRUCTION IS 4,750 GPM BUT THAT REQUIREMENT CAN BE REDUCED 75% WITH THE USE OF FIRE SPRINKLERS LEAVING THE MINIMUM REQUIRED FIRE FLOW FOR THIS SITE TO BE 1,188 GPM @ 20 PSI.
2. AVAILABLE FIRE FLOW PER 01/21/22 FLOW TEST IS 2,027 GPM @ 20 PSI.

WATER AND SEWER FLOW:

1. EXISTING WATER AND SEWER FLOW FROM THE SITE:
6,524 SF RESTAURANT @ 0.75 GPD/SF = 4,893 GPD
TOTAL EXISTING FLOW = 4,893 GPD
2. PROPOSED WATER AND SEWER FLOW FROM THE SITE:
7,749 SF RESTAURANT @ 0.75 GPD/SF = 5,808.8 GPD
7,749 SF RETAIL @ 0.11 GPD/SF = 852.39 GPD (ALTERNATE)
92,735 SF OFFICE W/ 1.15 GPD/SF = 106,634.25 GPD
TOTAL PROPOSED FLOW = 19,719.1 GPD
4. PEAK WATER DEMAND FOR THE SITE:
19,719.1 GPD X 2.5 PEAK FACTOR = 49,297.8 GPD
5. PEAK SEWER FLOW FROM THE SITE:
19,719.1 GPD X 3.0 PEAK FACTOR = 59,157.3 GPD
6. IRRIGATION TO BE PROVIDED FROM 1" IRRIGATION METER.



FLYNN ENGINEERING

241 COMMERCIAL BLD., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
E#1

Sheet Title

WATER AND SEWER PLAN

Job Title

ATLANTIC VILLAGE 4

Phase:

PERMITTING PLANS

Revisions

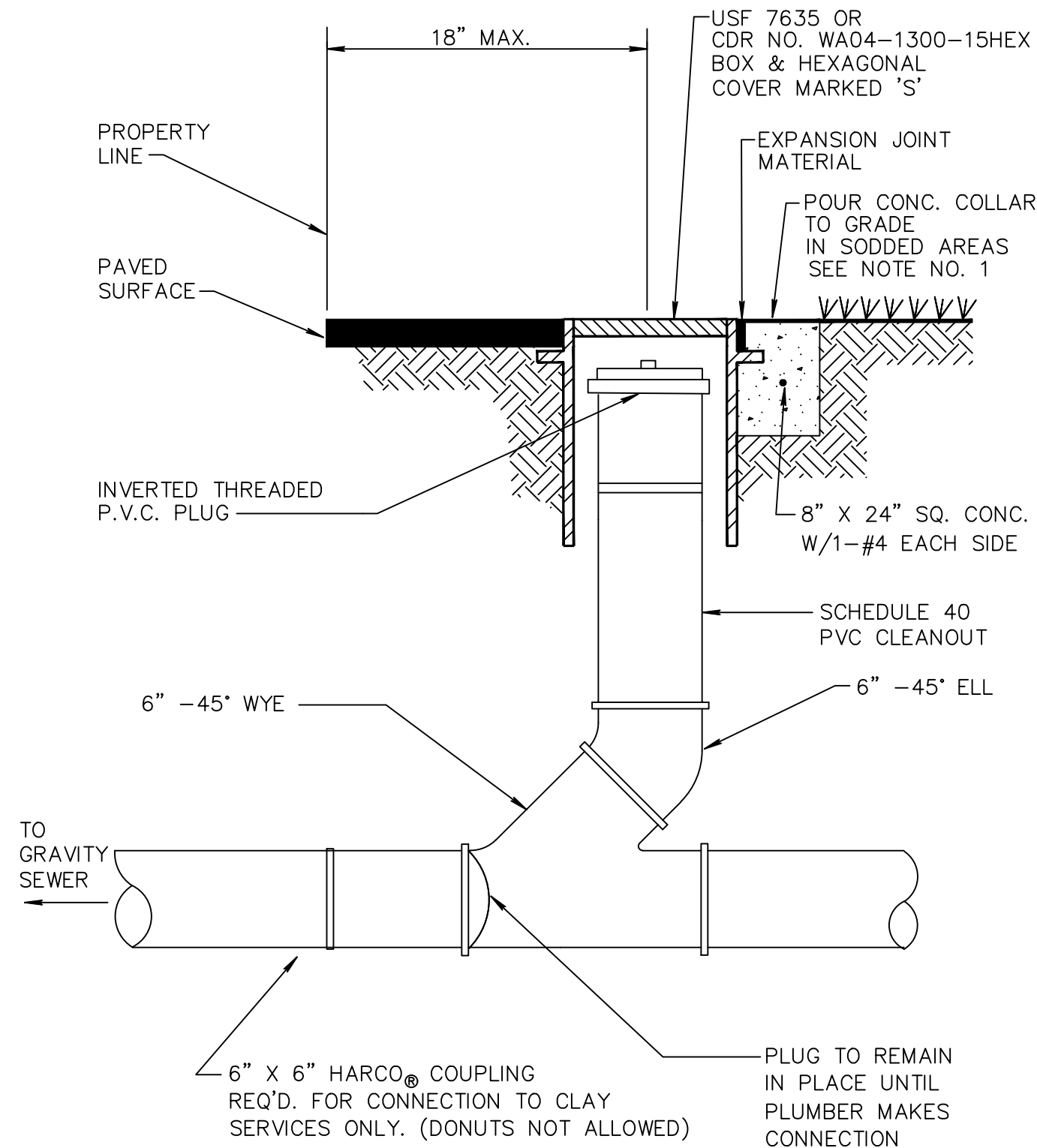
Scale:	Date
1"=20.0'	12/13/21
Job No.	Plot Date
15-1273.05	06/10/22
Drawn by	Sheet No.
DRS	C3
Proj. Engr.	
DRS	
Appr. by	3 of 6
DRS	

800 NORTH FEDERAL HIGHWAY
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009



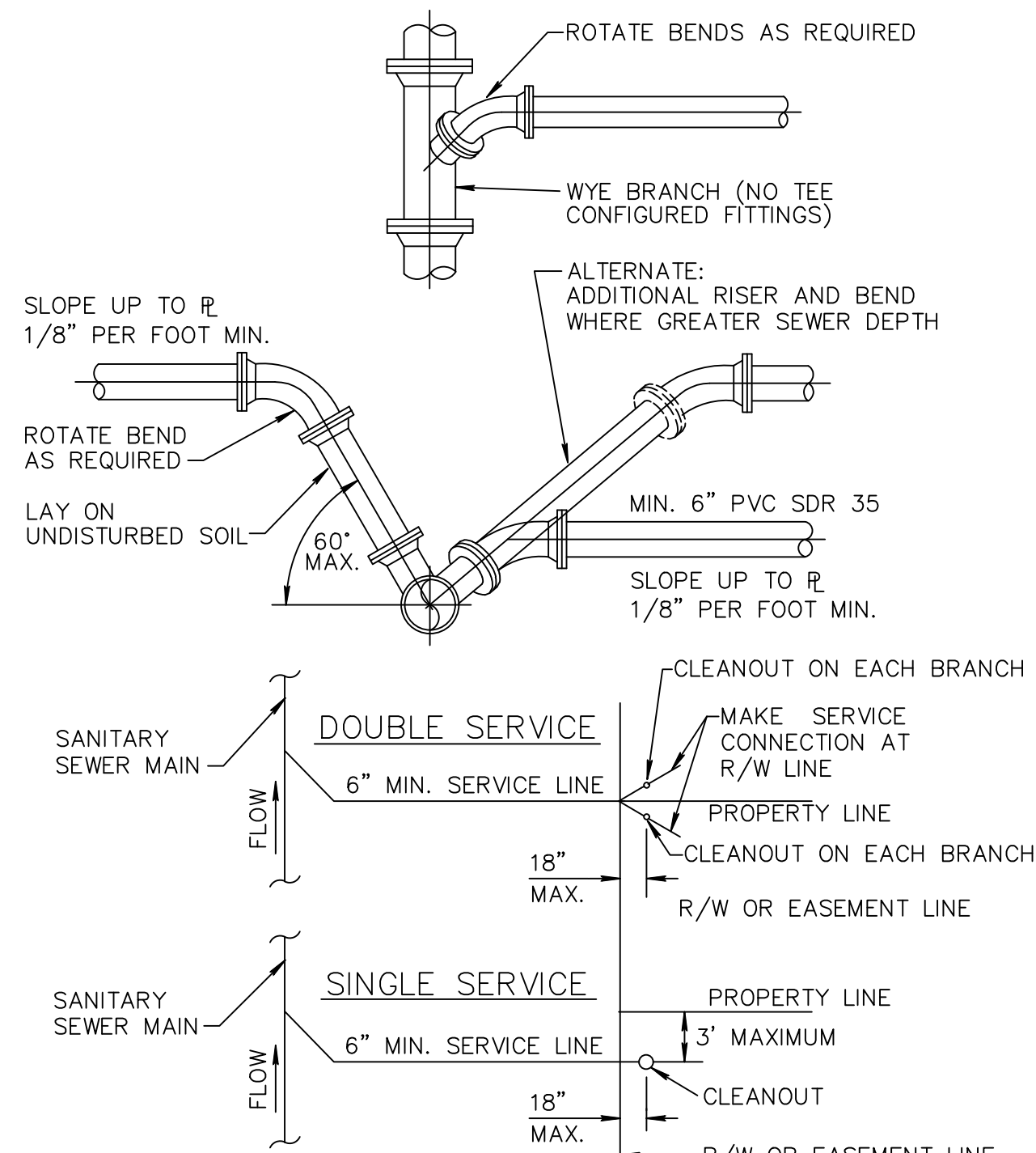
THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY DENNIS R. SHULTZ, P.E.
ON Jul 26, 2022

