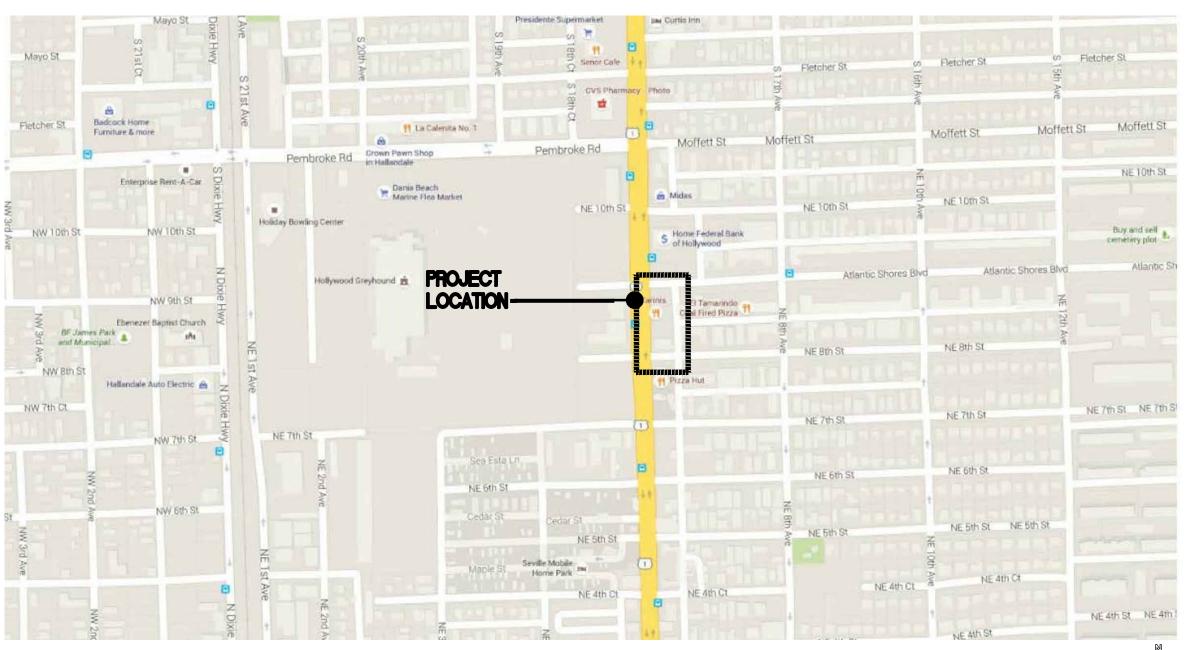
ATLANTIC VILLAGE IV

Exhibit 8

800 N. FEDERAL HIGHWAY HALLANDALE BEACH, FL.







LOCATION MAP

ARCHITECT

SYNALOVSKI ROMANIK SAYE, LLC.

1800 ELLER DRIVE. SUITE 500 FORT LAUDERDALE, FL 33316 PH: 954-961-6806 FAX: 954-961-6807

LANDSCAPE ARCHITECT

BARRANCO, RLA INC.

888 S ANDREWS AVENUE. SUITE 300 FORT LAUDERDALE, FL 33316 PH:954-667-7814

CIVIL ENGINEER

FLYNN ENGINEERING SERVICES

241 COMMERCIAL BLVD LAUDERDALE BY THE SEA, FL.33308 PH:954-522-1004 FAX:954-522-7630

OWNER / DEVELOPER

ATLANTIC VILLAGE 4, LLC.

801 N. FEDERAL HIGHWAY. SUITE 221 HALLANDALE BEACH, FL 33009 PH: 954-374-9225

TRAFFIC ENGINEER

KIMLEY-HORN

1920 WEKIVA WAY, SUITE 200. WEST PALM BEACH, FL 33411 PH: 561-845-0665

DRAWING INDEX

T-001	COVER SHEET
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WATER AND SEWER DETAILS
GENERAL NOTES AND SPECIFICATIONS

DESIGN DELIVERABLE: ISSUE DATE: 12/17/2021

PROJECT NUMBER: 1651-210510 DRAWN BY: JS CHECKED BY: MS Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC All Rights Reserved.

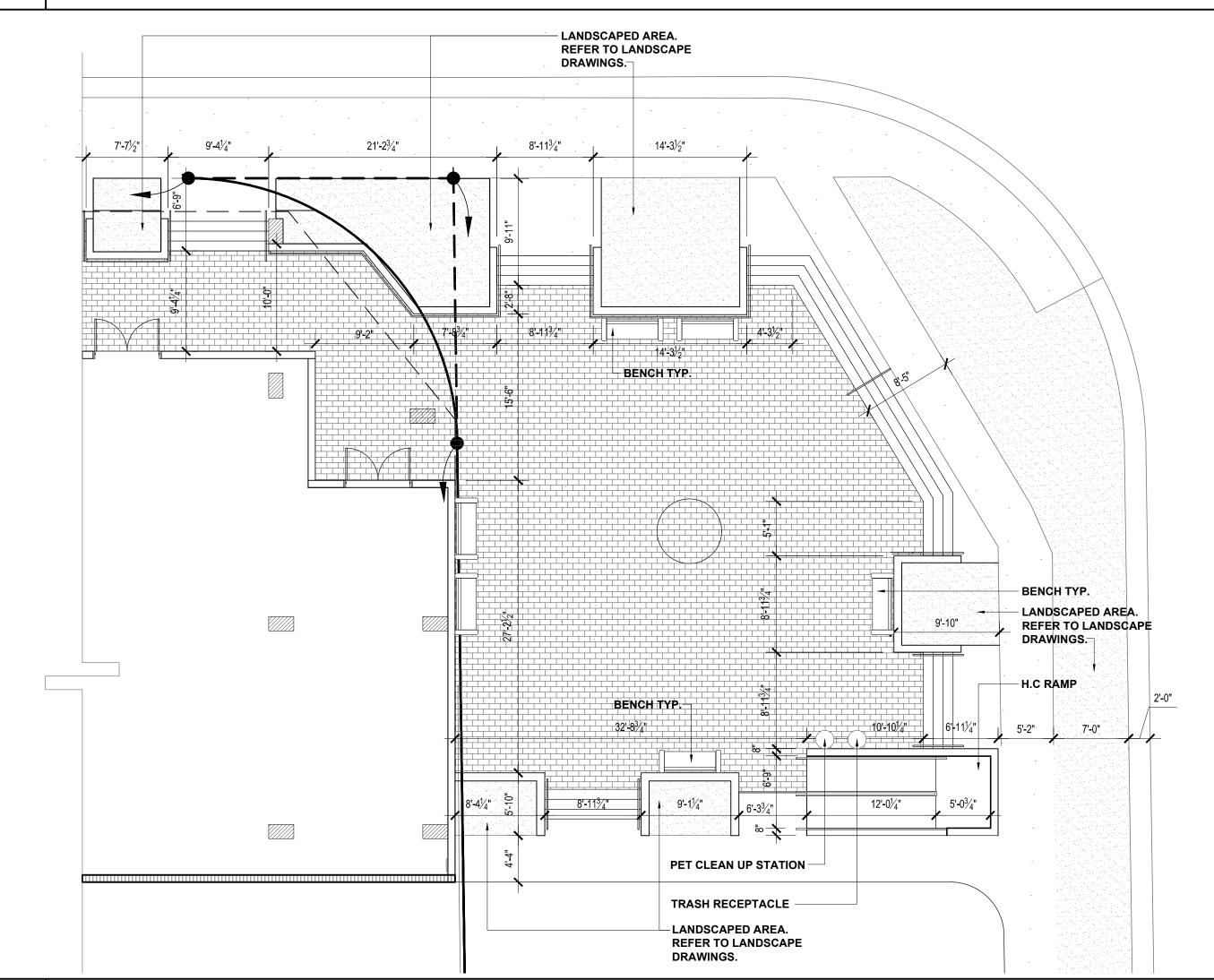
COVER SHEET

T-001

					BUILDING DATA						
BUILDING / STORY	BUILDING USE	GROSS BUILDING AREA	COVERED EXTERIOR COMMON AREA	GARAGE PARKING AREA	NET AREA FOR PARKING CALCULATIONS	PARKING RATIO	OFF-STREET PARKING REQUIRED	OFF-STREET PARKING PROVIDED	R.O.W. PARKING PROVIDED	ADA P REQUIRED	ARKING PROVIDED
	RET./ REST.	7,745 S.F.	3,008 S.F.	N/A	7,745 S.F. (GLA)	1/300 S.F	26 SPACES	N/A			
GROUND FLOOR	COMMON/ SERVICE AREA	4,672 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	_		
	GARAGE	N/A	N/A	4,033 S.F.	N/A	N/A	N/A	7 SPACES			
SECOND FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	42 SPACES			
THIRD FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES			
FOURTH FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES			
FIFTH FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES		FDC 400F00	TABLE 200 2
SIXTH FLOOR	GARAGE	N/A	N/A	21,476 S.F.	N/A	N/A	N/A	54 SPACES		FBC ACCESS.	TABLE 208.2
SEVENTH FLOOR	GARAGE	N/A	N/A	14,189 S.F.	N/A	N/A	N/A	34 SPACES			
EIGHTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
NINTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
TENTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
ELEVENTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
TWELFTH FLOOR	OFFICE	18,547 S.F.	N/A	N/A	18,266 S.F. (GFA)	1/300 S.F	61 SPACES	N/A			
TOTAL		105,152 S.F.	3,008 S.F.	125,602 S.F.	99,075 S.F.		331 SPACES	(*) 298 SPACES	2 SPACES	7 SPACES	7 SPACES

(*) REQUEST FOR REDUCTION OF 33 SPACES PER SEC. 32-455(c)(1), EQUAL OR LESS THAN 10% OF TOTAL REQUIRED PARKING. 1 "TYPE I" (12' X 30') LOADING ZONE REQUIRED PER TABLE 32-203(b). (RAM)

BUILDING AREA/ PARKING CALCULATIONS



RAC CORRIDOR / DESIGN SUBDISTRICT REQUIREMENTS TABLE 32-195(a) REQUIRED PROVIDED LOT WIDTH 50' MIN. 208'-10" 5,000 S.F. MIN./ 22,948 S.F. LOT AREA 100,000 S.F. MAX. LOT COVERAGE 95% MAX. 94.45% LANDSCAPE AREA 5% MIN. 5.55% FEDERAL HWY. 15' MIN. / 13'-1" SETBACK 20' MAX. ATLANTIC SHORES BLVD. 10' MIN. / PRIMARY STREET SETBACK 15' MAX. 0'-3" (RAM) SECONDARY STREET NE 8TH ST. 0'-8" (RAM) 10' MIN. SETBACK NE 8TH ST. 0'-0" (RAM) STREET SETBACK ABOVE N. FEDERAL HWY. 0'-1" (RAM) 20' MIN. THE 5TH STORY ATL. SHORES BLVD. 0'-3" (RAM) INTERIOR SIDE SETBACK 0' MIN. N/A SIDE SETBACK ABOVE 30' MIN. N/A THE 5TH STORY 3'-0" (RAM) REAR SETBACK 10' MIN. REAR SETBACK ABOVE 30' MIN. 3'-0" (RAM) THE 5TH STORY BUILDING FRONTAGE ON 75% MIN. / FEDERAL HWY. 100% MAX. PRIMARY STREETS 194'-8" = 93.21% MIN. HEIGHT PRIMARY 2 STORIES, OR 3 STORIES (PER SEC. 32-194) STREETS 1 STORY 20 FT. HIGH 13 STORIES (PER SEC. 32-194) MAX. BUILDING HEIGHT LIMIT 15 STORIES CIVIC OPEN SPACE 5% N/A SITES 40,000 S.F. OR MORE CIVIC OPEN SPACE

DIMENSIONAL REQUIREMENTS FOR STOREFRONTS TABLE 32-201 (f)						
	REQUIRED	PROVIDED				
BUILDING SETBACK	VARIES BY SUBDISTRICT	SEE ABOVE TABLE 32-195(a)				
STOREFRONT WIDTH	70% MIN. / 100% MAX.	FEDERAL HWY. = 93.21%				
STOREFRONT BASE	1' MIN. / 3' MAX.	1'-0"				
GLAZING HEIGHT	8' MIN.	12'-4"				
GLAZING AREA	70% MIN. / 100% MAX.	FEDERAL HWY. = 95.50%				
AWNING PROJECTION	3' MIN. / 2' FROM CURB MAX.	N/A				
PEDESTRIAN BLADE SIGN PROJECTION	4' MAX.	N/A				

7.5%

SITES EXCEEDING BASE DENSITY OR BASE HEIGHT (RAM)

DIMENSIONAL REQUIREMENTS FOR ARCADE/ COLONNADES TABLE 32-201 (g)						
	REQUIRED	PROVIDED				
BUILDING SETBACK	VARIES BY SUBDISTRICT	SEE ABOVE TABLE 32-195(a)				
ARCADE/ COLONNADE DEPTH	10' MIN. / 20' MAX.	10'-0"				
ARCADE/ COLONNADE HEIGHT	12' MIN.	14'-0"				
COLUMN/ PILLAR TO FACE OF CURB	2' MIN. / 4' MAX.	N/A - 11'-2" (PER FDOT AND BROWARD COUNTY R.O.W. REQUIREMENTS)				
ARCADE/ COLONNADE SETBACK ENCROACHMENT	VARIES BY STREET	N/A				
PEDESTRIAN BLADE SIGN PROJECTION	4' MAX.	N/A				

FIRE DEPARTMENT REQUIREMENTS:

- APPROVAL DOCUMENTATION AND SHOP DRAWINGS WITH ARCHITECT'S OR ENGINEER'S OF RECORD APPROVED STAMP TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO
- LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY PER NFPA 1-10.11.1.1. COORDINATE WITH AHJ.
- RADIO SIGNAL BOOSTER SYSTEM SHALL BE DESIGNED, FURNISHED AND INSTALLED BY A QUALIFIED BI-DIRECTIONAL AMPLIFIER SYSTEM PROVIDER.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, 4, 5, 6, 7 AND 8, LESS THE WESTERLY ONE FOOT, BLOCK 7, ATLANTIC SHORES DIXIE HIGHWAY SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 34, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE INFORMATION:

CURRENT ZONING: TRANSITIONAL MIXED USE SUBDISTRICT PROPOSED RE-ZONING TO: RAC CORRIDOR SUBDISTRICT PROPOSED USE: RETAIL / OFFICE / RESTAURANT UTILITIES: ELECTRIC - FP & L

SITE CALCULATIONS

WATER AND SEWER - CITY OF HALLANDALE BEACH

TOTAL SITE AREA:	22,948 SQ. FT.	(0.53 ACRES)		
3'-0" ROW DEDICATION AREA:	525 SQ. FT.			
SITE AREA AFTER ROW DEDICATION :	22,423 SQ. FT.	(0.51 ACRES)		
TOTAL LANDSCAPE AREA:	1,274 SQ. FT.	5.55 %		
TOTAL IMPERVIOUS AREA:	21,674 SQ. FT.	94.45 %		
LANDSCAPE AREA:				
TOTAL PROVIDED:	1,274 SQ. FT.	5.55 %		

IMPERVIOUS AREA:			
TOTAL PROVIDED:	21,674 SQ. FT.	94.45 %	
BLDG. FOOTPRINT/ COVER WALK AREA	: 15,510 SQ. FT.	67.59 %	
WALKS:	404 SQ. FT.	1.76 %	
COVER VEHICULAR USE AREA (V. U. A.)	5,760 SQ. FT.	25.10 %	

LOCATION MAP





Synalovski**Romanik**Sayi Architecture • Planning • Interior Design

> 1800 Eller Drive, Suite 500 Fort Lauderdale, FL 33316 T 954.961.6806 F 954.961.6807