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES



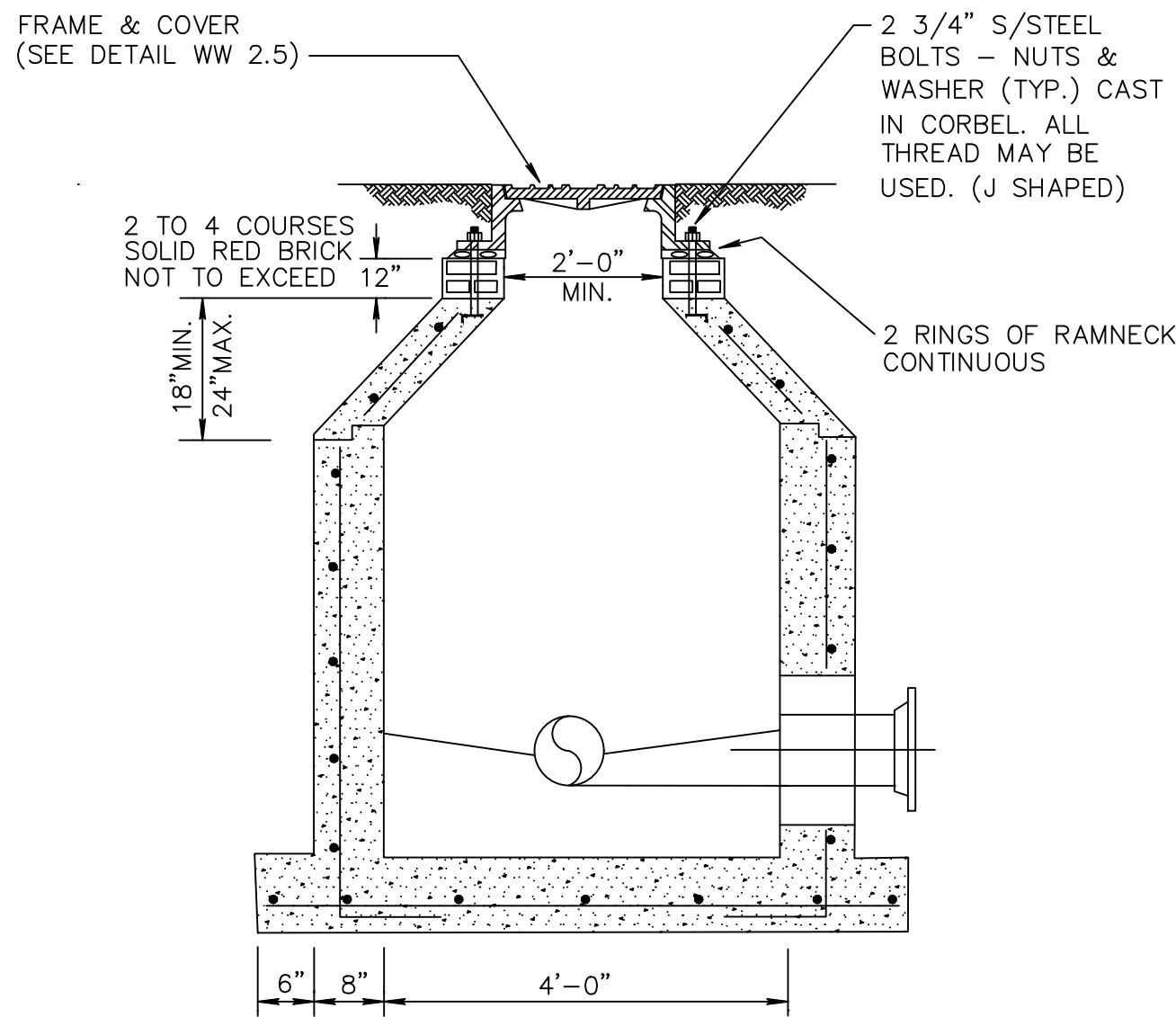
- NOTE:
1. INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
 2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL COMMERCIAL CLEANOUT WW 5.2



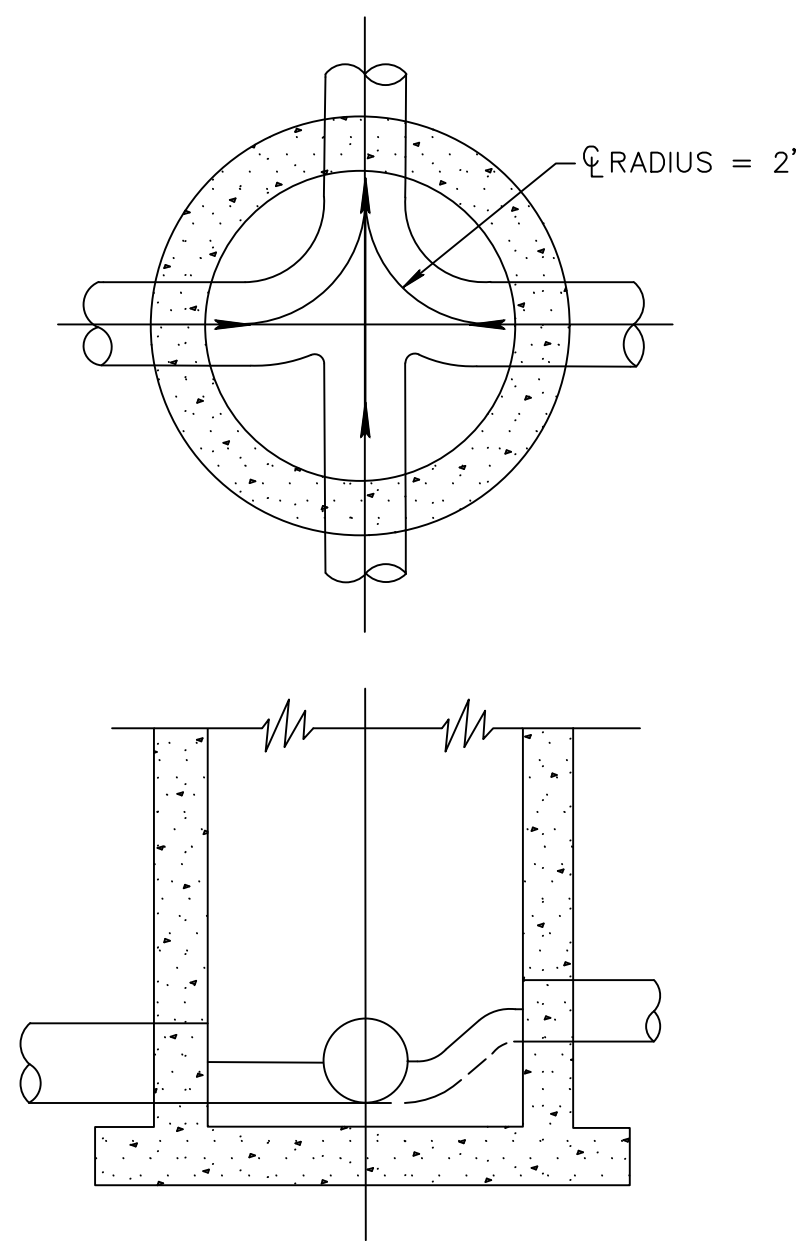
- NOTE:
1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"x 4" TREATED STAKE.
 2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
 3. SEE DETAIL PW 2.1 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTIONS WW 4.1



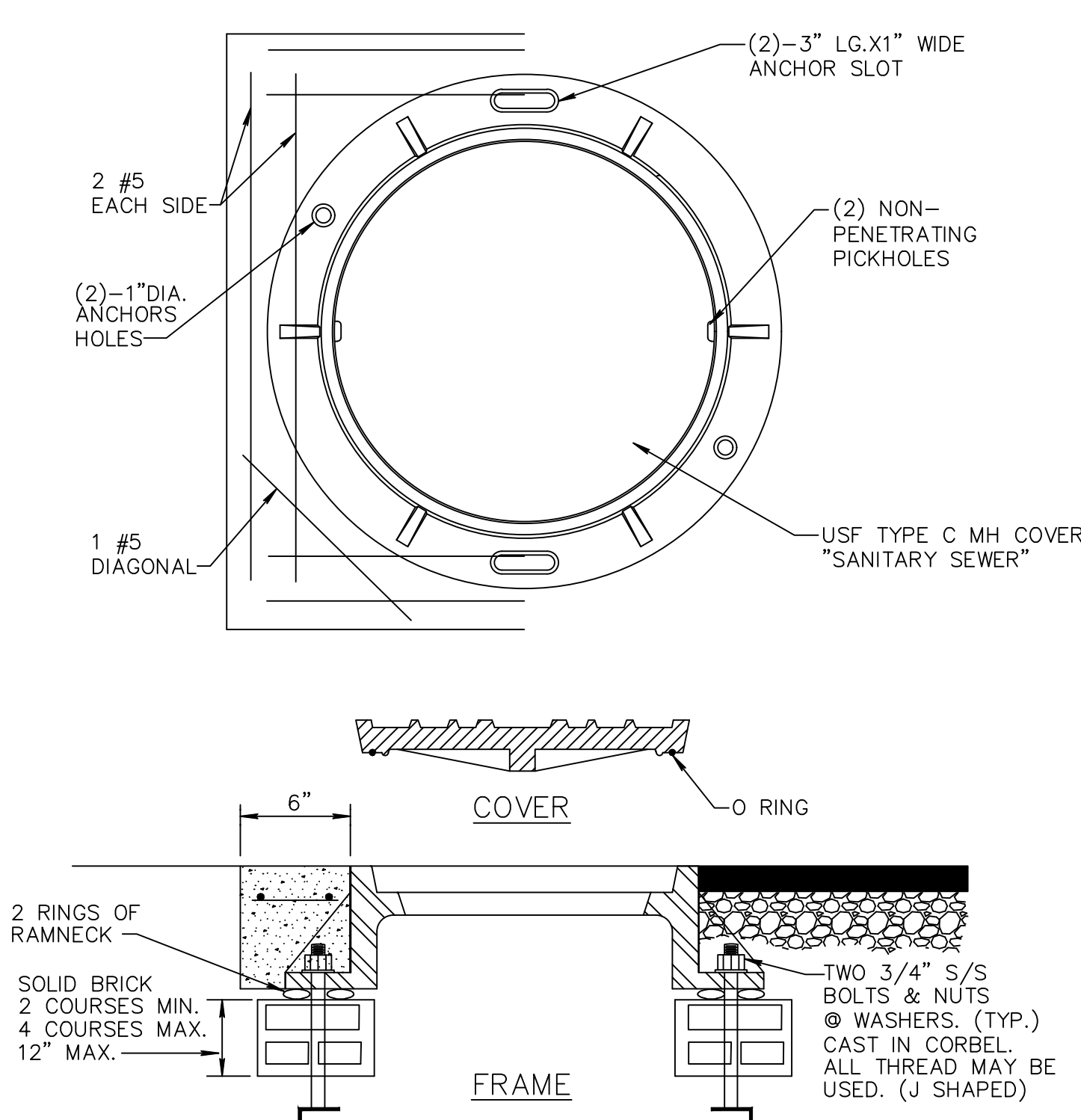
- NOTES:
1. PRECAST CONCRETE TYPE II 4000 P.S.I.
 2. RAMNECK AT ALL RISER JOINTS WITH GROUT ON INSIDE AND OUTSIDE AT ALL RISER JOINTS.
 3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
 4. FLOW CHANNELS SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW STREAM.
 5. LIFT HOLES SHALL BE FILLED WITH EXPANDABLE GROUT
 6. ALL PIPE HOLES SHALL BE PRECAST.
 7. CAST IN PLACE FLEXIBLE PIPE-TO MANHOLE CONNECTOR (LOCK JOINT FLEXIBLE SLEEVE ELASTOMER EPDM OR RUBBER GASKET WITH GLASS FIBER REINFORCED NYLON 6/6 INTERNAL EXPANSION RING) INSTALLED PER MANUFACTURER.
 8. PAINT MANHOLE INSIDE AND OUTSIDE WITH ONE (1) COAT RED CARBOLINE BITUMASTIC 300M THEN ONE (1) COAT BLACK OR APPROVED EQUAL, to 8-10 MILS D.F.T/COAT, FIRST COAT RED THEN BLACK.
 9. MANHOLE FABRICATION SHALL BE IN ACCORDANCE W/ ASTM C-478, LATEST STANDARD.