> > www.synalovski.com

Manuel Synalovski, AIA AR 0011628 SEAL

AR0011628

LICENSE NO. AA26001863

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	DATE	DESCRIPTION	
	03.01.2022 08.01.2022	DRC COMMENTS	
	08.01.2022	DRC COMMENTS	
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DELIVERABLE: ISSUE DATE: 12/17/2021

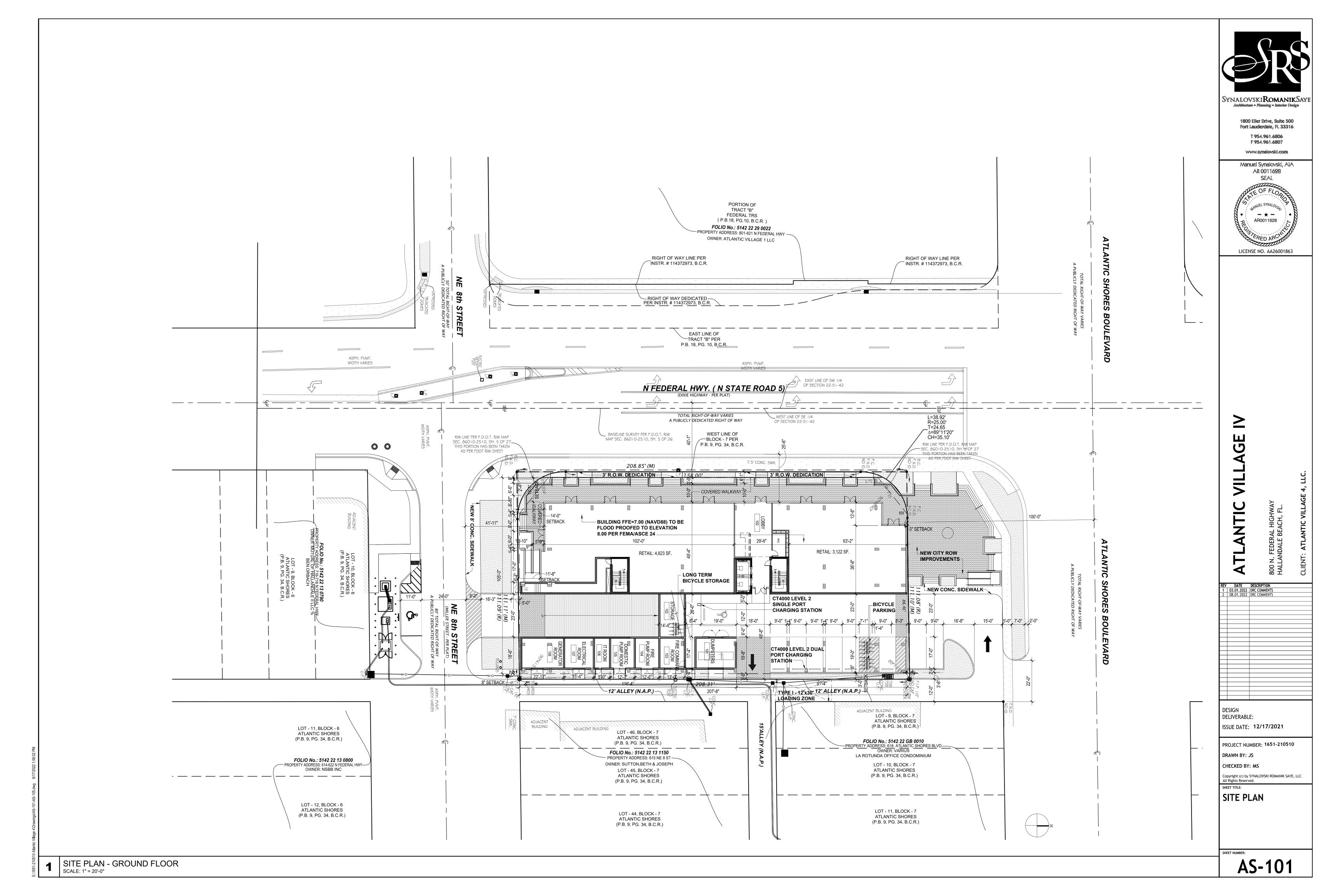
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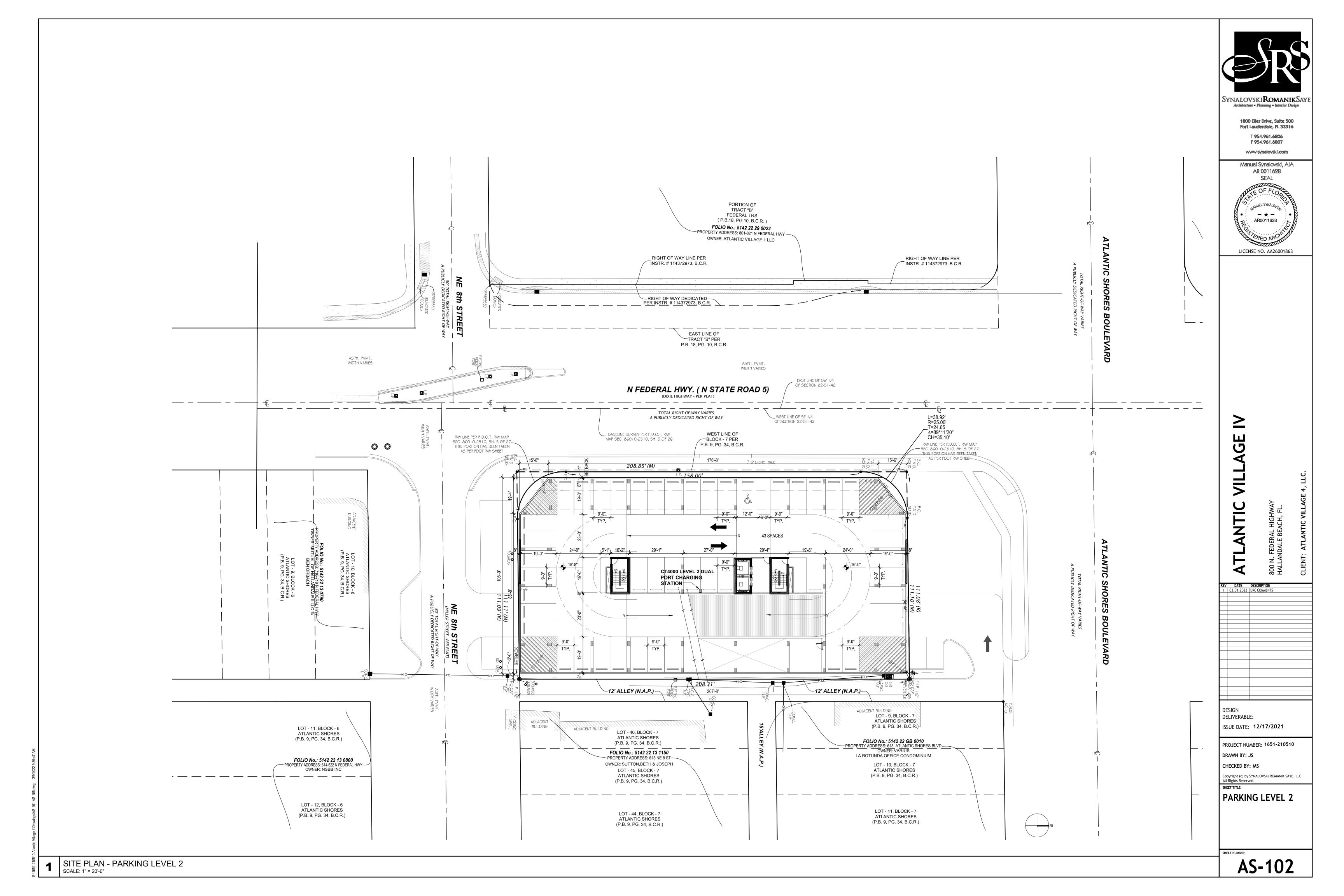
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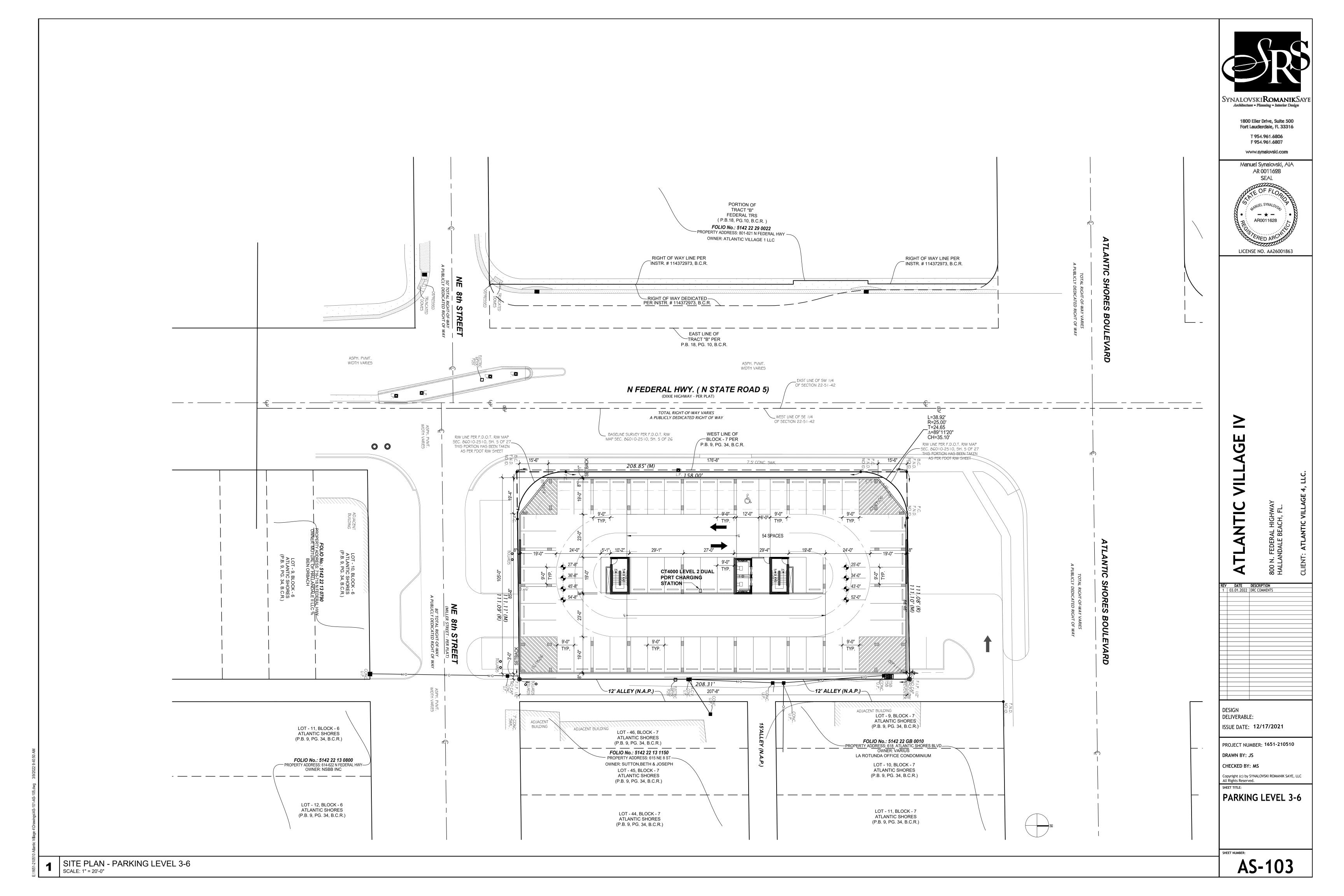
SITE CALCULATIONS/ **CODE INFORMATION**