SHALLOW MANHOLE DETAIL WW 2.2



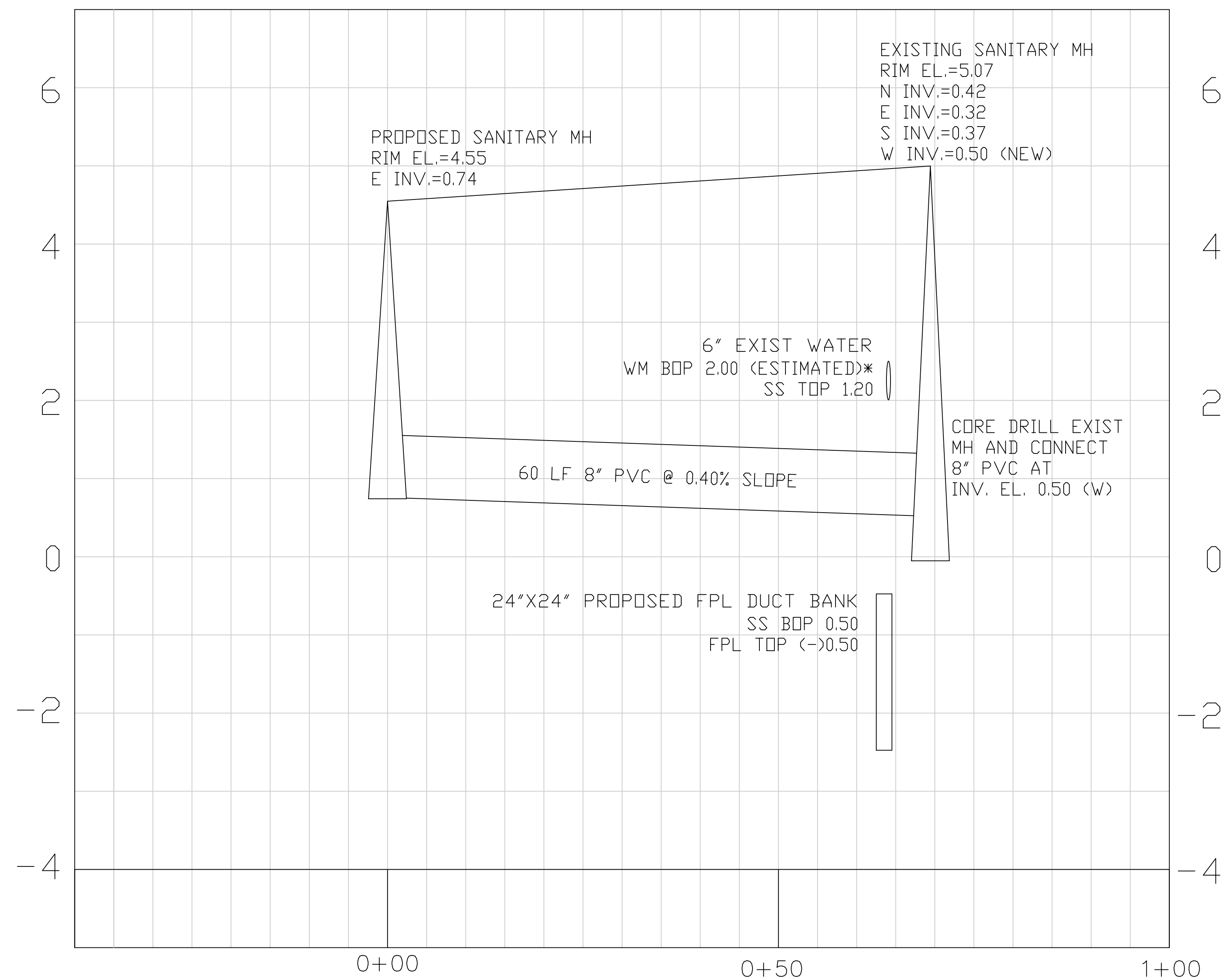
- NOTES:
1. ALL INVERT CHANNELS ARE TO BE CONSTRUCTED FOR SMOOTH FLOW WITHOUT OBSTRUCTION OR TURBULENCE.
 2. PROPERLY SHAPED SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS TO PROVIDE FOR SMOOTH FLOWS.
 3. SERVICE LATERALS SHALL NOT ENTER MANHOLES.
 4. 2500 PSI CONCRETE ONLY PERMITTED AS FLOW CHANNEL BUILDUP.

INVERT FLOW CHANNELS WW 2.4



- NOTES:
1. COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.
 2. COVER SHALL BE U.S. MR-ORS AND RING SHALL BE USF 420 RING WITH TYPE C "SANITARY SEWER" COVER.
 3. MANHOLE ADJUSTING RINGS SHALL BE CAST IRON, USF TYPE B.

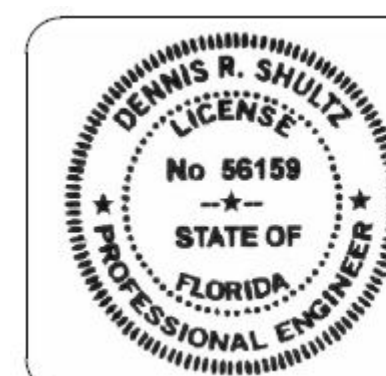
SANITARY SEWER MANHOLE FRAME AND COVER WW 2.5



SEWER PROFILE

SCALE: HORIZONTAL 1"=20'
VERTICAL 1"=2'

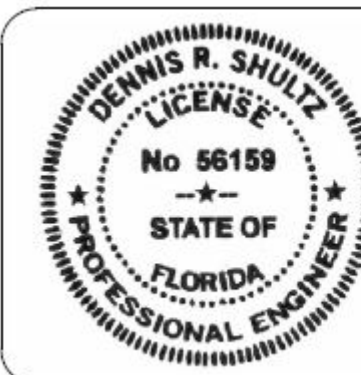
NOTE: RIM ELEVATIONS ARE DESIGN ELEVATIONS ONLY
FINAL RIM ELEVATIONS MUST MATCH FINAL PAVEMENT GRADES



THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY DENNIS R. SHULTZ, P.E.
ON Jul 26, 2022

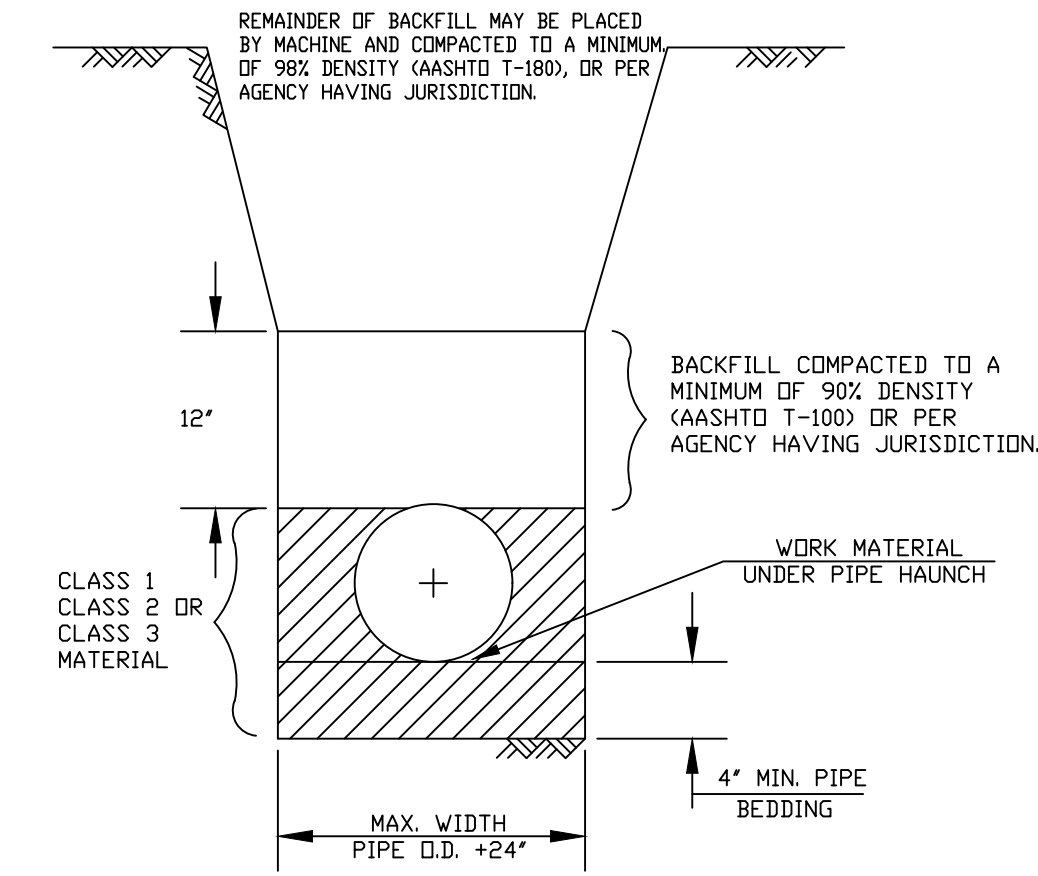
PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

May 05, 2022 - 2:04pm



THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY DENNIS R. SHULTZ, P.E.
ON Jul 26, 2022

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES



NOTE:

- CLASS 1 MATERIAL - ANGULAR GRADED STONE SUCH AS CORAL, CRUSHED STONE, OR CRUSHED SHELLS OR BEDDING ROCK (100% PASSING 1" SIEVE)
- CLASS 2 MATERIAL - COURSE SAND AND GRAVELS WITH MAXIMUM PARTICLE SIZE OF -" WITH SMALL PERCENTAGE OF FINES COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY.
- CLASS 3 MATERIAL - FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS, SAND-CLAY MIXTURES AND GRAVEL-CLAY MIXTURES, COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY. INCLUDED IN CLASS 3 ARE EXISTING SOIL TYPES CLASSIFIED AS SELECT BACKFILL.

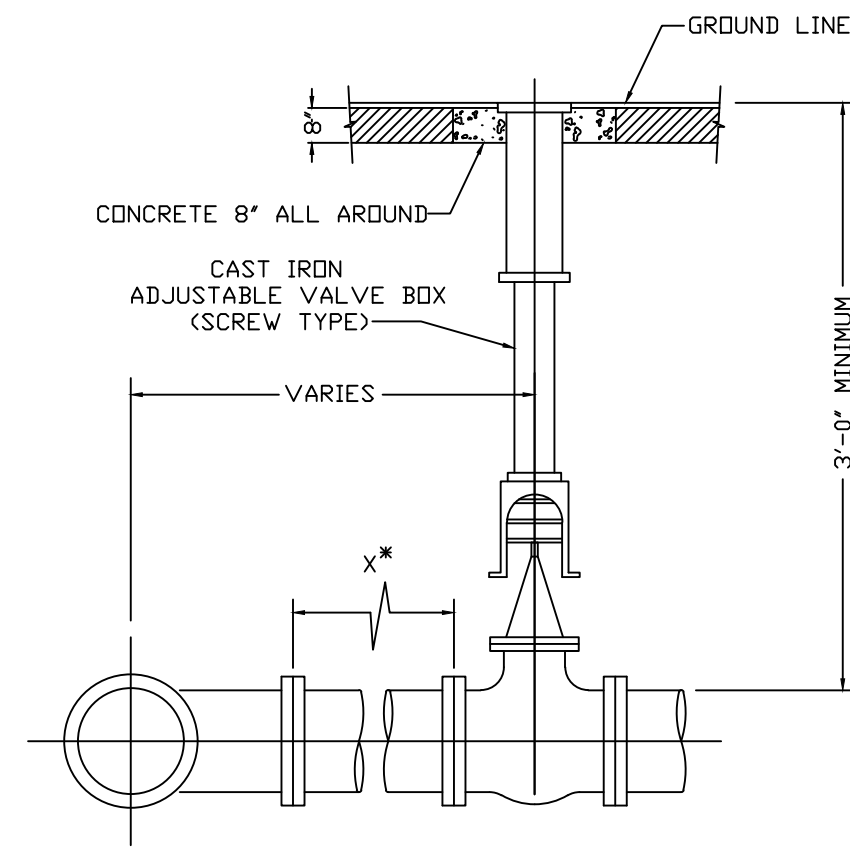
IF CLASS 1 MATERIAL IS USED FOR BEDDING, IT MUST BE USED FOR THE ENTIRE EMBEDMENT.