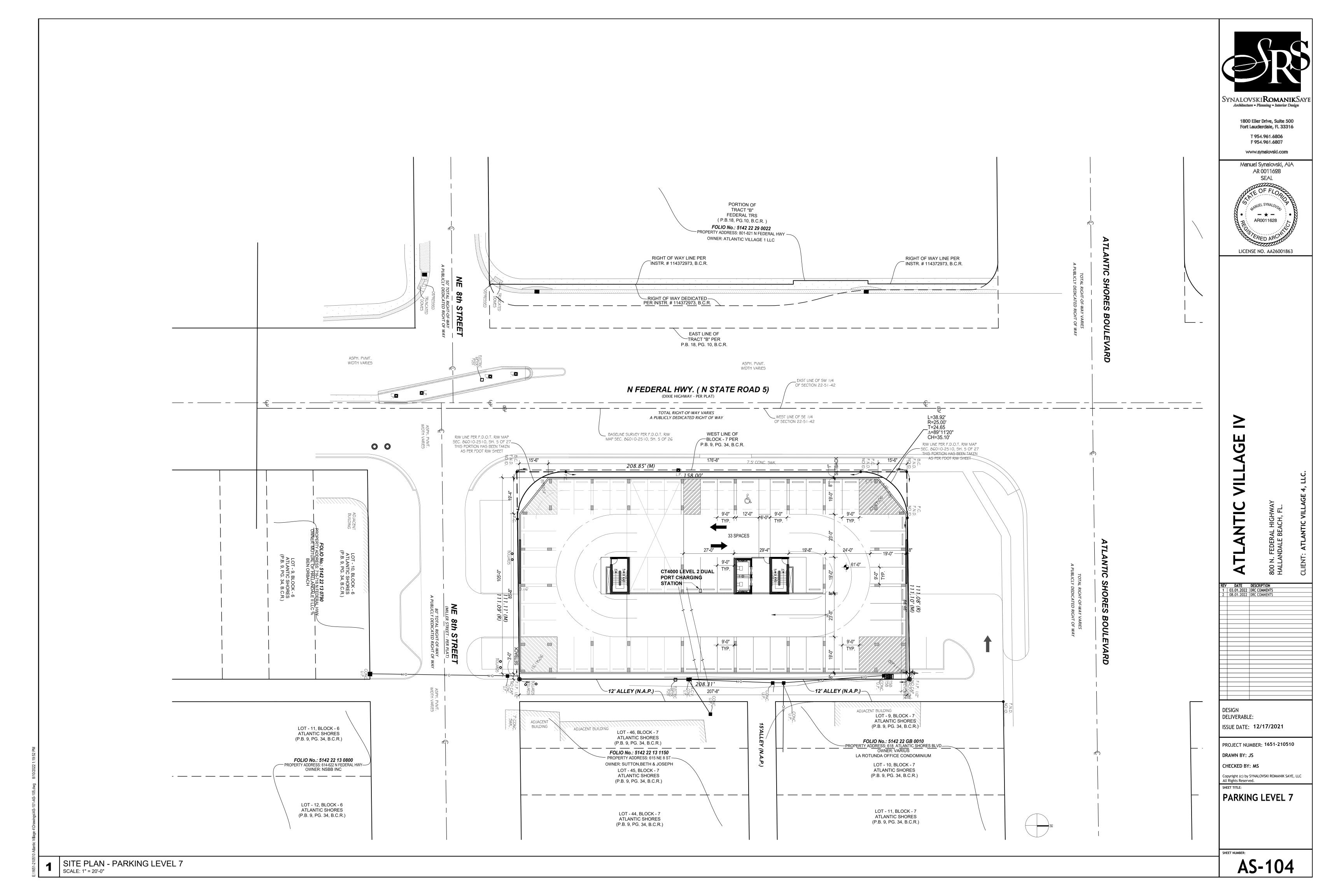
AS-001

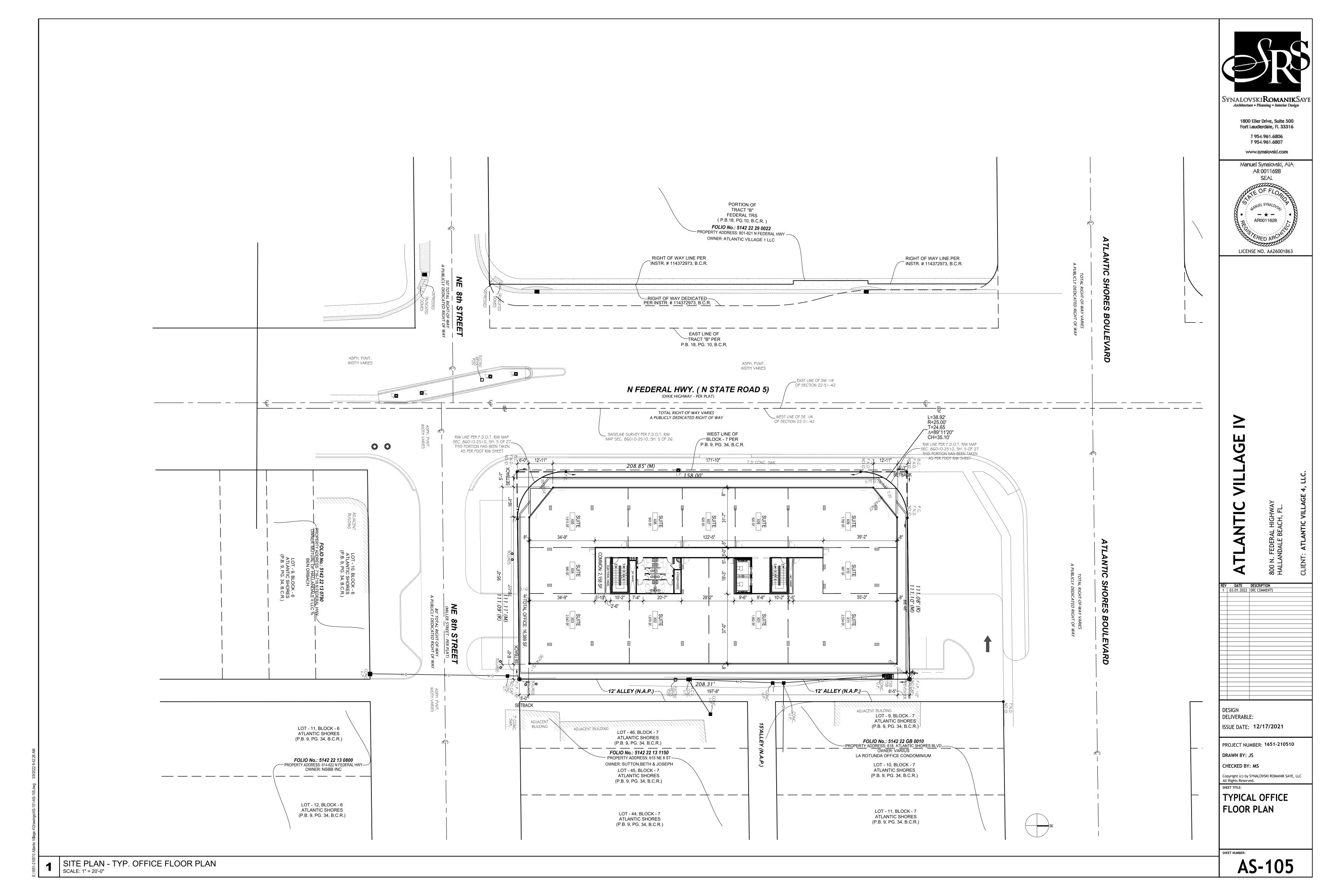
SITE INFORMATION / CODE REQUIREMENTS

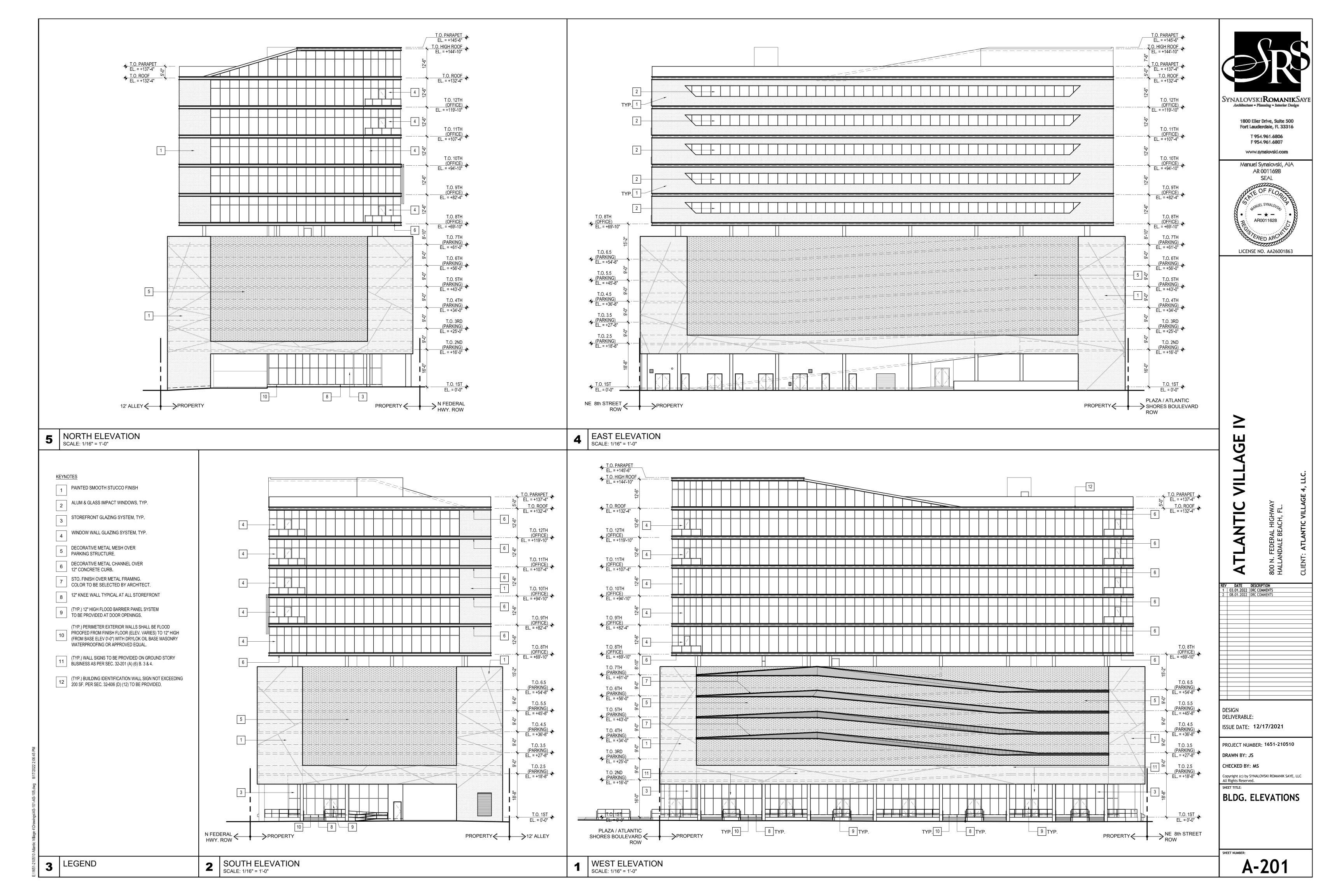


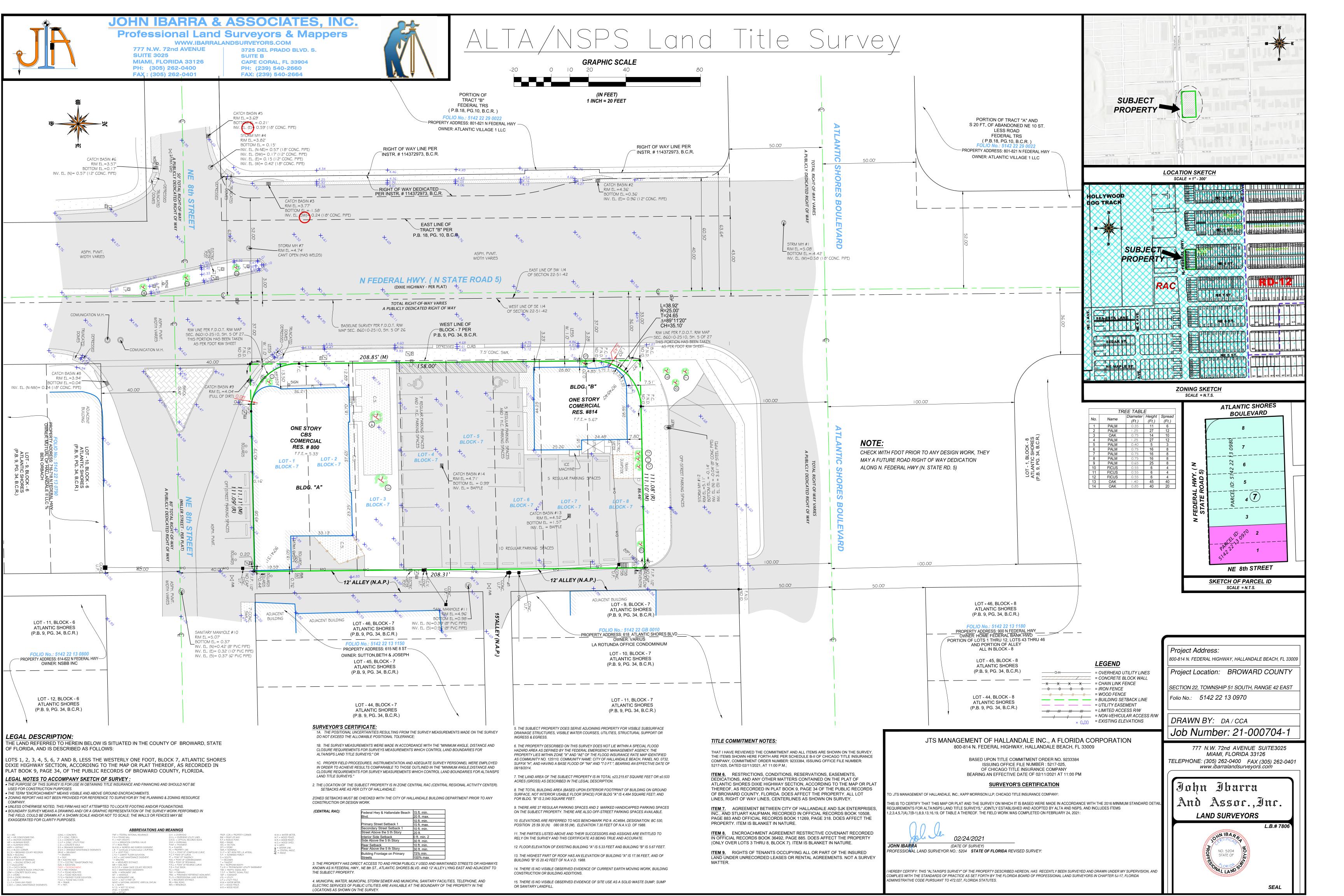




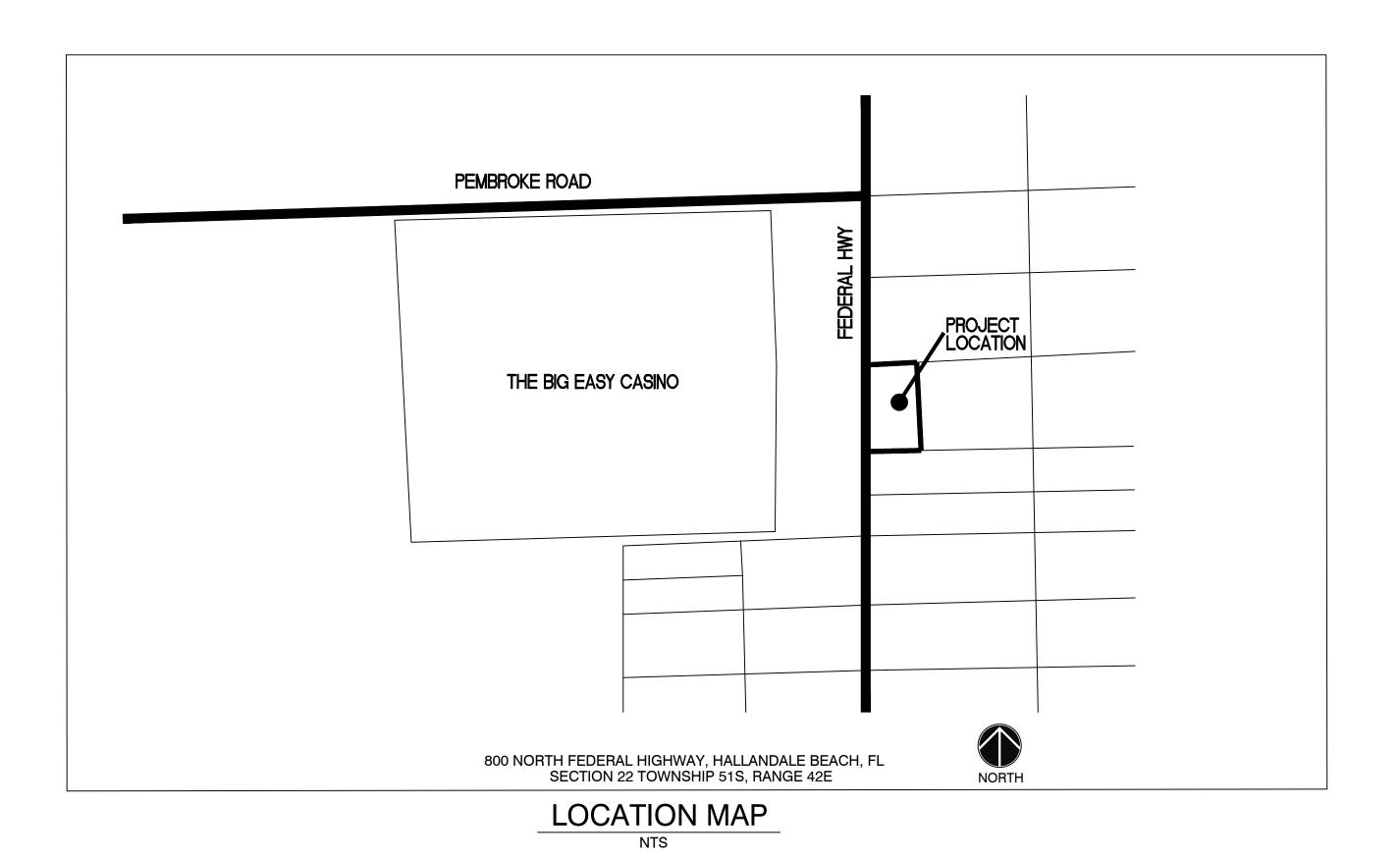








ATLANTIC VILLAGE 4 HALLANDALE BEACH, FLORIDA



INDEX:

COVERSHEET SIGNING AND MARKING PLAN PAVING, GRADING, AND DRAINAGE PLAN WATER AND SEWER PLAN PAVING, GRADING, AND DRAINAGE DETAILS WATER AND SEWER DETAILS

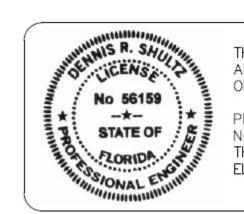
C6

GENERAL NOTES & SPECIFICATIONS

FDOT NOTES:

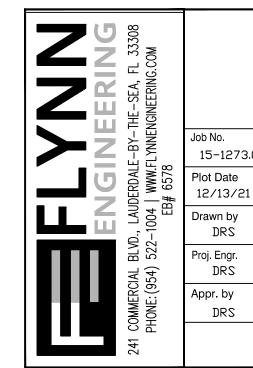
DRAINAGE PERMIT NUMBER 2022-D-491-____ DRIVEWAY PERMIT NUMBER 2022-A-491-____ STATE ROAD 5

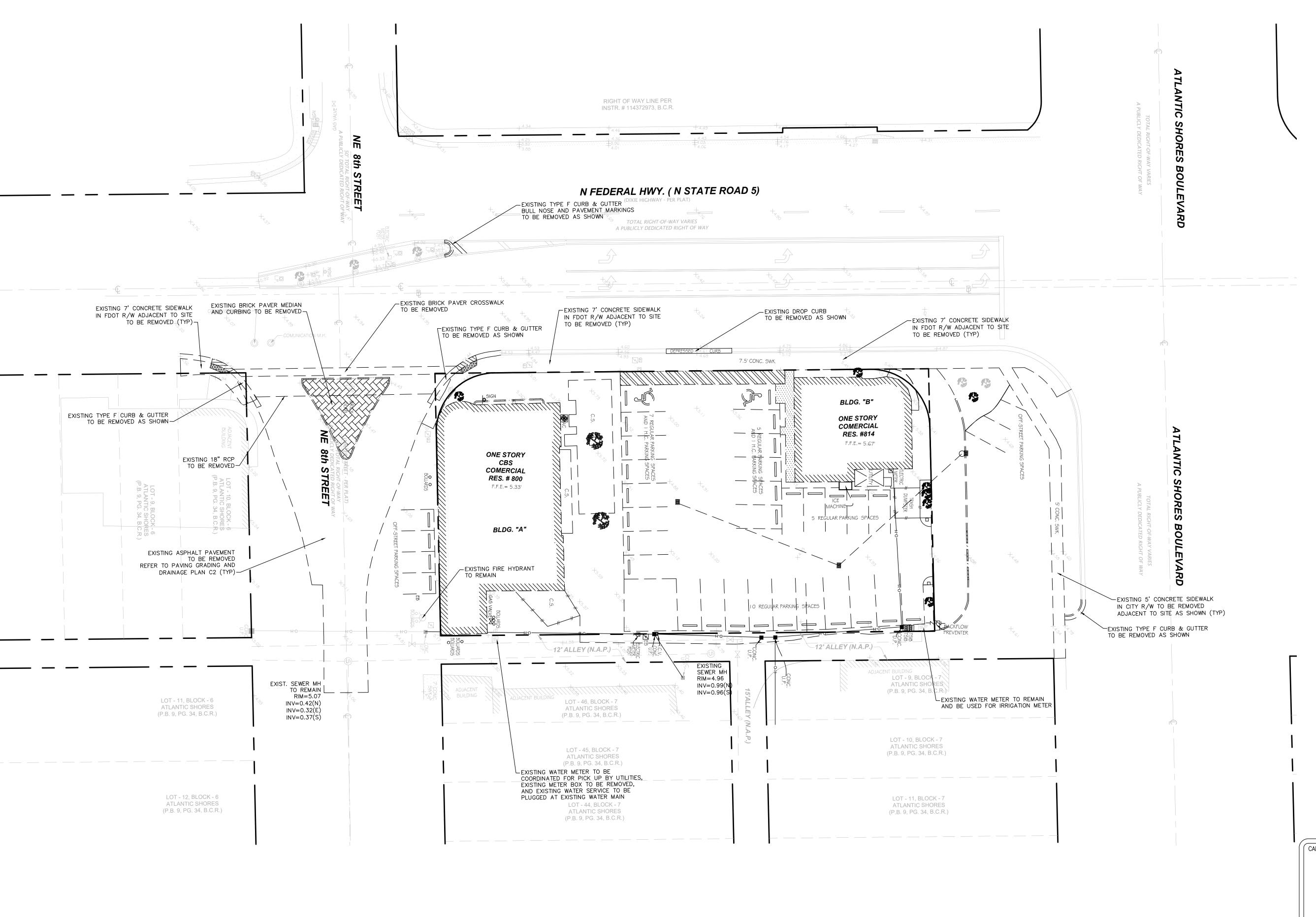
SECTION NUMBER 86010 MILE POST ____



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E. ON Mar 02, 2022

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- THE EXISTING BASE MATERIAL REMOVED BY DEMOLITION WORK MAY BE STOCK PILED AND REUSED AS AS BASE AND SUBBASE MATERIAL. APPROVAL OF STOCK PILED BASE MATERIAL FOR REUSE WILL BE PER FIELD EXAMINATION BY THE OWNER, THE TESTING LABORATORY, AND THE ENGINEER OF RECORD.
- 2. CONTRACTOR SHALL REMOVE EXISTING PAVEMENT STRUCTURE BASED UPON FINAL FINISHED SURFACE (GRASS OR PAVEMENT) AS REQUIRED PER THE FOLLOWING

PROPOSED IMPROVEMENTS

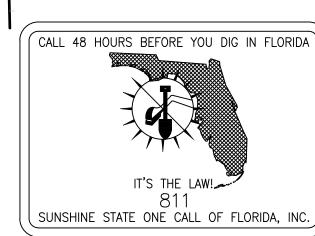
PAVEMENT: REMOVE ASPHALT/ CONCRETE SURFACE ONLY

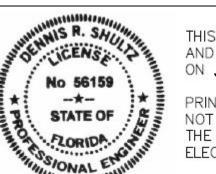
GRASS: REMOVE ASPHALT AND ROCK BASE AND REGRADE AS REQUIRED PER

- 3. PAVEMENT: REMOVE ASPHALT/ CONCRETE SURFACE ONLY
- 4. THE CONTRACTOR SHALL SAWCUT ALONG A NEAT STRAIGHT LINE AT ALL POINTS OF CONNECTION WITH EXISTING PAVEMENT / CURB TO REMAIN.
- 5. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS ALONG DEMOLITION AREAS AND MAINTAIN IN PLACE A FDOT (FEDERAL HWY) AND CITY APPROVED MAINTENANCE OF TRAFFIC PLAN.
- 6. ALL ON-SITE ABOVE AND BELOW GROUND ITEMS (INCLUDING BILLBOARDS, CHAIN LINK FENCE, CBS WALLS, BOLLARDS, SIGNS, LIGHT POLES, ETC.) SHALL BE REMOVED BY CONTRACTOR WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED TO REMAIN.
- 7. ALL UTILITY COMPANIES (FPL, ATT, GAS CO., ETC.) SHALL BE NOTIFIED 2 WEEKS PRIOR TO BEGINNING OF DEMOLITION FOR REMOVAL AND/OR DISCONNECTION OF ON-SITE SERVICE LINES/ POLES. ANY REMNANTS LEFT BY UTILITY COMPANIES SHALL BE REMOVED BY CONTRACTOR.
- 8. PRIOR TO BUILDING DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE CITY OF HALLANDALE BEACH PUBLIC WORKS DEPARTMENT FOR REMOVAL OF ASSOCIATED WATER METERS.
- 9. ALL DEMOLITION DEBRIS NOT OTHERWISE NOTED ON THE PLANS OR IN THESE NOTES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY REQUIREMENTS.
- 10. ALL EXISTING ONSITE TREES/ BUSHES TO BE REMOVED / RELOCATED AS NOTED ON LANDSCAPE PLANS. ALL SOD AND TOP SOIL SHALL BE STRIPPED SO SUBGRADE AND BASE ROCK CAN BE ADDED.
- 11. CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY DEWATERING AND/OR DRAINAGE REQUIRED DURING CONSTRUCTION.
- 12. RELOCATION/REMOVAL OF ELECTRICAL POLES & OVERHEAD WIRES TO BE COORDINATED W/ FPL AS REQUIRED.
- 13. ON-SITE UNDERGROUND WATER AND SEWER MAINS SHALL BE REMOVED COMPLETELY WHEN UNDER NEW FOUNDATIONS.
- 14. BACKFILL FOR ANY VOIDS LEFT BY REMOVAL OF UNDERGROUND UTILITIES SHALL BE AS NOTED IN BY GEOTECHNICAL ENGINEER RECOMMENDATIONS FOR SUCH BACKFILL
- 15. CONTRACTOR SHALL COORDINATE W/ CITY THE REMOVAL/RELOCATION OF ANY WATER
- 16. CONTRACTOR SHALL COORDINATE W/ FPL FOR REMOVAL/RELOCATION OF ANY POWER

DEMOLITION LEGEND

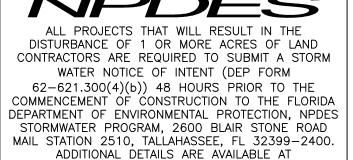
----- ITEM TO BE DEMOLISHED





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WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES





Phase: PERMITTING

PLANS Revisions

1"=20.0' 12/13/21 Plot Date 15-1273.05 07/22/22 Sheet No. Drawn by DRS Proj. Engr.

DRS

Appr. by DRS



PAVEMENT MARKING & SIGNAGE NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC,

2. R1-1 SIGNS SHALL BE HIGH INTENSITY DIAMOND GRADE.

3. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES,

4. BLUE RPM'S REQUIRED IN THE CENTER OF THE NEAREST DRIVE LANE ADJACENT TO FIRE HYDRANTS.

5. RED RPM'S REQUIRED IN THE CENTER OF THE NEAREST DRIVE LANE ADJACENT TO FIRE DEPARTMENT CONNECTIONS.

0.00 PROPOSED ELEVATION

1,50 EXISTING ELEVATION

PROPOSED CATCH BASIN

PROPOSED FLOOR DRAIN

DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE

REDUCED PRESSURE

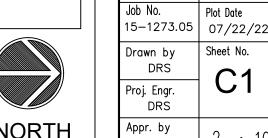
DIRECTIONAL FLOW ARROW AND GRAVITY SEWER

♦ SIAMESE CONNECTION

CONCRETE PAVEMENT

(ASPHALT)

ጚ DIRECTION OF SURFACE DRAINAGE SAMPLE POINT



Phase:

PLANS

PERMITTING

Revisions

1"=20.0' | 12/13/21

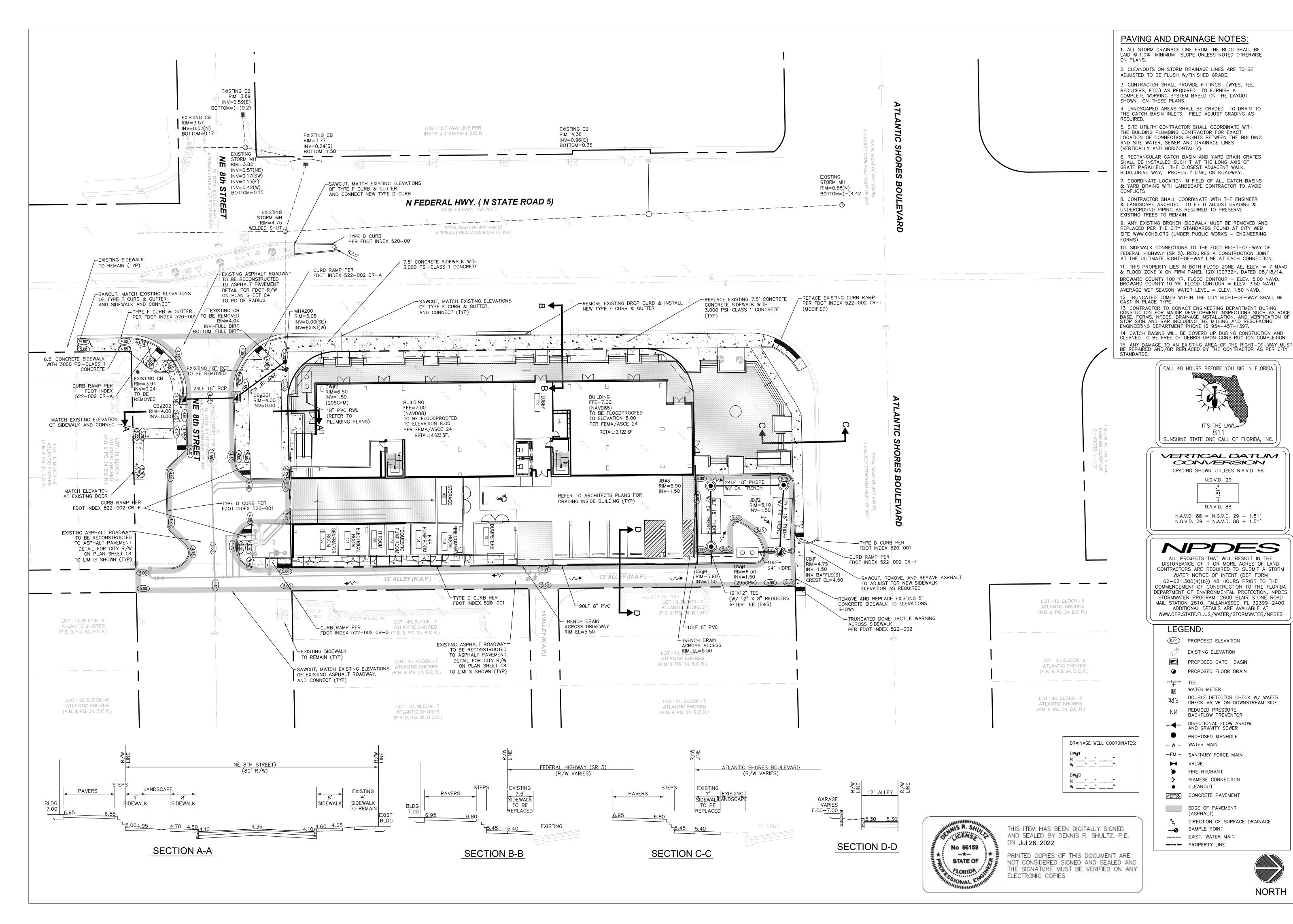
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Plot Date

Sheet No.