A DRY TRENCH SHALL BE MAINTAINED WHEN USING CLASS 2 AND CLASS 3 MATERIAL.

TRENCH SECTION

N.T.S.

PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH FDOT STANDARD INDEX 307 FOR FLEXIBLE PAVEMENT CUT.

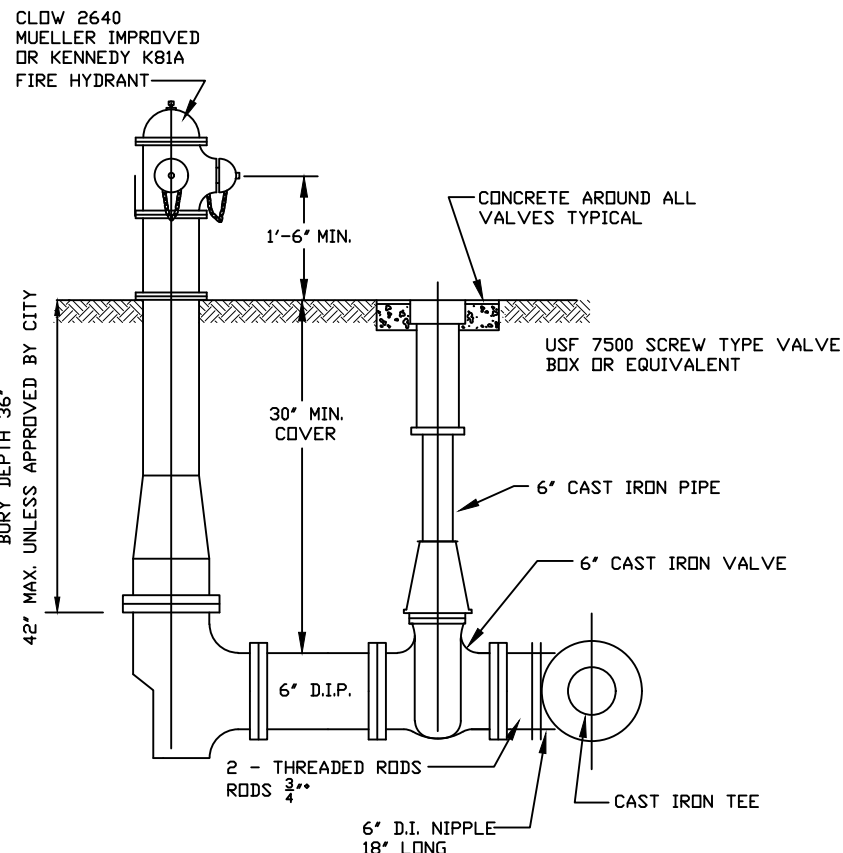


USE TIE RODS, RESTRAINED OR HARNESSSED JOINTS WHERE "X" IS LESS THAN 16'-0"

- NOTE:
1. CONCRETE COLLAR IS NOT REQUIRED WHEN VALVE IS LOCATED WITHIN NEW PAVEMENT.

TYPICAL VALVE SETTING

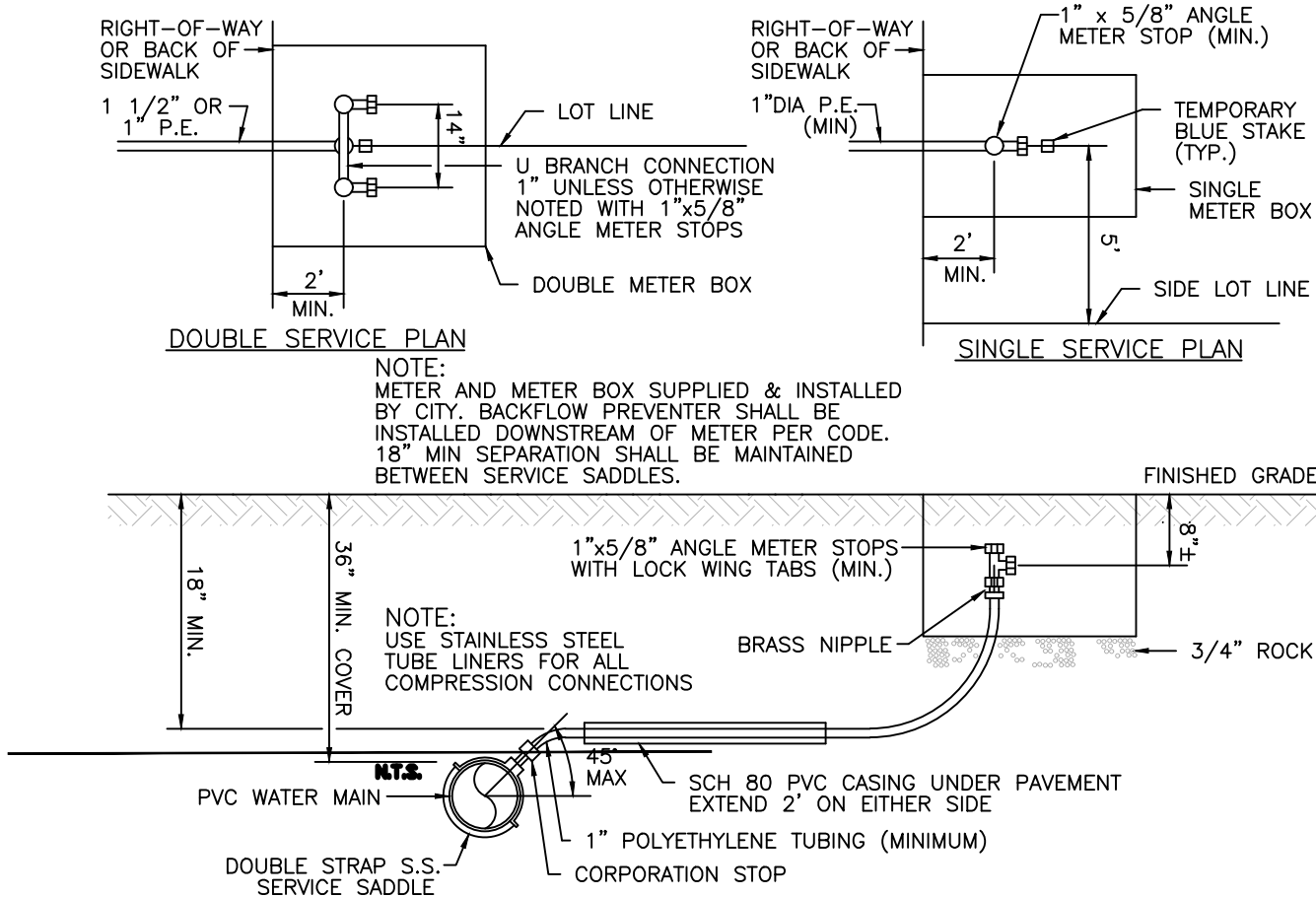
N.T.S.



NOTE: USE SAME VALVE BOX DETAIL FOR GATE VALVES. ALL HYDRANTS MUST BE TRAFFIC RATED, WITH BREAK AWAY BARREL.

TYPICAL FIRE HYDRANT ASSEMBLY

N.T.S.



TYPICAL SINGLE & DOUBLE SERVICE CONNECTION

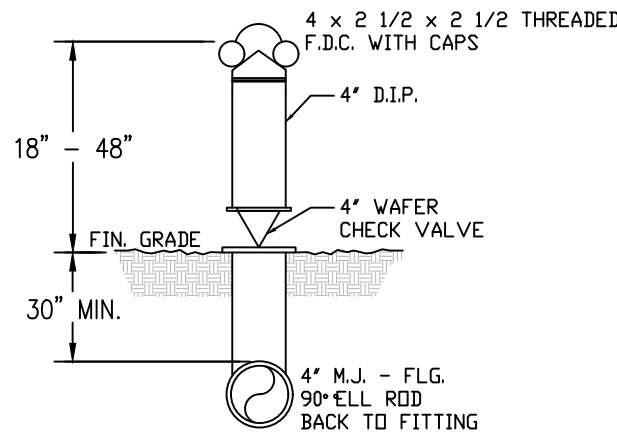
NOTE: THE FIGURES IN THIS TABLE ARE BASED ON 150 PSI TEST PRESSURE WITH 2.5 FEET OF COVER AND 2000 POUNDS PER SQUARE FOOT SOIL BEARING AGAINST UNDISTURBED TRENCH. A 20% SAFETY FACTOR HAS BEEN ADDED.

RESTRAINED JOINT DETAIL

N.T.S.

NOTE:

BLACK STEEL PIPE, SCHEDULE 80, COATED WITH BITUMASTIC AT LEAST 30" BELOW & 6" ABOVE FINISH GRADE. A STEEL DRIVE SHOE IS REQUIRED WITH A 6" LEAD BELOW IT.



FIRE DEPT. CONNECTION DETAIL

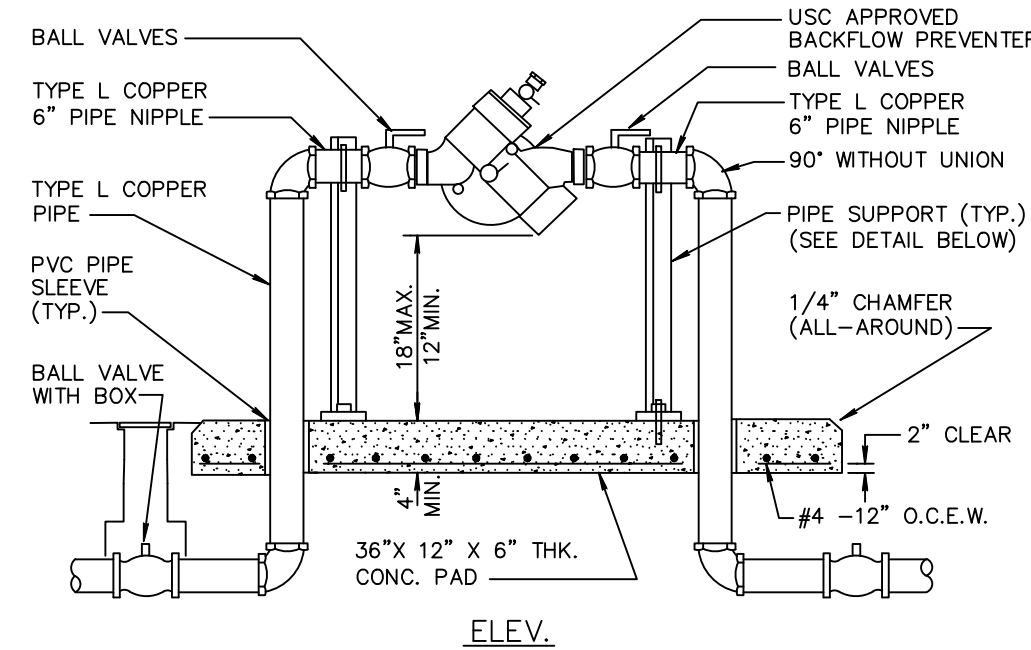
N.T.S.