Phase:

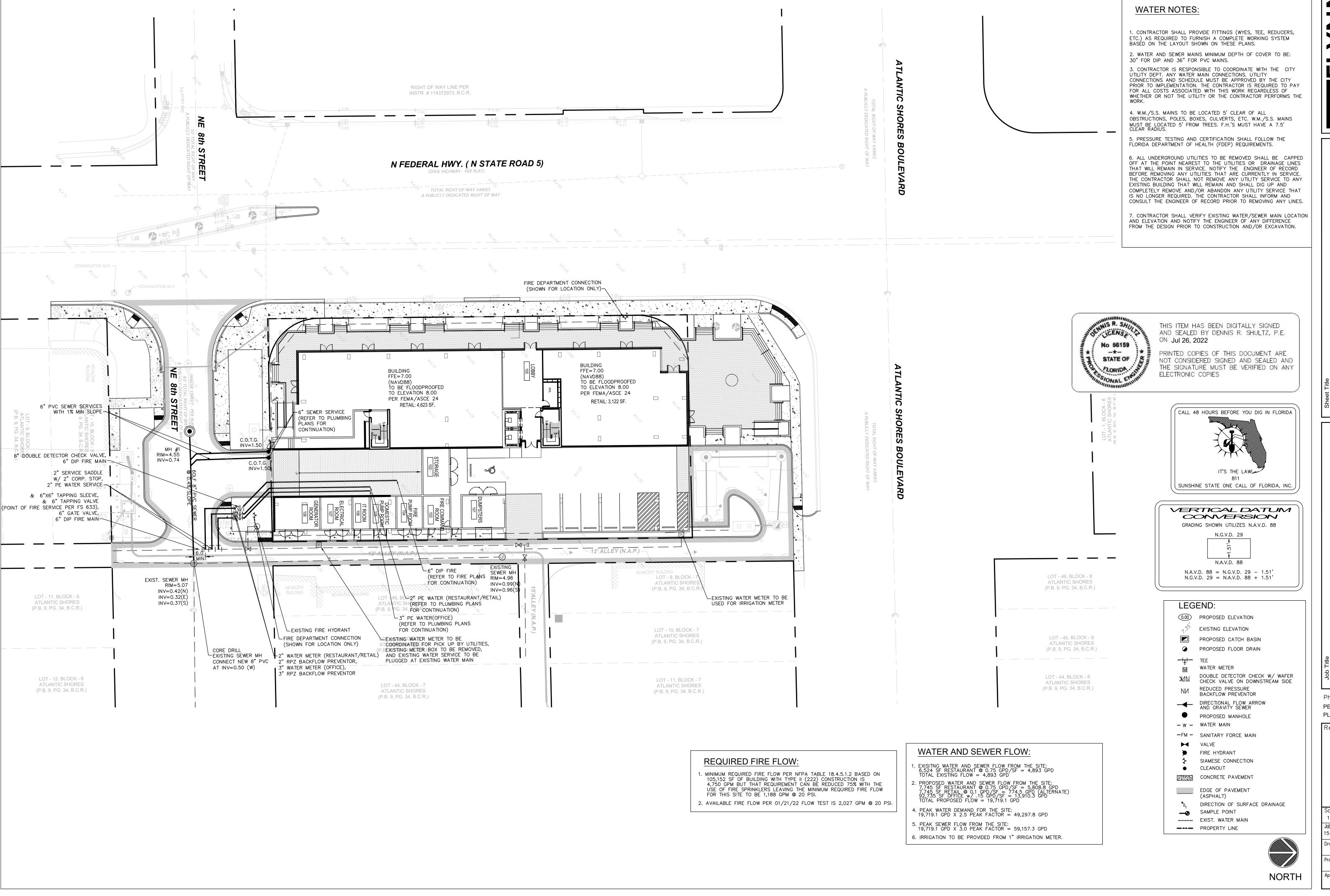
PERMITTING PLANS

Revisions

1"=20.0' 12/13/2 Plot Date 15-1273.05 | 07/26/2

Sheet No. Drawn by DRS Proj. Engr. DRS

Appr. by DRS



C

Phase:

PERMITTING

PLANS

Revisions

Scale:

1"=20.0' 12/13/21 Plot Date 15-1273.05 06/10/22

Sheet No. Drawn by DRS Proj. Engr. DRS

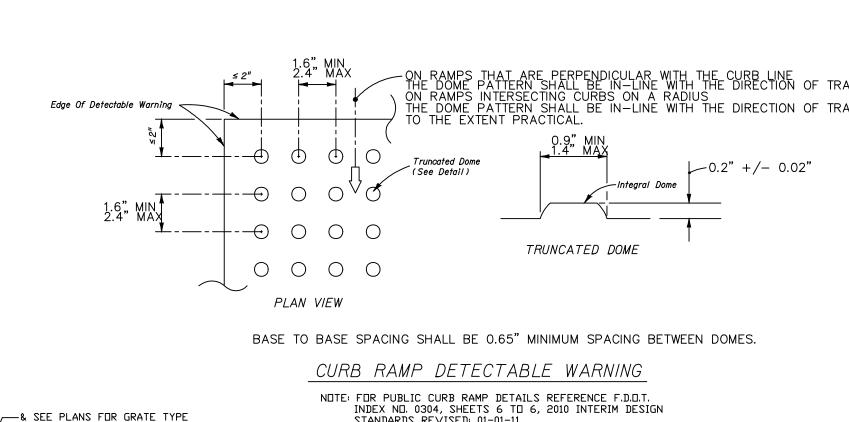
Appr. by DRS

Phase: PERMITTING

PLANS Revisions

NTS 12/13/2 Job No. Plot Date 15-1273.05 | 07/22/22 Sheet No. Drawn by DRS Proj. Engr. DRS

Jul 22, 2022 - 11:13am



P.C. AND P.T. CURVES. INDEX NO. 0304, SHEETS 6 TO 6, 2010 INTERIM DESIGN JUNCTION OF EXISTING AND NEW SIDEWALKS.
5'-0' CENTER TO CENTER STANDARDS REVISED: 01-01-11. ON SIDEWALKS. 15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED.

PROVIDE 1/8" CONTRACTION JOINTS AT 5" C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/4" RADIUS DEEP WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS - WITHIN
12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING PROVED 6" THICK CONCRETE FOR ALL SIDEWALKS. NO REINFORCEMENTS SHALL BE USED IN THE SIDEWALKS.

CONCRETE TO BE 3,000 PSI IN 28 DAYS. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE OR OTHER APPROVED METHOD. CONCRETE PAVEMENT FOUNDATION SHALL BE COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE AND CROSS SECTION, AND SHALL BE MOIST AT THE TIME CONCRETE IS PLACED ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS

- SUBBASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-99).

> SPACING OF REQUIRED ROADWAY, PARKING AREA AND UTILITY TRENCH TESTS

MAX. SPACING MAX. SPACING MAX. SPACING MAX. SPACING

LIN. FEET SQ. FEET LIN. FEET SQ. FEET LIN. FEET SQ. FEET LIN. FEET SQ. FEET

ALL TESTING SHALL BE TAKEN IN A STAGGED SAMPLING PATTERN FROM A POINT

12' INSIDE THE LEFT EDGE OF THE ITEM TESTED TO THE CENTER, TO A POINT

- ASPHALTIC CONCRETE WEARING SURFACE

COMPACTION TEST SCHEDULE

L.B.R.

THICKNESS

DENSITY

MIN. LBR = 40.

NOTE: CONCRETE TO BE CLASS-1 3000 P.S.I.

CONCRETE PAVEMENT & SIDEWALK DETAIL

LIMEROCK BASI

UTILITY TRENCH

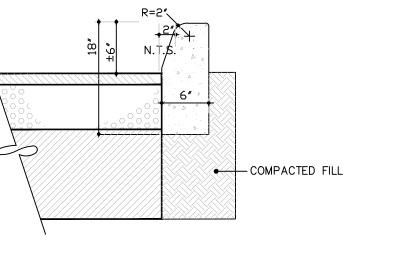
ASPHALT

SIDEWALK

JOINT DETAIL

SIDEWALK PLAN

CONCRETE PAVEMENT & SIDEWALK JOINTS



TYPE "D" CURB DETAIL

*When used on high side of roadways, the cross slope of the gutter shall match the cross slope of the adjacent pavement. The thickness of the lip shall be 6", unless otherwise shown

CURB PAD: 4" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). LIMEROCK BASE TO CONFORM WITH THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTIONS 200 & 911. MINIMUM L.B.R. = 100

CONCRETE TYPE "F" CURB AND GUTTER N.T.S.

N.1.3.	
SAWCUT TO PROVIDE STRAIGHT, EVEN EDGE, STRIP BACK EXISTING ASPHALT & ROCK BASE AS SHOWN & MATCH EXISTING PAVEMENT.	PROP. ASPHA PAVEMENT
EXIST. LIMERUCK BASE	PROPOSED LIMEROCK BASE
EXIST. SUBGRADE	PROPOSED COMPACTED SUBGRADE

F.D.O.T. PAVEMENT CONNECTION DETAIL

VEHICULAR SURFACE COURSE :

ASPHALT FRICTION COURSE: 1.5" ASPHALT FRICTION COURSE, F.D.O.T. TYPE FC-12.5. FRICTION COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS SECTIONS 330 & 334 ASPHALT STRUCTURE COURSE: 1.5" ASPHALT STRUCTURE COURSE, F.D.O.T. TYPE SP-12.5. SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF .D.O.T. STANDARD SPECIFICATIONS SECTIONS 330 & 334

> NDTE: ASPHALT SHALL BE TRAFFIC LEVEL C WITH ASPHALT BINDER PG76-22 WITHIN THE FDOT R/W

ASPHALTIC CONCRETE 1.5" ASPHALTIC CONCRETE WEARING SURFACE, F.D.O.T. TYPE S.

PRIME & TACK COAT: PRIME & TACK COAT FOR THE LIMEROCK BASE COURSE SHALL

(AASHTD T-180). MINIMUM L.B.R. = 100

(AASHTD T-180). MINIMUM L.B.R. = 40

SPECIFICATIONS SECTION 300.

TO BE PLACED IN TWO 3/4" LIFTS OF S-III.

SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF

APPLICATION RATES - PRIME COAT-0.25 GALLONS PER SQ. YD.

(TO BE USED IN CITY R/W)

TACK COAT-0.08 GALLONS PER SQ. YD.

F.D.O.T. STANDARD SPECIFICATIONS SECTIONS 330 & 331

CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD

BASE : 8" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY

PAVEMENT DETAIL

N.T.S.

SUBBASE: 12" SUBBASE COMPACTED TO 95% OF MAXIMUM DENSITY

BASE : 12" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHT \Box T-180), MINIMUM L.B.R. = 100 TO BE PLACED IN TWO SEPARATE (2) 6" LIFTS BASE TO CONFORM TO THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 200.

12" SUBBASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHT \Box T-180). MINIMUM L.B.R. = 40 SUBGRADE TO CONFORM TO THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 160.

CENS STATE OF . ZORIDA.

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N.T.S.

L-1/2″ □.C. EA. WAY WELDED TO OUTSIDE BARS — GALVANIZED WASHERS REQ'D FOR SNUG FIT (4)-EA. 1/4"×2"×6" (WELD W/ 1/4" FILLET WELD→ (2)-EA. HEAVY DUTY HINGES WELDED ON ONE NO SHRINK EPOX' GROUT REQUIRED

DRAINAGE WELL GRATE DETAIL N.T.S.

_3/8"x2" BOLT W/ NUT & WASHERS 1 EA. SIDE OF GRATE (ALL GALV.) CROSS BARS - #4 BARS @ (4)-EA. DUTSIDE BARS 5/16"×1/2" (WELD W/ 1/4" FILLET WELD> ANGLE IRON DNE FASTENING CLASP AND-

2. 1/2" STAINLESS STEEL ANCHOR BOLTS & NUTS 3. WELD OR 2-1/4" THRU BOLTS. 4. BOTTOM OF BAFFLE TO BE MOUNTED AT INVERT OF PIPE.

BAFFLE CREST EL. 4.50 NOTE 3 — ALUMINUM C□RRUGATED METAL PIPE CUT IN HALF -HALF-ROUND 1/8" ALUMINUM PLATE TO BE WELDED TO BOTTOM FOR CONTROL STRUCTURE. ELEVATION 1/4 " > <u>NOTES</u> BRACKET DETAIL 1. SECTION OF A.C.M.P. CUT IN HALF.

NEOPRENE GASKET (ALL CONTACTING SURFACES)

PIPE TO DRAINAGE WELL STRUCTURE

INVERTED BAFFLE DETAIL IN CB #1 PRIOR TO DRAINAGE WELL

> Appr. by DRS Drawing name: F:\2015 Jobs\15-1273.05 Atlantic Village 4\15-1273.05 PGDD.dwg

ALIGN BACK OF WHEEL STOP 4" FROM EDGE OF PAVEMENT FOR GRASS OVERHANG SPACES & 2.5" FROM END OF STALL ON PAVED OVERHANG SPACES. CONC. IN 28 DAYS DRIVE 2 #4 x 1' RE-BARS CONTRACTOR MAY SUBMIT ALTERNATE WHEEL STOP SECTIONS FOR APPROVAL WHEEL STOP DETAIL *8" MIN. * PRECAST STRUCTURE MAY HAVE MIN. 6" WALLS.

- WEARING COURSE ELEV=5.50 MIN. FILTER FABRIC ON BOTTOM AND BOTH SIDES, OVERLAP ON TOP 2' MIN. — CONFORM TO FDOT #985 18" DIA PERFORATED HDPF 3/4" WASHED ROCK -UNLESS OTHERWISE NOTED WET SEASON

WATER TABLE=1.50 NAVD \$\$\$\constants \constants \consta — UNDISTURBED SOIL

∠#8 BARS (TYP) - 24" OPENING CENTERED OVER 24" WELL D.C.E.W. (TYP) TERMINATE TRENCH 4' MINIMUM FROM DRAINAGE STRUCTURES AND PROVIDE MIMIMUM 4' OF SOLID 18' PIPE RIM ELEV=SEE PLAN RIM ELEV=SEE PLAN -(WATER TIGHT) **EXFILTRATION TRENCH DETAIL** ┌ (WATER TIGHT) TOP OF SLAB EL.=5.33 MIN -BOTTOM OF SLAB CHAMBER #2 EL.=4.50 MIN

CHAMBER #1 -BAFFLE WALL 18" P∨C FR⊡M RWL -PROPOSED BOLTED ON GRATE SEE DETAIL THIS SHEET (TYP). DF 24" WELL=1.50 PR□P. INV. EL.= 1.50-TOP OF STRUCTURE EL.=(-)1.50 BOTTOM OF STRUCTURE D.C.E.W. (TYP) EL=(-)3.50 -

1. TOP SLAB REINFORCEMENT TO BE #7 BARS @ 6" D.C.E.W. WITH ADDITIONAL

CHAMBER #1

#8 BARS AROUND OPENINGS. 2. PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS SHOWN ABOVE. EACH CHAMBER SHALL HAVE U.S.F. RING AND COVER #360

3. TOP SLAB OPENINGS SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING AND COVER.

DRAINAGE WELL #2 DETAIL — DUTSIDE OF CASING

TOP OF SLAB OR 1/4" THICK 2"×2"

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E.

ELEVATIONS SHOWN ON THIS PLAN ARE IN NAVD 88 DATUM

FDOT PAVEMENT DETAIL (TO BE USED IN FDOT R/W)

#4 @ 12' CCEW | 6'-4" Ø | 5'-4" Ø | #4 @ 6" CCEW 4'-0" Ø 8" TYPE "C" 8" | #4 @ 12" CCEW "E" | 36" | 54" 6616 STEEL CI# 201,202 #4 @ 12' CCEW | 6'-4" Ø | 5'-4" Ø | #4 @ 6" CCEW | 5115 8" | #4 @ 12" CCEW 6220 CAST IRON #4 @ 12' CCEW | 6'-4" Ø | 5'-4" Ø | #4 @ 6" CCEW | 5105 6148 CAST IRON "J" | 4'-0" ø | 8" 8" | #4 @ 12" CCEW A PRB SHALL BE CONNECTED TO ALL PIPES LEAVING A CATCH BASIN THAT ARE CONNECTED TO EXFILTRATION JUNCTION BOX FRAME & GRATE

8" | #4 @ 12" CCEW | #4 @ 12' CCEW | 6'-4" Ø | 5'-4" Ø | #4 @ 6" CCEW |

NOTE: ALL DRAINAGE STRUCTURES SHALL HAVE A 2' SUMP TC(TYPICAL) CATCH BASIN — FRAME & GRATE SEE TABLE PROPOSED GRADE, SLOPE TO DRAIN TOWARDS CATCH BASINS. SEE TABLE SECTION VIEW FOR

SUMMARY OF DRAINAGE STRUCTURES

"J" | 4'-0" Ø | 8"

"C" | 24" | 37"

—BRICK TO GRADE POLLUTION RETARDANT BAFFLE REINFORCING #8 BARS BY CONTRACTOR SEE DETAIL PLAN USE 1/2 C.A.M.P. (NEXT SEE TABLE FOR DIMENSIONS SIZE LARGER SIZE THAN DRAINFIELD)

- STANDARD HOOKS TIED

(SEE TABLE FOR DIMENSIONS) UNDER BASE STEEL PLAN VIEW SECTION B-B

ALUMINUM PLATE TO BE WELDED TO TOP FOR POLLUTION RETARDANT BAFFLE (PRB). CATCH BASIN TOP SLAB SECTION NOTE: ALL CATCH BASINS LEADING TO EXFILTRATION TRENCH SHALL HAVE POLLUTION RETARDANT BAFFLE (PRB)

MANHOLE/CATCH BASIN TYPE "J"

CHAMBER #1 CHAMBER #2 24" HDPE FROM CB#1 ∠#8 BARS (TYP) - 24" OPENING CENTERED OVER 24" WELL -#6 @ 12" N.T.S. D.C.E.W. (TYP)

RIM ELEV=SEE PLAN RIM ELEV=SEE PLAN — (WATER TIGHT) ┌ (WATER TIGHT) EL.=5.33 MIN CHAMBER #1 EL.=4.50 MIN BAFFLE WALL -PROPOSED BOLTED ON GRATE 24" HDPE FROM CB SEE DETAIL THIS SHEET (TYP). - PROPOSED TOP DF 24" WELL=1.50 PR□P. INV. EL.= 1.50-TOP OF STRUCTURE EL.=(-)1.50

N.T.S.

EL=(-)3.50 -

1. TOP SLAB REINFORCEMENT TO BE #7 BARS @ 6" D.C.E.W. WITH ADDITIONAL #8 BARS AROUND OPENINGS.

BOTTOM OF STRUCTURE

2. PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS SHOWN ABOVE. EACH CHAMBER SHALL HAVE U.S.F. RING AND COVER #360

3. TOP SLAB OPENINGS SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING AND COVER.

DRAINAGE WELL #1 DETAIL

DRAINAGE WELL NOTES:

DRAINAGE WELLS SHALL EACH HAVE A MIN. INDIVIDUAL CAPACITY OF 295 GPM PER FOOT OF AVAILABLE HEAD. WELL DRILLER SHALL OBTAIN AN FDEP PERMIT AND PROVIDE BCELBPD AND THE ENGINEER WITH CERTIFICATION OF CONSTRUCTION COMPLETTION & REPORT AS REQUIRED BY PERMIT 3. GRATE TO BE HOT DIP GALVANIZED AFTER FABRICATION. COST OF GRATE AND NECESSARY MATERIALS AND LABOR TO BE

INCLUDED W/ COST OF CASING. 4. THE CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH WHERE THE WATER CONTAINS A MIN. OF 10,000 PPM OF TOTAL DISSOLVED SOLIDS AND 1,500 PPM CHLORIDES.

5. CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED

DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID. THE

WELL DEPTH , PROVIDED BY WELL DRILLER, WITH AN ADD/

FINAL WELL DEPTH SHALL BE WITHIN 25% OF THE BASE BID.

KEYED PADLOCK

18" PVC FROM RWL

6209 CAST IRON

6209 CAST IRON

2 COURSES MIN.

3 COURSES MAX.-

 $A \times B$

TYPE "C" DR EQUAL

CATCH BASIN DETAIL

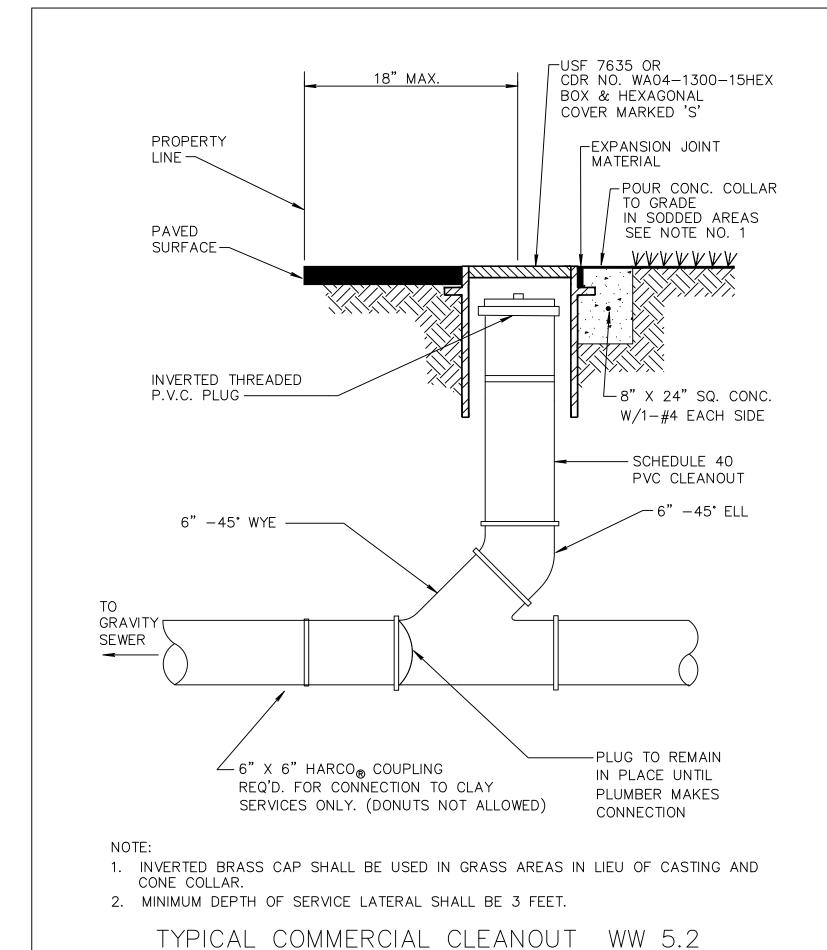
TYPE "C"

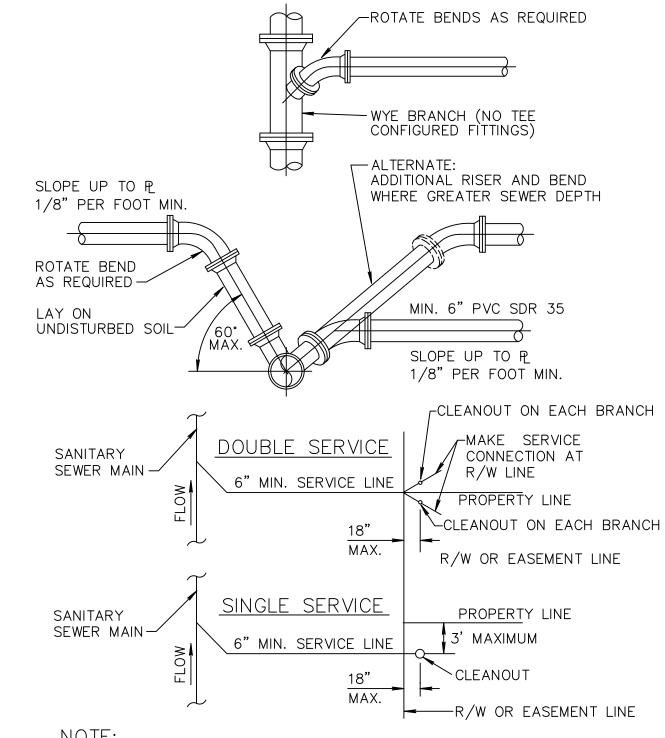
CHAMBER #2

□N CENTER EACH WAY、

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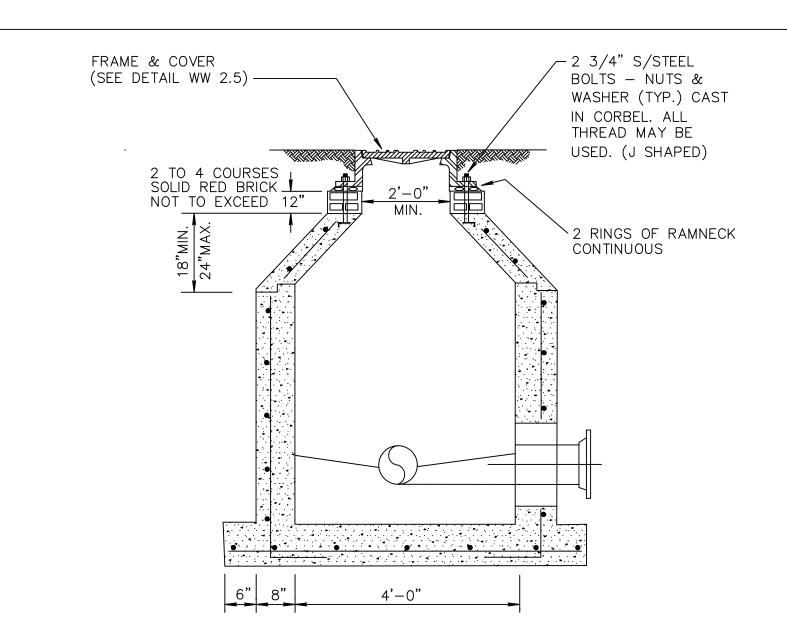
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- 1. SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
- 2. CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- 3. SEE DETAIL PW 2.1 FOR SEPARATION REQUIREMENTS.

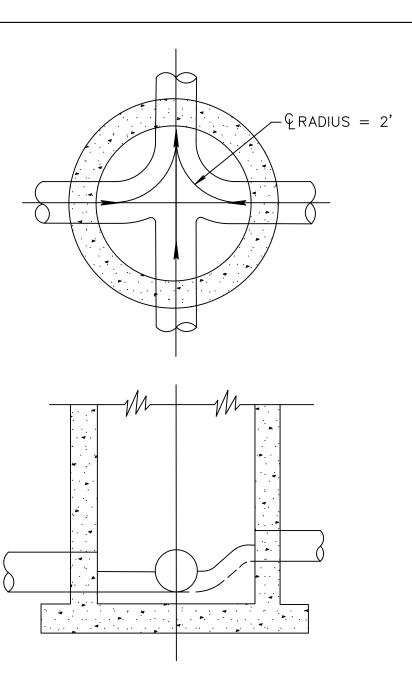
SEWER SERVICE CONNECTIONS WW 4.1



NOTES:

- 1. PRECAST CONCRETE TYPE II 4000 P.S.I.
- 2. RAMNECK AT ALL RISER JOINTS WITH GROUT ON INSIDE AND OUTSIDE AT ALL RISER
- 3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
- 4. FLOW CHANNELS SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW STREAM.
- 5. LIFT HOLES SHALL BE FILLED WITH EXPANDABLE GROUT
- 6. ALL PIPE HOLES SHALL BE PRECAST.
- 7. CAST IN PLACE FLEXIBLE PIPE-TO MANHOLE CONNECTOR (LOCK JOINT FLEXIBLE SLEEVE ELASTOMER EPDM OR RUBBER GASKET WITH GLASS FIBER REINFORCED NYLON 6/6 INTERNAL EXPANSION RING) INSTALLED PER MANUFACTURER.
- 8. PAINT MANHOLE INSIDE AND OUTSIDE WITH ONE (1) COAT RED CARBOLINE BITUMASTIC 300M THEN ONE (1) COAT BLACK OR APPROVED ÉQUAL, to 8-10 MILS D.F.T/COAT, FIRST COAT RED THEN BLACK.
- 9. MANHOLE FABRICATION SHALL BE IN ACCORDANCE W/ ASTM C-478, LATEST STANDARD.

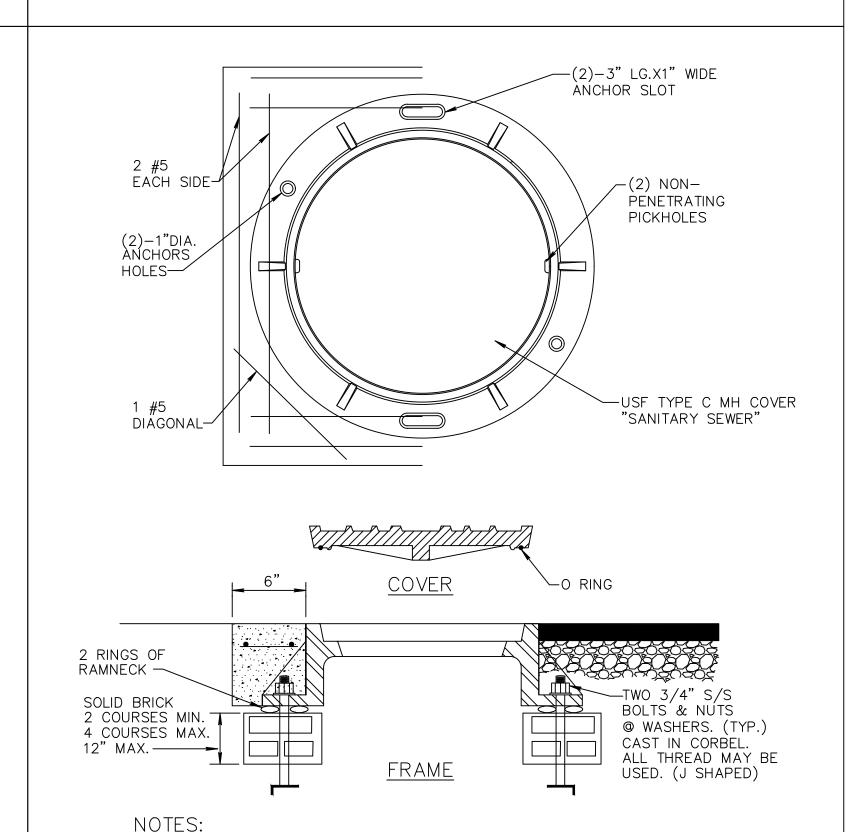
SHALLOW MANHOLE DETAIL WW 2.2



NOTES:

- ALL INVERT CHANNELS ARE TO BE CONSTRUCTED FOR SMOOTH FLOW WITHOUT OBSTRUCTION OR TURBULENCE.
- 2. PROPERLY SHAPED SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS TO PROVIDE FOR SMOOTH FLOWS.
- 3. SERVICE LATERALS SHALL NOT ENTER MANHOLES.
- 4. 2500 PSI CONCRETE ONLY PERMITTED AS FLOW CHANNEL BUILDUP.

INVERT FLOW CHANNELS WW 2.4



1. COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.

3. MANHOLE ADJUSTING RINGS SHALL BE CAST IRON, USF TYPE B.

WITH TYPE C "SANITARY SEWER" COVER.