LOCATION OF PUBLIC WATER SYSSEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum Water Main
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum Water Main
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum Water Main
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

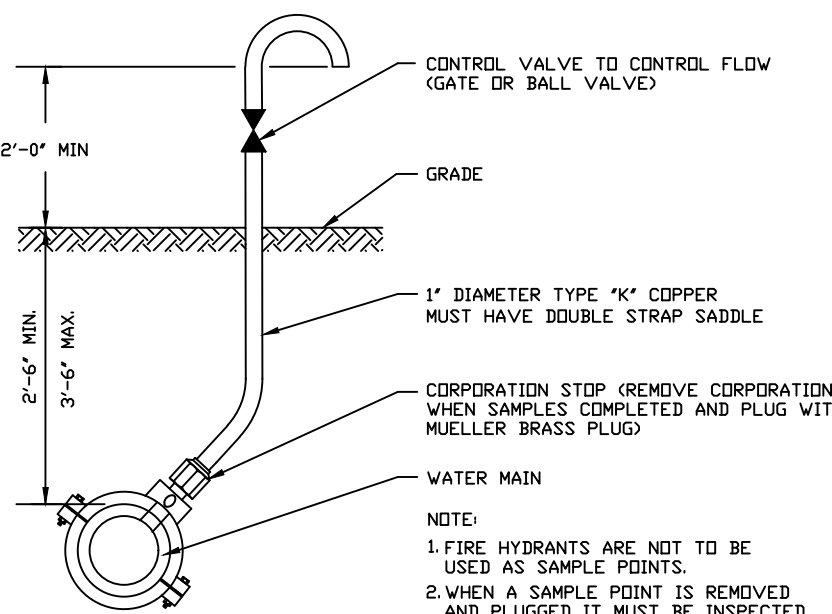
- (1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
- (2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
- (3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
- (4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.

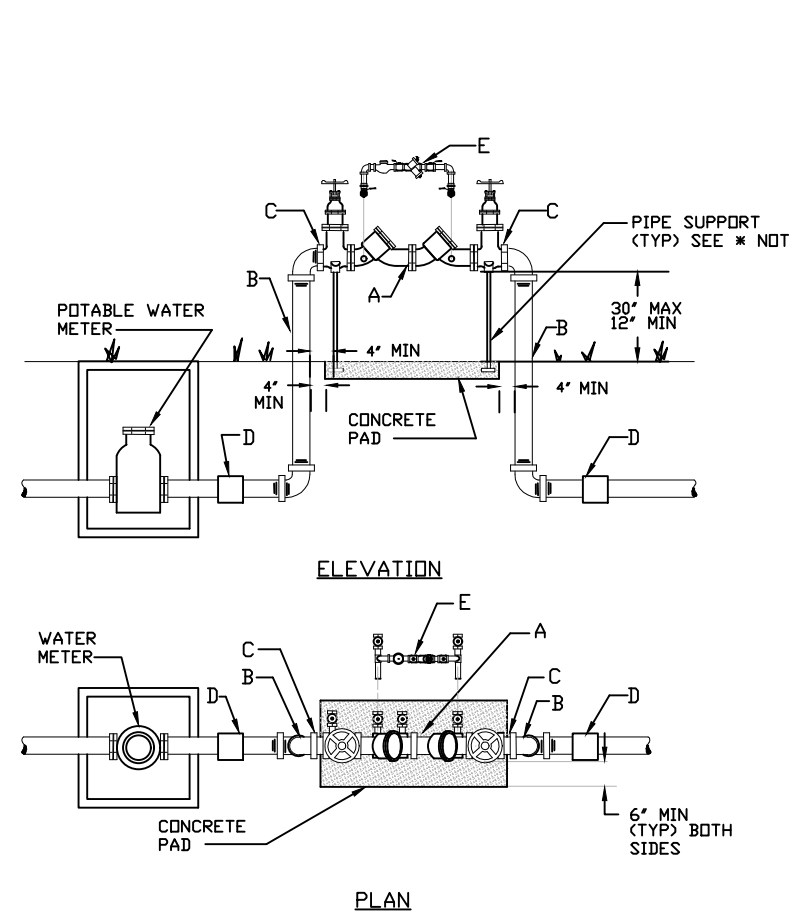


NOTES:

1. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
2. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.



SAMPLING POINT DETAIL



NOTE:

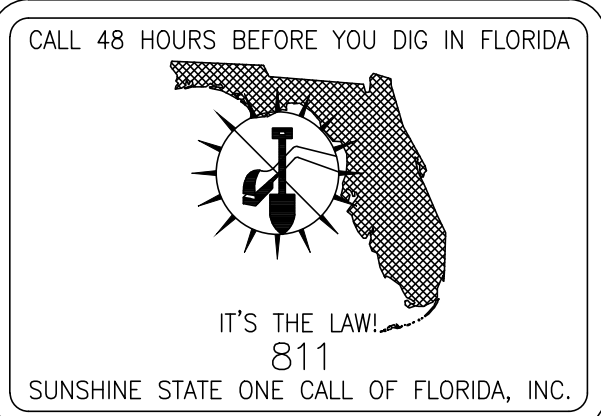
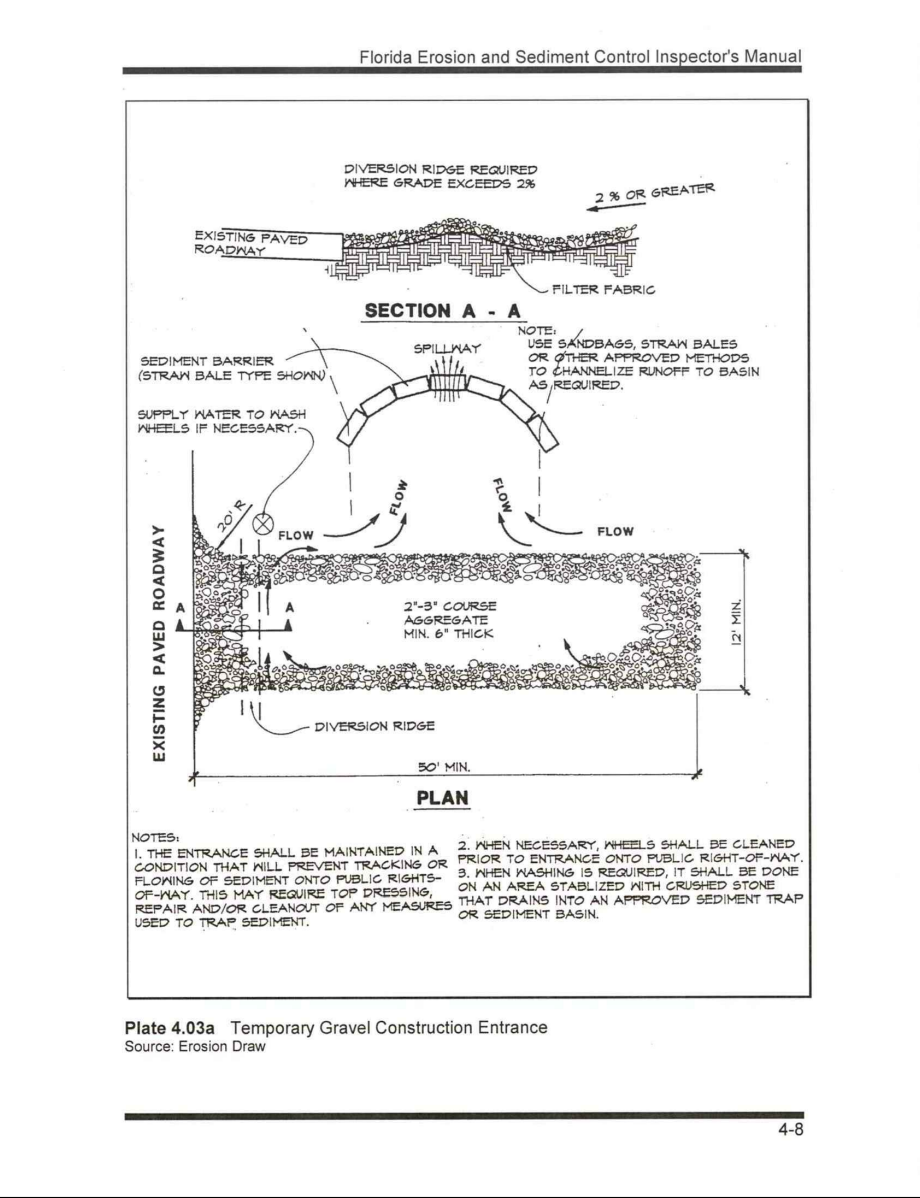
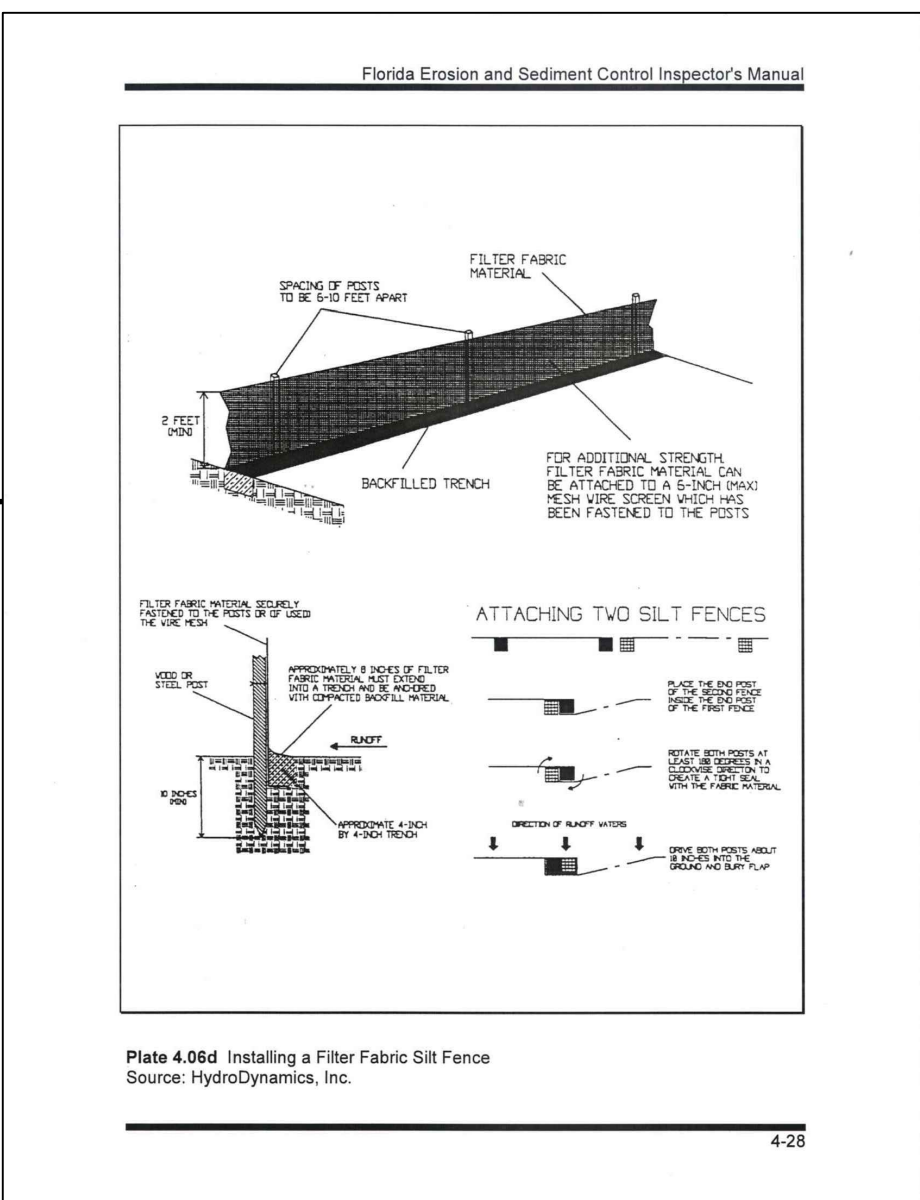
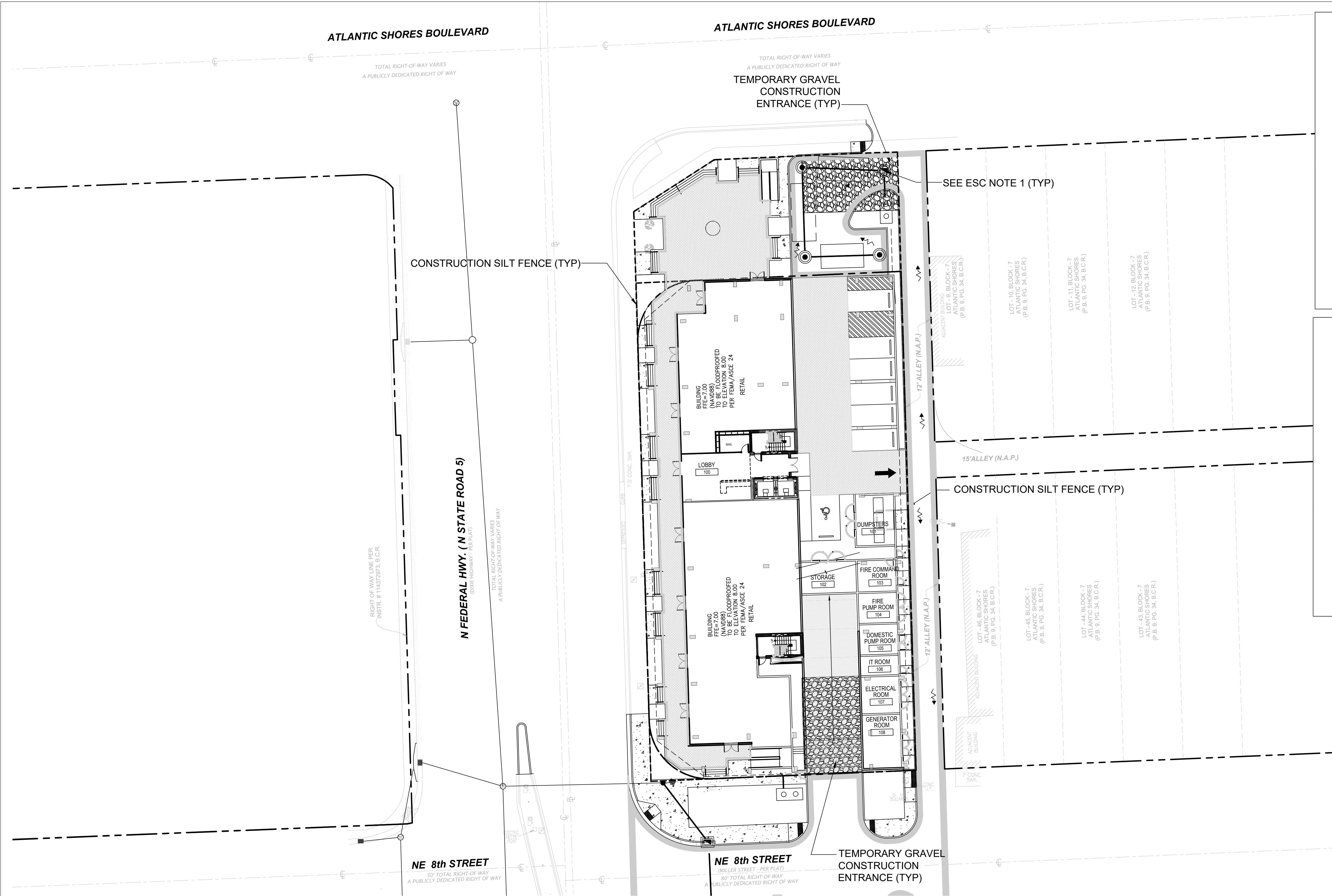
BACK-FLOW PREVENTION ASSEMBLIES LARGER THAN 2" DIAMETER SHALL BE SUPPORTED BY PIPE SUPPORTS EMBEDDED IN A CONCRETE PAD. CONCRETE PAD WILL BE SIZED TO COVER THE GROUND AREA BETWEEN THE RISERS, FOUR (4) INCHES FROM EACH RISER, AND SIX (6) INCHES BEYOND THE VERTICAL LINE OF THE ASSEMBLY ITSELF.

PIPE SUPPORTS WILL BE MADE TO CRADLE THE VALVE ON EACH SIDE OF THE CHECK VALVES, WITHOUT INTERFERING WITH THE INSERTION OR REMOVAL OF THE BOLTS ON THE FLANGE.

- A. REDUCED PRESSURE PRINCIPLE OR DETECTOR DOUBLE-CHECK VALVE OR DOUBLE-CHECK VALVE ASSEMBLY, WITH DS & Y VALVES AS PROVIDED BY MANUFACTURER.
- B. RISER SHALL BE COPPER PIPE, TYPE K- HARD TEMPER, OR BLACK IRON, OF APPROPRIATE SIZE.
- C. IF DISSIMILAR METALS ARE USED, THE PIPING WILL BE JOINED TO THE ASSEMBLY WITH A DIELECTRIC COUPLING OR FLANGE TO PREVENT ELECTROLYSIS.
- D. RISER SHALL BE JOINED TO THE WATER LINE ON THE HORIZONTAL RUN. IF DISSIMILAR METALS ARE INVOLVED, A DIELECTRIC COUPLING WILL BE USED TO PREVENT ELECTROLYSIS.
- E. METER ASSEMBLY ON THE DETECTOR DOUBLE CHECK VALVE ASSEMBLY ONLY.
- F. CHAIN AND LOCK DS & Y VALVES IN OPEN POSITION.
- G. PAINT ALL ABOVE GROUND PIPING AND BACKFLOW PREVENTORS WITH APPROVED PAINT. SUBMIT PAINT SAMPLES TO ARCHITECT FOR APPROVAL.

DOUBLE CHECK DETECTOR ASSEMBLY AND DOUBLE CHECK BACKFLOW PREVENTER

2'-1/2" AND ABOVE



NPDES

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND OR CONSTRUCTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD, MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

ESC NOTES:

DRAINAGE STRUCTURES INSTALLED TO BE PROTECTED WITH FILTER FABRIC AND/OR PERIMETER SILT FENCE.

THIS PLAN REFLECTS THE ENGINEER'S SUGGESTION FOR EROSION AND SEDIMENT CONTROL. SITE OPERATOR TO MODIFY PLAN AS NEEDED TO MAINTAIN "BEST MANAGEMENT PRACTICES" DURING CONSTRUCTION.

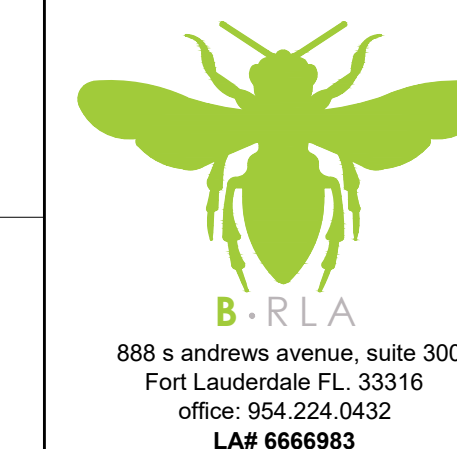


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E. ON Jul 26, 2022

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES



Scale:	Date:
1"=20.0'	12/13/21
Job No.	Plot Date
15-1273.05	04/29/22
Drawn by	Sheet No.
DRS	ESC
Proj. Engr.	
DRS	
Appr. by	1 of 1
DRS	



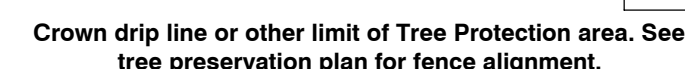
601 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

[illegible]

PROJECT NUMBER:
DRAWN BY: nb
CHECKED BY: nb

SHEET NUMBER:

L-1



Notes:

- 1- See specifications for additional tree protection requirements.
- 2- If there is no existing irrigation, see specifications for watering requirements.
- 3- No pruning shall be performed except by approved arborist.
- 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
- 5- See site preparation plan for any modifications with the Tree Protection area.

- Tree Protection fence: High density polyethylene fencing with 3.5" x 1.5" openings; Color-orange. Steel posts installed at 8' o.c.
- 2" x 6" steel posts or approved equal.
- 5" thick layer of mulch.
- Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.



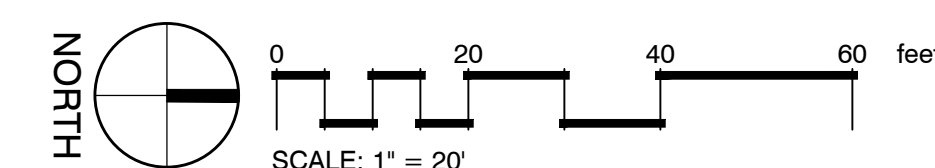
URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE

$$1/4^{\circ} = 1'-0"$$

FX-PL-FX-TRMT-02

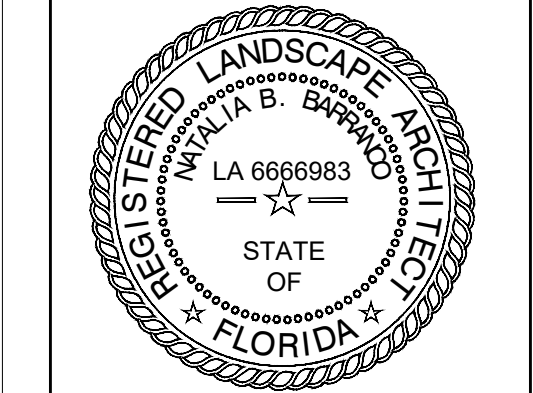
MITIGATION VALUE TO BE DETERMINE BY
CHAPTER 29

Tree #	Common Name	Species	Cal (inches)	Height (feet)	SPR (feet)	Condition	DISPOSITION
1	Roebellini	<i>Phoenix roebelinii</i>	3	4'ct	6	poor	REMOVE
2	Live Oak	<i>Quercus virginiana</i>	18	35	45	good	TRANSPLANT
3	Live Oak	<i>Quercus virginiana</i>	18	35	45	good	TRANSPLANT
4	dracena	<i>Dracena spp</i>	1	3	2	poor	REMOVE
5	Spindle Palm	<i>Hyophorbe verschaffeltii</i>	10	6'CT	15	fair	REMOVE
6	Spindle Palm	<i>Hyophorbe verschaffeltii</i>	11	6'CT	16	fair	REMOVE
7	Spindle Palm	<i>Hyophorbe verschaffeltii</i>	12	6'CT	17	fair	REMOVE
8	Ficus	<i>Ficus benjamina</i>	4	6	6	poor	REMOVE Hedge
9	Ficus	<i>Ficus benjamina</i>	4	6	6	poor	REMOVE Hedge
10	Ficus	<i>Ficus benjamina</i>	4	6	6	poor	REMOVE Hedge
11	Queen Palm	<i>Syaarus romanzoffiana</i>	10	14'CT	25	poor	REMOVE



- TREE #2 & TREE #3 will be transplanted off site within Hallandale Beach at Atlantic Village 3 project.