2. COVER SHALL BE U.S. MR-ORS AND RING SHALL BE USF 420 RING

SANITARY SEWER MANHOLE FRAME AND COVER WW 2.5

May 05, 2022 - 2:03pm

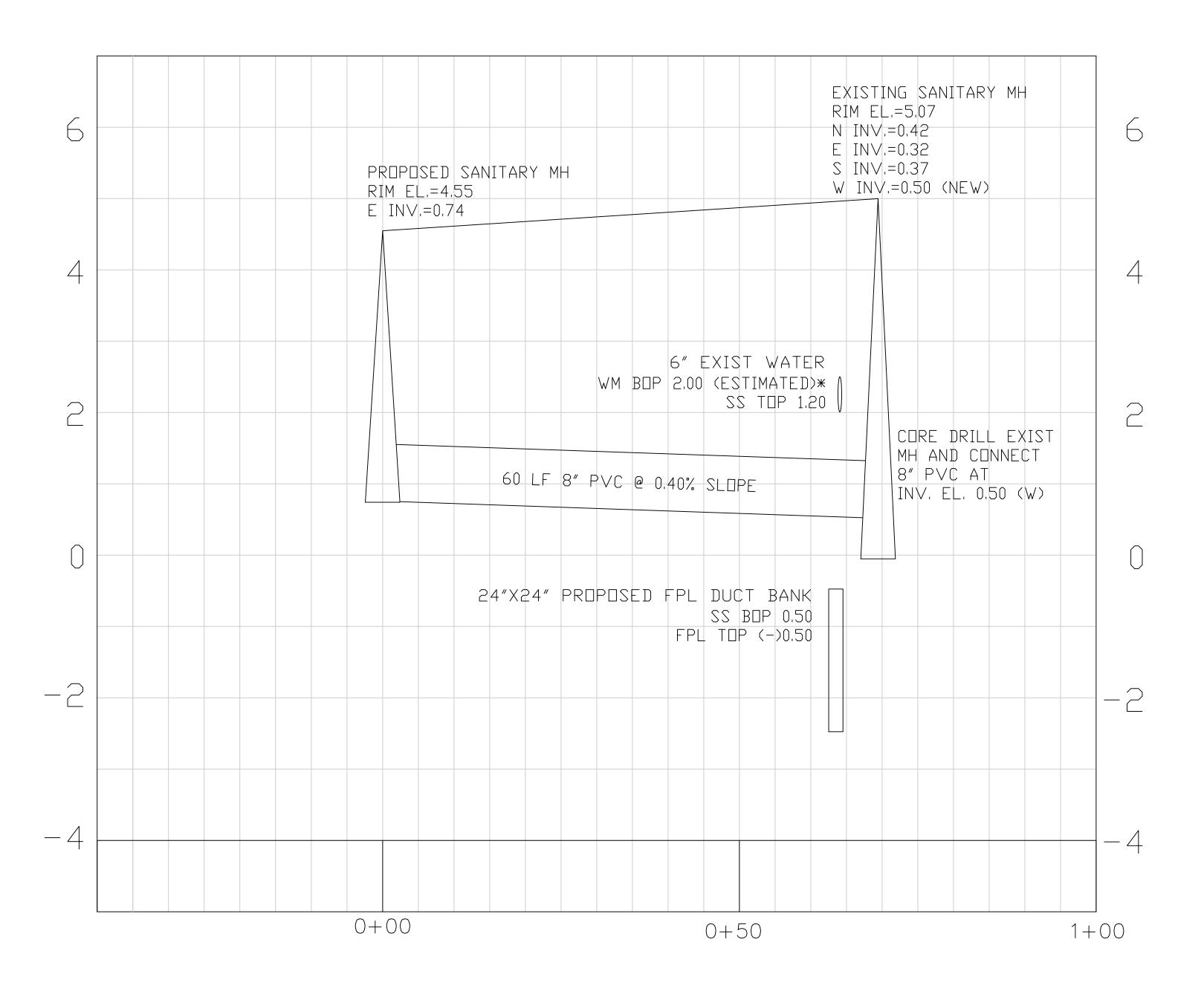
Phase: PERMITTING

PLANS Revisions

> NTS 12/14/21 Plot Date

15-1273.05 | 05/05/22 Drawn by Proj. Engr. DRS Appr. by 5A of 6

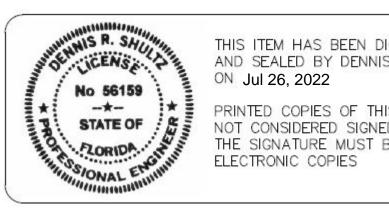
DRS



SEWER PROFILE

SCALE: HORIZONTAL 1"=20' VERTICAL 1"=2'

NOTE: RIM ELEVATIONS ARE DESIGN ELEVATIONS ONLY FINAL RIM ELEVATIONS MUST MATCH FINAL PAVEMENT GRADES

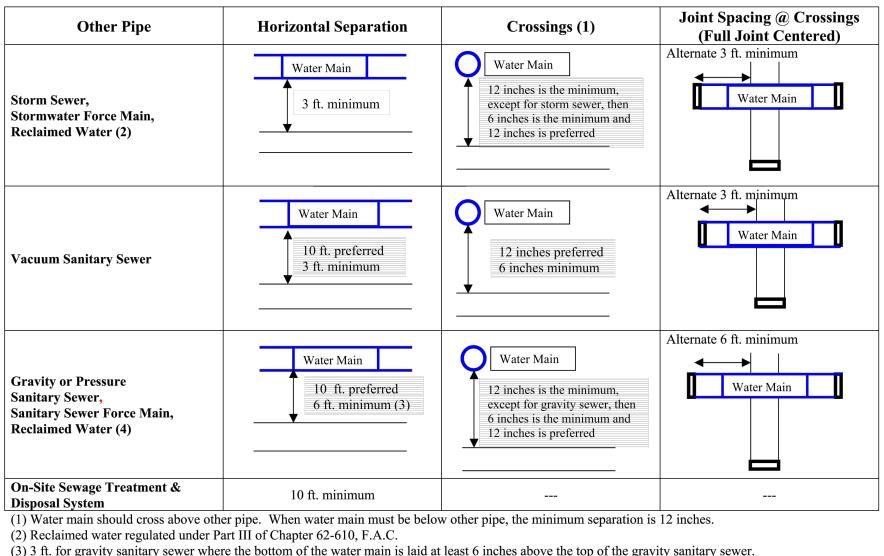


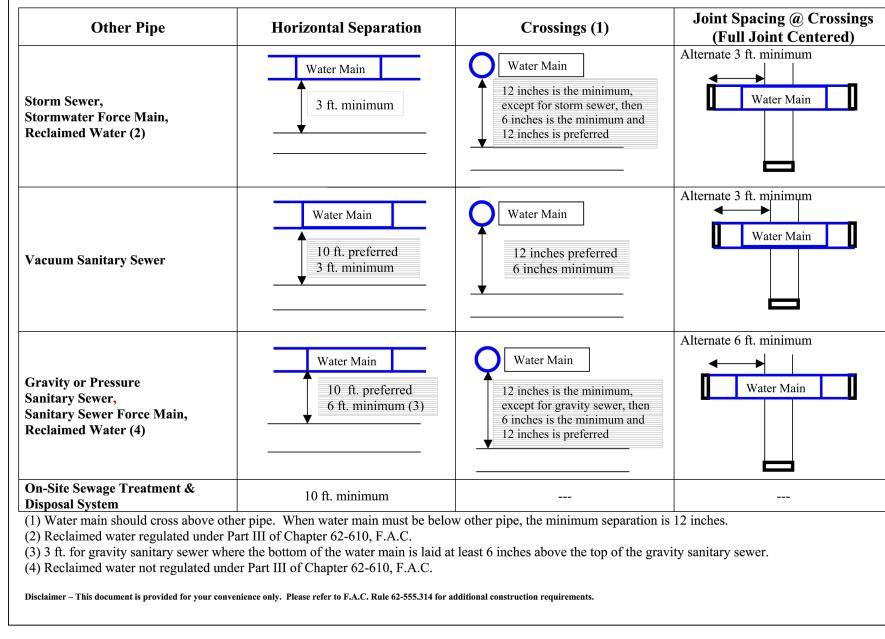
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Proj. Engr. DRS DRS

PERMITTING

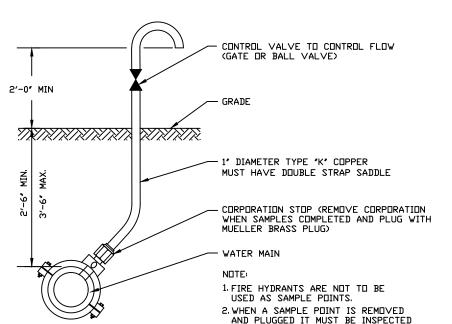
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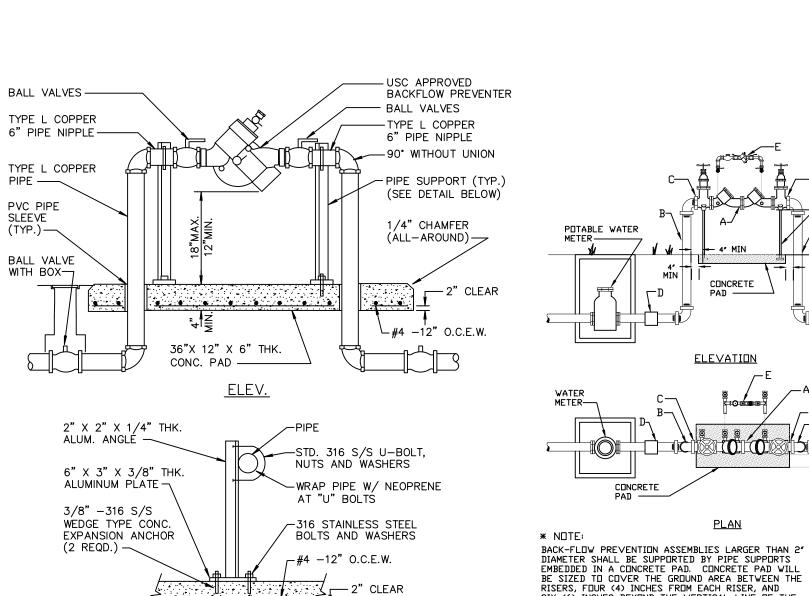


BACKFLOW PREVENTER - BALL VALVES 6" PIPE NIPPLE -90° WITHOUT UNION - PIPE SUPPORT (TYP.) (SEE DETAIL BELOW) 1/4" CHAMFER POTABLE WATER METER (ALL-AROUND) CONCRETE └_#4 -12" O.C.E.W. 36"X 12" X 6" THK. **ELEVATION** CONC. PAD — ELEV.

STD. 316 S/S U-BOLT. NUTS AND WASHERS AT "U" BOLTS -316 STAINLESS STEE BOLTS AND WASHERS r #4 −12" O.C.E.W.



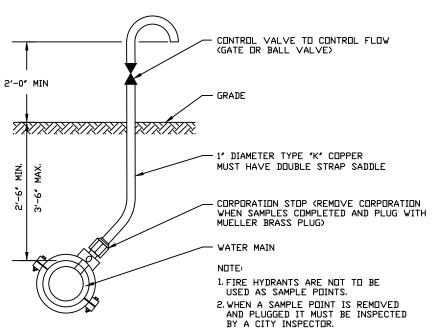
LOCATION OF PUBLIC WATER SYSYEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314



(2 REQD.) —

PIPE SUPPORT DETAIL 1. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.

2. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER



F. CHAIN AND LOCK OS & Y VALVES IN OPEN POSITION.

SIX (6) INCHES BEYOND THE VERTICAL LINE OF THE ASSEMBLY ITSELF.

A. REDUCED PRESSURE PRINCIPLE OR DETECTOR DOUBLE-CHECK VALVE OR DOUBLE-CHECK VALVE ASSEMBLY, WITH OS & Y VALVES AS PROVIDED BY MANUFACTURER.

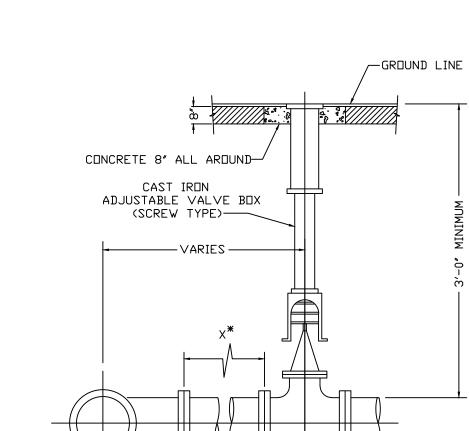
B. RISER SHALL BE COPPER PIPE, TYPE K- HARD TEMPER, OR BLACK IRON, OF APPROPRIATE SIZE.

C. IF DISSIMILAR METALS ARE USED, THE PIPING WILL BE JOINED TO THE ASSEMBLY WITH A DIELECTRIC COUPLING OR FLANGE TO PREVENT

PIPE SUPPORTS WILL BE MADE TO CRADLE THE VALVE ON EACH SIDE OF THE CHECK VALVES, WITHOUT INTERFERING WITH THE INSERTION OR REMOVAL OF THE BOLTS ON THE FLANGE.

D. RISER SHALL BE JOINED TO THE WATER LINE ON THE HORIZONTAL RUN. IF DISSIMILAR METALS ARE INVOLVED, A DIELECTRIC COUPLING WILL BE USED TO PREVENT ELECTROLYSIS. E. METER ASSEMBLY ON THE DETECTOR DOUBLE CHECK VALVE ASSEMLY ONLY. G. PAINT ALL ABOVE GROUND PIPING AND BACKFLOW PREVENTORS WITH APPROVED PAINT. SUBMIT PAINT SAMPLES TO ARCHITECT FOR APPROVAL. DOUBLE CHECK DETECTOR ASSEMBLY AND DOUBLE CHECK BACKFLOW PREVENTER

---STATE OF CORIDA

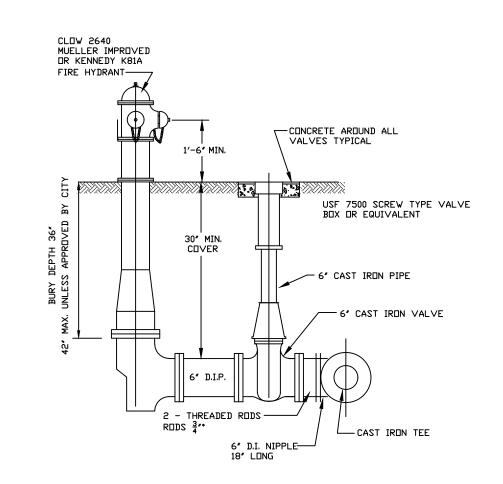


BLACK STEEL PIPE, SCHEDULE 80, CDATED WITH BITUMASTIC AT LEAST 30" BELOW & 6" ABOVE FINISH GRADE. A STEEL DRIVE SHOE IS REQUIRED WITH A 6' LEAD BELOW IT 4 x 2 1/2 x 2 1/2 THREADED F.D.C. WITH CAPS — 4″ WAFER CHECK VALVE ´))90°€LL ROD FIRE DEPT. CONNECTION DETAIL

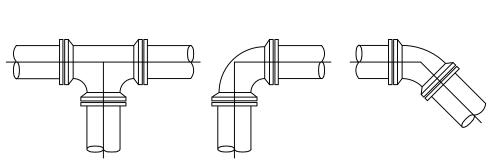
USE TIE RODS, RESTRAINED OR HARNESSED JOINTS WHERE "X" IS LESS THAN 16'-0"

CONCRETE COLLAR IS NOT REQUIRED WHEN VALVE IS LOCATED WITHIN NEW PAVEMENT.

TYPICAL VALVE SETTING



USE SAME VALVE BOX DETAIL FOR GATE VALVES. ALL HYDRANTS MUST BE TRAFFIC RATED, WITH BREAK AWAY BARREL.

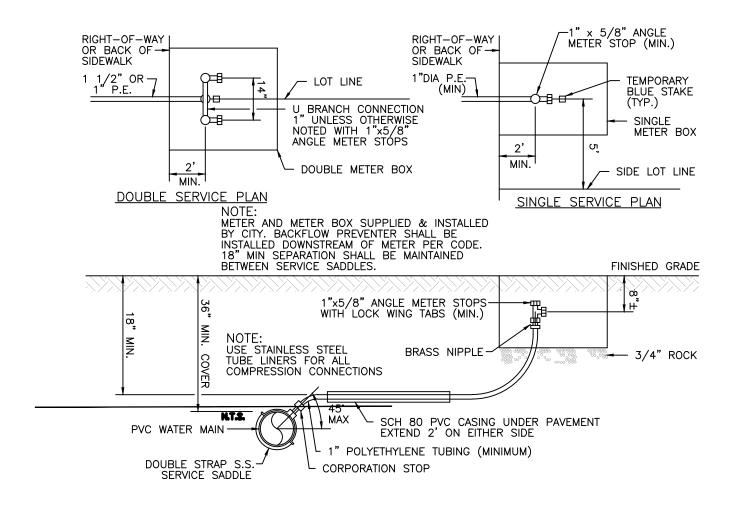


TEE & WYE		90°	BEND	45° & 2	2 1/2° BEN
	RESTRAII	NED PIPE	LENGTH	(LINEAL FEET	>
PIPE SIZI	TEE & WYE	90°BEND	45°BEND	22 1/2*BEND	11 1/4°BEND
6 "	27	27	16	9	5
8 "	34	34	20	11	6
10"	41	41	24	14	7
12″	48	48	28	16	8
14"	55	55	32	18	10
16"	62	62	35	20	11
18″	69	69	39	22	12
20″	75	75	42	24	13
24"	87	87	49	27	14
30″	104	104	57	31	17
36″	120	120	65	35	19
42"	134	134	72	39	21
48"	147	147	79	42	22
54 ″	160	160	85	45	24

THE FIGURES IN THIS TABLE ARE BASED ON 150 PSI TEST PRESSURE WITH 2.5 FEET OF COVER AND 2000 POUNDS PER SQUARE FOOT SOIL BEARING AGAINST UNDISTURBED TRENCH. A 20% SAFETY FACTOR HAS BEEN ADDED.