- ROOT BARRIER SHALL BE USED IN ALL LANDSCAPE ISLANDS AND ALONG ALL PUBLIC SIDEWALKS WITH TREES. TEN LINEAR FEET PER TREE.
- SILVA CELLS OR EQUAL TO BE INSTALLED UNDER HARDSCAPE AS INDICATED ON PLAN 24" DEPTH FOR REQUIRED SOIL VOLUMES FOR SHADE TREES
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS PER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, -CURRENT EDITION
- TREES, PALMS, SHRUBS, GUARANTEED FOR ONE (1) YEAR
- APPLY 3" OF MELALEUCA MULCH (ARSENIC FREE) AROUND PLANTS PER FLORIDA FRIENDLY LANDSCAPING STANDARDS.
- CONTRACTOR PLANT SIZE IS THE MINIMUM ACCEPTABLE SIZE. PLANT AVAILABILITY IS LOW, ASSUME TO SIZE UP NOT DOWN.
- TREES ALONG SIDEWALKS SHALL REQUIRE 6' CLEAR TRUNK
- IRRIGATION PLANS SHALL BE SUBMITTED AT PERMITTING. IRRIGATION SHALL HAVE 100% COVERAGE, 100% OVERLAP AND WITH NO OVER-SPRAY ON SIDEWALKS. RAIN SENSOR SHALL BE PROVIDED.
- IF A DISCREPANCY OCCURS IN DRAWING QUANTITIES, LABEL, PLANT NAME, THE PLAN TAKES PRECEDENTS, CONTRACTOR TO MAKE OWNER/OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT AWARE OF ANY DISCREPANCY IN DRAWINGS.



B

ATLANTIC VILLAGE IV

601 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.

CLIENT:

[illegible]

DESIGN
DELIVERABLE:

A ISSUE DATE:

PROJECT NUMBER:

CHECKED BY: nb

SHEET TITLE:

LANDSCAPE
PLAN

SHEET NUMBER:

L-2

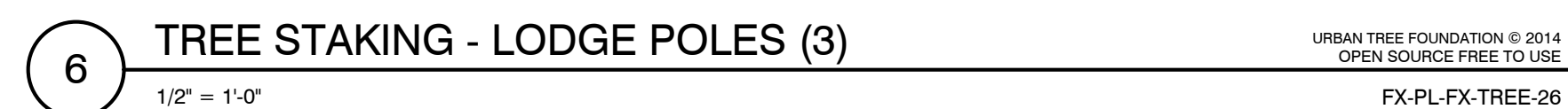
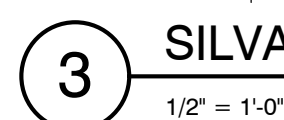
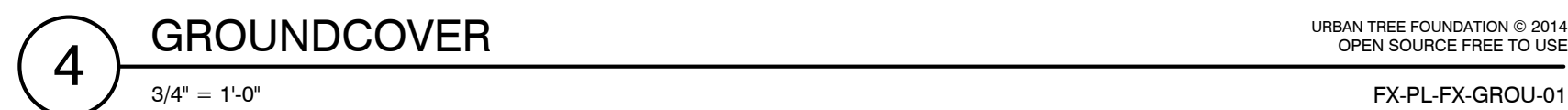
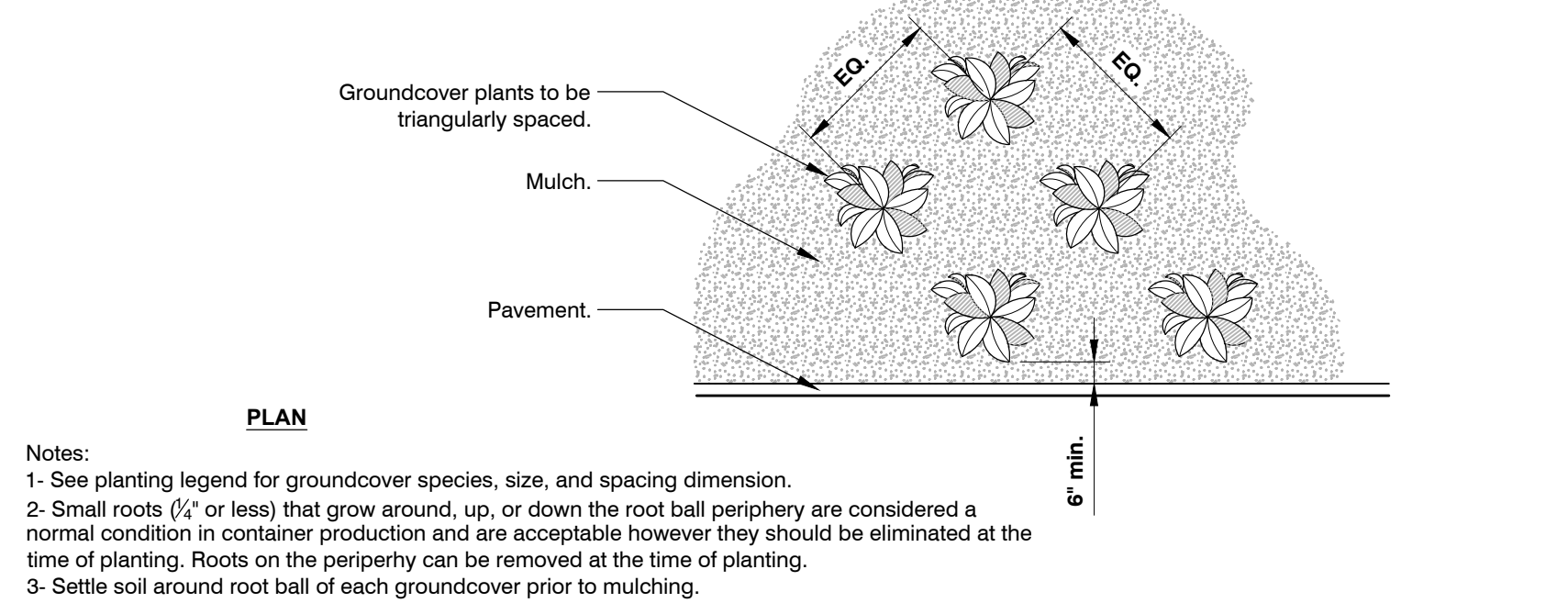
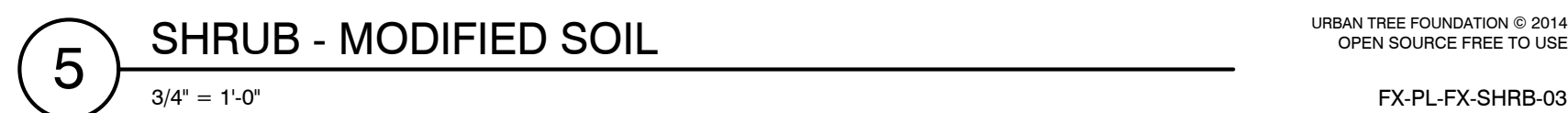
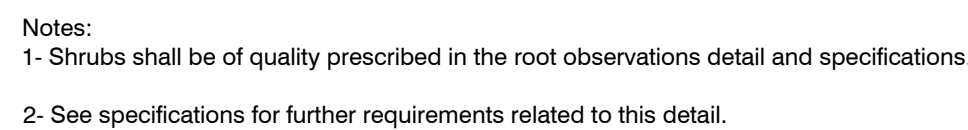
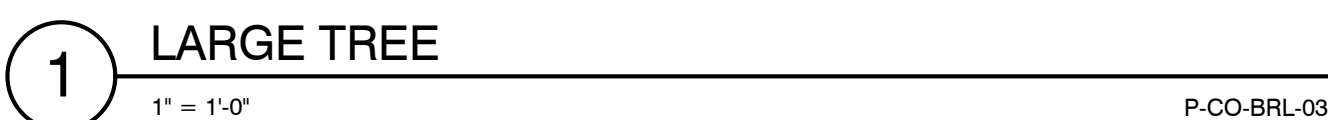
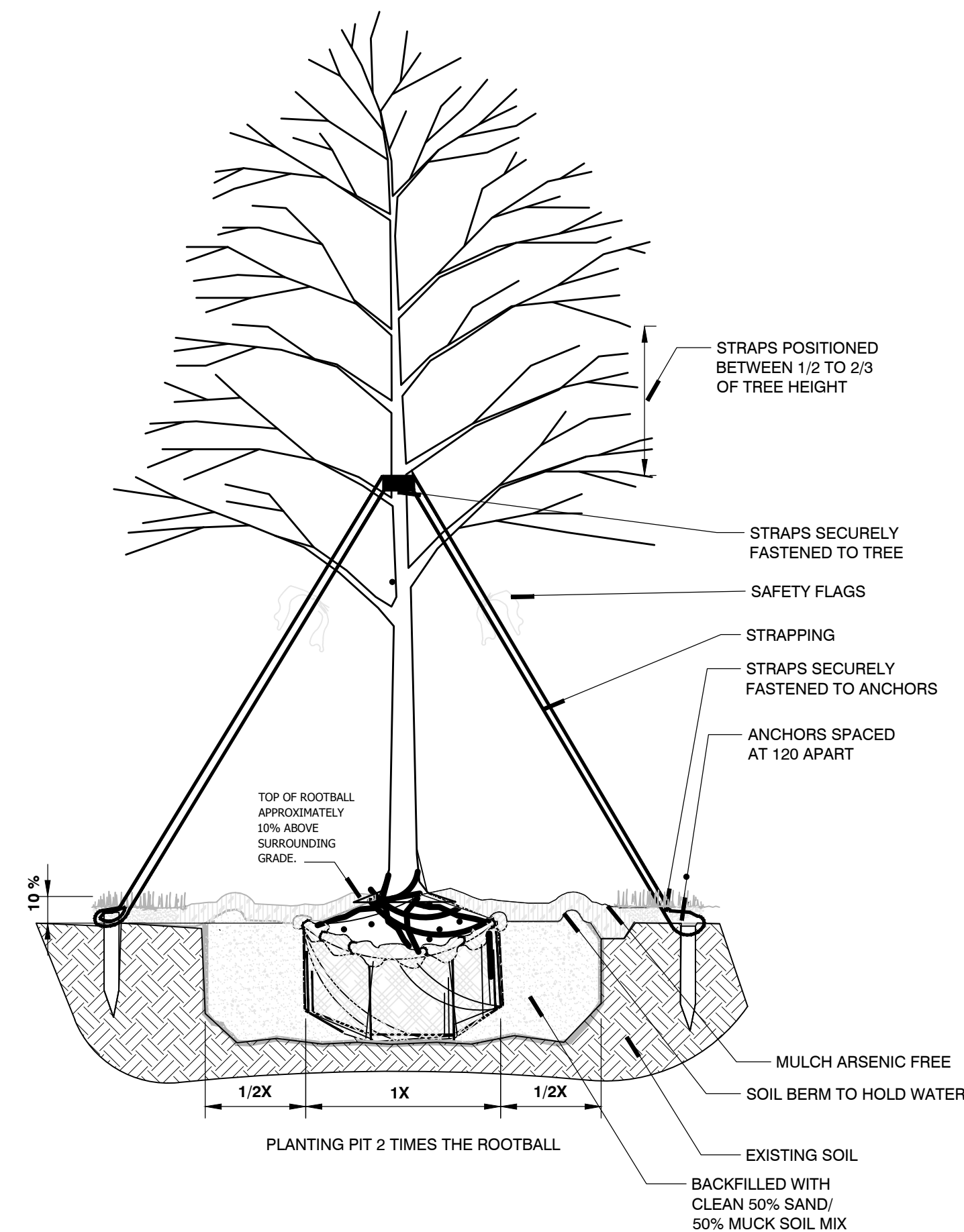
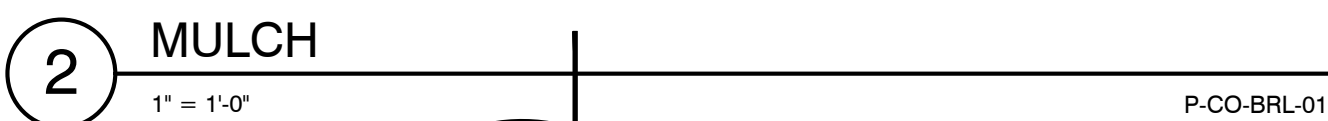
<u>TREES</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>GAL</u>	<u>QUALITY</u>	<u>MIN PLANT SIZE</u>	<u>MATURE SIZE</u>	<u>DROUGHT</u>	<u>NATIVE</u>
CD	10		<i>Coccoloba diversifolia</i>	Pigeon Plum	3" Cal.	FL #1 OR BETTER	15' STD	40' x 35'	HIGH	NATIVE/FL-FRIEND
ED	7		<i>Elaeocarpus decipiens</i> TM	Japanese Blueberry Tree	3" Cal.	FL #1 OR BETTER	16' h x 6'-8' w, 5' CT	40'X 35'	HIGH	FL-FRIENDLY
LN	5		<i>Lagerstroemia indica</i> x <i>fauriei</i> 'Natchez'	Natchez Grape Myrtle	3" Cal.	FL #1 OR BETTER	15' STD	25' x 25'	HIGH TOLERANCE	FI-FRIENDLY, FPL

<u>SHRUB AREAS</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTE</u>	<u>ADD. INFO</u>	<u>PLANTED SIZE</u>	<u>MATURE SIZE</u>	<u>DROUGHT</u>	<u>NATIVE</u>	<u>SPACING</u>
FG	116		<i>Ficus microcarpa</i> 'Green Island'	Green Island Ficus	3 gal	14"x14"	FULL	Maintained 36" or less	HIGH	FL-FRIENDLY	24" o.c.
GF	32		<i>Gardenia jasminoides</i> 'Prostrata'	Dwarf Gardenia	FL#1 or BETTER	FULL BUSH	24" x 24"	Maintained 36" or less	MEDIUM	FL-FRIENDLY	30" o.c.
IS	55		<i>Ilex vomitoria</i> 'Stokes Dwarf'	Dwarf Ilex	3 gal	18" x 18" FULL	ROUND BUSH	Maintained Rounded	HIGH	NATIVE	30" o.c.
IV	107		<i>Iris virginica</i>	Blue Flag Iris	FL#1 or BETTER	18" x 18"	FULL	36" x 36"	HIGH	NATIVE/FL FRIEND	24" o.c.
MS	82		<i>Mertensia scolopendrum</i>	Mert Fern	3gal	18" x 18" FULL	3' x 3'	3' x 3'	MED	FL-FRIENDLY	30" o.c.
TD	26		<i>Tripsacum dactyloides</i> nana	Dwarf Fakahatchee	3 gal	24"x24"	FULL	3' x 3'	HIGH	NATIVE	36" o.c.

<u>GROUND COVERS</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
AG	685 sf		<i>Arachis glabrata</i>	Perennial Peanut

<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>GAL</u>	<u>QUALITY</u>	<u>MIN PLANT SIZE</u>	<u>MATURE SIZE</u>	<u>DROUGHT</u>	<u>NATIVE</u>	
CD	1	Coccoloba diversifolia	Pigeon Plum	3" Cal.	FL #1 OR BETTER	15' STD	40' x 35'	HIGH	NATIVE, FL-FRIEND	
ED	1	Elaeocarpus decipiens TM	Japanese Blueberry Tree	3" Cal.	FL #1 OR BETTER	16' h x 6-8' w, 5' CT	40'X 35'	HIGH	FL-FRIENDLY	
LN	12	Ilex cassine	Dahoon Holly	3" Cal.	FL #1 OR BETTER	15' STD	30'X15'	MED	NATIVE, FL-FRIEND, FFL	
LN	2	Lagerstroemia indica x fauriei 'Natchez'	Natchez Grape Myrtle	3" Cal.	FL #1 OR BETTER	15' STD	25' x 25'	HIGH TOLERANCE	FL-FRIENDLY, FFL	
<u>SHRUB AREAS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>NOTE</u>	<u>ADD. INFO</u>	<u>PLANTED SIZE</u>	<u>MATURE SIZE</u>	<u>DROUGHT</u>	<u>NATIVE</u>	<u>SPACING</u>
CH	18	Chrysobalanus icaco 'Horizontalis'	Cocoplum	3 gal	24"x24"	FULL	20' x 20'	MED	NATIVE	30" o.c.
CG	53	Clusia guttifera	Small leaf Clusia	FL#1 or BETTER	FULL SHRUB	30" x 30"	Maintain as hedge	NATIVE	NATIVE, FL FRIEND	30" o.c.
FG	10	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	14"x14"	FULL	Maintained 36' or less	HIGH	FL-FRIENDLY	24" o.c.
GP	6	Gardenia jasminoides 'Prostrata'	Dwarf Gardenia	FL#1 or BETTER	FULL BUSH	24" x 24"	Maintained 36' or less	MEDIUM	FL-FRIENDLY	30" o.c.
IS	22	Ilex vomitoria 'Stokes Dwarf'	Dwarf Ilex	3 gal	18" x 18" FULL	ROUND BUSH	Maintained Rounded	HIGH	NATIVE	30" o.c.
LM	26	Liriope muscari	Lilyturf	CONTINUOUS COVERAGE		FULL	12" x 12"	MEDIUM	FL-FRIENDLY	16" o.c.
MS	96	Microsorium scolopendrum	Mart Fern	3gal	18" x 18" FULL	FULL	3' x 3'	MED	FL-FRIENDLY	30" o.c.
TD	6	Tripsacum dactyloides nano	Dwarf Fakahatchee	3 gal	24"x24"	FULL	3' x 3'	HIGH	NATIVE	36" o.c.
<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>							
AG	150 sf	Arachis glabrata	Perennial Peanut							

Landscape Area Requirements			
	Site	22,948	sqft
RAC Corridor SubDistrict	REQUIRED		PROVIDED
5% LANDSCAPE		1,147	1,274
1 TREE PER 1500 SQFT required		15	16
Street trees	REQUIRED		PROVIDED
US 1 (299')		12	12
NE 8th street (110')		5	5
Atlantic Shores BLVD (110')		5	5
TOTAL STREET TREES		22	22
TOTAL SITE TREES (site & street)		37	38
TREE DIVERSITY	4 species		4 species
Drought tolerant trees	50%		100%
Native trees	50%		59%
Turf max 70% (1147sqft)	807 max		0
hedger- drought	30%		100%



- | | | | |
|----|--|----|--|
| 1 | UNDERDRAIN SYSTEM, WHEN REQUIRED
(LOCATION AND DETAILS BY OTHERS) | 13 | PLANTING SOIL, PER PROJECT SPECIFICATIONS,
PLACED IN LIFTS AND WALK-IN COMPACTED TO
75-85% PROCTOR |
| 2 | PAVEMENT AND AGGREGATE BASE PER PROJECT | 14 | CABLE TIE, ATTACHING GEOGRID TO SILVA CELL,
AT BASE OF UPPER LEG FLARE, AS NEEDED |
| 3 | DEEPROOT WATER AND AIR VENT, ROOTBALL,
WHEN REQUIRED | 15 | GEOTEXTILE FABRIC TO EDGE OF EXCAVATION |
| 4 | RIBBON CURB AT TREE OPENING (TO BE USED
WITH PAVERS OR ASPHALT) | 16 | COMPACTED BACKFILL, PER PROJECT
SPECIFICATIONS |
| 5 | DEEPROOT ROOT BARRIER, 12" OR 18" DEPTH
DETERMINED BY THICKNESS OF PAVEMENT
SECTION, INSTALL DIRECTLY ADJACENT TO
CONCRETE EDGE RESTRAINT | 17 | GEOGRID, WRAPPED AROUND PERIMETER OF
SYSTEM, WITH 6" TOE (OUTWARD FROM BASE)
AND 12" EXCESS (OVER TOP OF DECK) |
| 6 | ROOT BALL | 20 | ANCHORING SPIKES, CONTACT DEEPROOT FOR
ALTERNATIVE |
| 7 | TREE OPENING TREATMENT, PER PROJECT
SPECIFICATIONS | 18 | 1" TO 6" SPACING BETWEEN SILVA CELLS AT BASE |
| 8 | DEEPROOT WATER AND AIR VENT, ROOTBALL,
WHEN REQUIRED | 19 | SUBGRADE, COMPACTED |
| 9 | THICKENED EDGE AT TREE OPENING (TO BE USED
WITH PAVERS OR ASPHALT) | 21 | GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE |
| 10 | SILVA CELL SYSTEM (DECK, BASE, AND POSTS) | 22 | 4" MIN AGGREGATE SUB BASE, COMPACTED TO
95% PROCTOR |
| 11 | PAVEMENT AND AGGREGATE BASE PER PROJECT | 23 | SILVA CELL SYSTEM (DECK, BASE, AND POSTS) |
| 12 | DEEPROOT WATER AND AIR VENT, WHEN
REQUIRED | 24 | PLANTING SOIL BELOW ROOT BALL, COMPACTED
WELL TO PREVENT SETTLING |
| | | 25 | SILVA CELL BASE SLOPE, 10% MAX |

NOTES:

- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- PROVIDE SUPPLEMENTAL IRRIGATION
- CALLOUTS 1,3,8, AND 12 ARE OPTIONAL SYSTEM COMPONENTS

*MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING	
PAVEMENT	+ AGGREGATE BASE COURSE
4" CONCRETE.....	+4" AGGREGATE
3" PAVER	+12" AGGREGATE
4" ASPHALT	+12" AGGREGATE
2.6" PAVER	+5" CONCRETE



88 s andrews avenue, suite 300
Fort Lauderdale FL. 33316
office: 954.224.0432
LA# 6666983

ATLANTIC VILLAGE IV

HALLANDALE BEACH, FL.

CLIENT:

[illegible]

DESIGN
DELIVERABLE:
ISSUE DATE:

PROJECT NUMBER:
DRAWN BY: nb
CHECKED BY: nb

SHEET TITLE:

**LANDSCAPE
DETAILS**

SHEET NUMBER:

-3