EXISTING OR NEW GATE VALVE ---METHOD II ON NEW MAIN UNTIL ALL TESTING HAS BEEN COMPLETED.

FILLING & FLUSHING CONNECTION



TYPICAL SINGLE & DOUBLE SERVICE CONNECTION

REMAINDER OF BACKFILL MAY BE PLACED

AGENCY HAVING JURISDICTION.

12"

THE ENTIRE EMBEDMENT.

CLASS 3 MATERIAL

CLASS 3 OR

MATERIAL

OF 98% DENSITY (AASHTO T-180), OR PER /

CLASS 1 MATERIAL - ANGULAR GRADED STONE SUCH AS CORAL

ROCK (100% PASSING 1" SIEVE) CLASS 2 MATERIAL - COURSE SAND AND GRAVELS WITH MAXIMUM PARTICLE

CLASS 3 MATERIAL - FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS,

CLASSIFIED AS SELECT BACKFILL.

IF CLASS 1 MATERIAL IS USED FOR BEDDING, IT MUST BE USED FOR

A DRY TRENCH SHALL BE MAINTAINED WHEN USING CLASS 2 AND

TRENCH SECTION

N.T.S.

PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH

FDOT STANDARD INDEX 307 FOR FLEXIBLE PAVEMENT CUT.

BY MACHINE AND COMPACTED TO A MINIMUM,

BACKFILL COMPACTED TO A

AGENCY HAVING JURISDICTION.

MINIMUM OF 90% DENSITY

(AASHTO T-100) OR PER

4" MIN. PIPE BEDDING

CRUSHED STONE, OR CRUSHED SHELLS OR BEDDING

SIZE OF -" WITH SMALL PERCENTAGE OF FINES COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR

SAND-CLAY MIXTURES AND GRAVEL-CLAY MIXTURES,

COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR

DENSITY. INCLUDED IN CLASS 3 ARE EXISTING SOIL TYPES

RESTRAINED JOINT DETAIL

May 05, 2022 - 2:02pm

Phase: PERMITTING **PLANS** Revisions 12/14/21 Plot Date 15-1273.05 | 05/05/22 Drawn by DRS

NTS

Proj. Engr.

DRS Appr. by DRS

METER PROVIDED UNION — /- BACKFLOW PREVENTOR

TYPICAL FIRE HYDRANT ASSEMBLY

SEE DETAIL "A" FOR CONTINUATION . -CORPORATION STOP - EXISTING WATER MAIN CORPORATION STOP CONNECTION TO BE COMPLETED AFTER SATISFACTORY TEST RESULTS HAVE BEEN OBTAINED NEW WATER MAIN INSTALLED WITH PLUG AND THRUST BLOCK

DETAIL "A"

METHOD I VENT TO ATMASPHERE -- FILL AND FLUSH HERE CORPORATION STOP CORPORATION STOP NEW WATER MAIN EXISTING OR NEW TEE NEW GATE VALVE - LIMITS OF TEST

> 1. REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON EXISTING MAIN AFTER FILLING AND FLUSHING OF NEW MAIN. 2. DO NOT REMOVE TEMPORARY CONNECTION AT CORPORATION STOP

> > SAMPLING POINT DETAIL

3. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH CHAPTER 90-96 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT) AND OSHA STANDARD 29 C.F.R. SECTION 1926.650 SUBPART P. THE CONTRACTOR SHALL SUBMIT WITH HIS CONTRACT A COMPLETED, SIGNED, AND NOTARIZED COPY OF THE TRENCH SAFETY COMPLIANCE STATEMENT. THE CONTRACTOR SHALL ALSO SUBMIT A SEPARATE COST ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY CODES.

4. NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL LOCAL, STATE AND FEDERAL

B. PRECONSTRUCTION RESPONSIBILITIES

BE STRICTLY OBSERVED.

1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND HIMSELF

2. THE CONTRACTOR SHALL OBTAIN AN SUNSHUNE STATE ONE CALL FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO PRIOR TO BEGINNING ANY EXCAVATION.

3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR TO ANY EXISTING UTILITIES WHICH ARE PROPERLY

5. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

1. THE DWNER, ENGINEER, AND LOCAL PERMITTING AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.

D. SHOP DRAWINGS

1. THE CONTRACTOR SHALL SUBMIT (5) FIVE SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT.

APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED BY THE CONTRACTOR TO THE COUNTY OR CITY FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER, CITY, AND/OR COUNTY.

2. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES. E. TEMPORARY FACILITIES

1. TEMPORARY UTILITIES - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING

2. TRAFFIC REGULATION - MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-DF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE FDOT STRANDARD SPECIFICATIONS. 3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR

WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC, NO HOLES SHALL BE LEFT OPEN OVERNIGHT.

F. PROJECT SITE

1. DURING CONSTRUCTION THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH, THE PAVED AREAS SHALL BE SWEP

2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER ANY PUBLIC OR PRIVATE PROPERTY SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. THIS END, THE CONTRACTOR SHALL DO AS REQUIRED ALL SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH

3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORIL' DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

G. PROJECT RECORD DOCUMENTS

1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED. INFORMATION RELATIVE TO MANHOLES VALVES, SERVICES, FITTINGS, LENGTH OF PIPE, ELEVATIONS, FINISHED GRADE ELEVATIONS AND THE LIKE, BE ACCURATELY RECORDED BY THE CONTRACTOR. TOP ELEVATIONS € 100′ D.(2. PRIOR TO THE PLACEMENT OF ANY ASPHALT OR CONCRETE PAVEMENT,

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD 'AS-BUILT' PLANS SHOWING LIMEROCK BASE GRADES, ALL DRAINAGE, WATER, AND SEWER IMPROVEMENTS. PAVING
OPERATIONS SHALL NOT COMMENCE UNTIL THE ENGINEER HAS REVIEWED THE "AS-BUILTS" AND THE ENGINEER HAS APPROVED PAVING TO COMMENCE.

3. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR SUBGRADE SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING LIMEROCK BASE MATERIAL.

4. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR LIMEROCK SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING ASPHALT. 5. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHAL

BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER AND ANY APPLICABLE REVIEWING AGENCY THAT THE NFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS

6. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD FIVE COMPLETE SETS OF "AS-T" CONSTRUCTION DRAWINGS (PRINTS) AND ONE MYLAR ORIGINAL THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.

7. ALL "AS-BUILT" INFORMATION ON ELEVATIONS OF PAVING, DRAINAGE WATER, AND SEWER SHALL BE CERTIFIED BY A REGISTERED LAND 8. ALL AS-BUILT INFORMATION MUST BE PROVIDED IN AUTOCAD® RELEASE 2000 OR LATER FORMAT.

H. EARTHW□RK

1. NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE LIMEROCK BASE.

2. ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTD T-180

3. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY

4. ALL DRGANIC AND DTHER UNSUITABLE MATERIAL WITHIN WORK LIMITS AND SWALE AREAS SHALL BE REMOVED.

I. PAVING

1. TESTING - REQUIRED, ASPHALT AND LIMEROCK TESTS SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER OR THE LOCAL GOVERNMENT AGENCY.

J. GENERAL UTILITY NOTES

1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY DETERMINE THE EXACT LOCATION (VERTICAL & HORIZONTAL) OF AN' EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY ALL UTILITIES, METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS, ANY AND ALL CONFLICTS OR DISCREPANCIES OF UTILITIES WITH PROPOSED IMPROVEMENTS CONSTRUCTION DRAWINGS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WOR THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT

2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE. FLORIDA POWER AND LIGHT COMPANYSOUTHERN BELL-LOCAL WATER AND SEWER UTILITY COMPANY(S)-

LOCAL CABLE TELEVISION COMPANY(S) -LOCAL CITY ENGINEERING DEPARTMENT-FLORIDA DEPARTMENT OF TRANSPORTATION-SUNSHINE STATE ONE CALL OF FLORIDA-(1-800-432-4770)

FOR STREET EXCAVATION OR CLOSING

TRAFFIC SARGEANT-FIRE DISPATCH-THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES,

. AND LANDSCAPED AREAS DAMAGED AS A RESULT OF TH CONTRACTOR'S OPERATIONS AND/OR THOSE OF SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY. THIS REPAIR SHALL BE DONE AT NO EXPENSE TO THE OWNER OF THE DAMAGED UTILITY OR PROPERTY.

4. COORDINATE CONSTRUCTION SCHEDULING FOR CONNECTION TO THE EXISTING WATER AND SEWER LINES WITH THE CITY UTILITY

5. ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE COUNTY OR STATE OF FLORIDA D.O.T. STANDARD SPECIFICATIONS, WHERE APPLICABLE.

6. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT

7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, SOUTHERN BELL, IRRIGATION SYSTEM, ETC PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COOR DINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE

8. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN OVERNIGHT WITHOUT WRITTEN PERMISSION OF THE CITY OR OWNER.

9. THE CONTRACTOR MUST NOTIFY FLYNN ENGINEERING SERVICES, P. A. PRIOR TO STARTING EACH PHASE OF ANY UNDERGROUND UTILITY WORK OR PAVING AND GRADING OPERATIONS SO THAT THE PROPER INSPECTIONS MAY BE SCHEDULED.

1. SURVEY DATA - ALL ELEVATIONS ON THE PLANS OR REFERENCED IN SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

2. SURVEY INFORMATION BASED ON SURVEY BY JOHN IBARRA & ASSOCIATES, INC DATED 02/24/21 (JDB NUMBER 21-000704-1).

II. CONSTRUCTION SPECIFICATIONS

1. IT IS THE INTENT OF THESE SPECIFICATIONS TO DESCRIBE THE MINIMUM ACCEPTABLE TECHNICAL REQUIREMENTS FOR THE MATERIALS AND WORKMANSHIP FOR CONSTRUCTION OF SITE IMPROVEMENTS FOR THIS PROJECT. SUCH IMPROVEMENTS-SHALL GENERALLY INCLUDE BUT NOT TO BE LIMITED TO, CLEARING, GRADING, PAVING, REMOVAL OF EXISTING PAVEMENT, AND STORM DRAINAGE.

THE INTENT THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION 'STANDARD PLANS FOR ROAD CONSTRUCTION DATED FY 2022-23 BE USED WHERE APPLICABLE FOR THE VARIOUS WORK, AND THAT WHERE SUCH WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL SUCH WORDING INTENDED TO BE REPLACED WITH THE WORDING WHICH WOULD PROVIDE PROPER TERMINOLOGY; THEREBY MAKING SUCH "STANDARD PLANS FOR ROAD CONSTRUCTION" AS THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.

3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE THE CONSTRUCTION OF A PAVING. DRAINAGE, WATER AND SEWER SYSTEM AS SHOWN ON THE PLANS, SPECIFIED HEREIN, OR BOTH. IT IS TH TO PROVIDE A COMPLETE AND OPERATING FACILITY IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS. THE MATERIAL AND EQUIPMENT SHOWN OR SPECIFIED SHALL NOT BE TO EXCLUDE ANY OTHER INCIDENTALS NECESSARY

4. ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE PLANS AND CONSTRUCTION SPECIFICATIONS AND THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADDPTED BY THE UNIT OF GOVERNMENT WHICH HAS JURISDICTION AND RESPONSIBILITY FOR THE CONSTRUCTION. WHERE CONFLICTS OR OMISSIONS EXIST, THE JURISDICTIONAL GOVERNMENT ENGINEERING DEPARTMENT'S STANDARDS SHALL GOVERN. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN

5. GUARANTEE - ALL MATERIALS AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT. SHALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR FROM THE FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTEE PERIOD, TH AFFECTED PART OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER. IN THE EVENT THE CONTRACTOR FAILS TO MAKE NECESSARY REPLACEMENT OR REPAIRS WITHIN (7) SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH

THE WORK AT THE EXPENSE OF THE CONTRACTOR.

B. EARTHWORK

1. ALL AREAS WITHIN THE LIMITS OF WORK SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1'. ITEMS DESIGNATED REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE S DESIGNATED ON THE DRAWINGS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE STANDARD SPECIFICATIONS.

2. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, DR A-2-4 IN ACCORDANCE WITH AASHTO M--145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.

3. ALL MATERIAL OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION TESTING TO ESTABLISH CONFORMANCE WITH SPECIFICATIONS AND SUITABLY FOR THE USES INTENDED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE TIME HE WILL BE READY FOR AN INSPECTION OF TEST. THE CONTRACTOR SHALL FOLLOW CITY AND COUNTY INSPECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PHASE OF WORK DEPENDENT ON AN INSPECTION OR TEST AN EARLIER PHASE OF WORK, PRIOR TO THAT NSPECTION PASSING, THE CONTRACTOR SHALL BE RESPONSIBLE PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE _IMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIE EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS,

4. WHEN ENCOUNTERED, MUCK SHALL BE COMPLETELY REMOVED FROM THE CENTER LINE (10) TEN FEET BEYOND THE EDGE OF PAVEMENT EACH SIDE. ALL SUCH MATERIAL SHALL BE REPLACED BY APPROVED GRANULAR FILL, COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO

5. WHEN ENCOUNTERED WITHIN DRAINAGE SWALES. HARDPAN OR MUCK SHALL BE REMOVED FOR A WIDTH OF (5) FIVE FEET AT THE INVERT AND REPLACED WITH GRANULAR MATERIALS.

6. ALL UNDERGROUND UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE IN PLACE PRIOR TO SUBGRADE COMPACTION AND PAVEMENT

7. GROUND ADJACENT TO ROADWAY/PAVEMENT HAVING RUNDFF SHALL GRADED (2) TWO INCHES LOWER THAN THE EDGE OF PAVEMENT ALLOW FOR THE PLACEMENT OF SOD. 8. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1' OF REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN

9. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL, EMBANKMENT AND GRADING TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING TYPICAL ROAD SECTIONS, SIDE SLOPES AND CANAL SECTIONS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 THE STANDARD SPECIFICATIONS. IF FILL MATERIAL IS REQUIRED IN EXCESS OF THAT GENERATED BY THE EXCAVATION, CONTRACTOR SHALL SUPPLY THIS MATERIAL AS REQUIRED FROM OFF-

C. DRAINAGE

1. INLETS - ALL INLETS SHALL BE THE TYPE DESIGNATED ON THE PLANS, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA D. D. T. SPECIFICATIONS, INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE LETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.

2. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS: RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C--76, TABLE III, F. D. O. T., SECTION 941.

CMP = CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196. CMP (SMOOTH LINED) = CORRUGATED METAL ALUMINUM PIPE, (SMOOTH LINED) ASTM DESIGNATION M-196. SCP = SLOTTED CONCRETE PIPE, F. D. O. T. SECTIONS 941 AND

PVC = POLYVINYL CHLORIDE PIPE

PCMP = PERFORATED CMP, F. D. O. T. SECTION 945 3. PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE AS DEFINED IN THE FLORIDA D. D. T. SPECIFICATIONS, 2007, SECTION 125-8. PIPELINE BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED 100% OF THE STANDARD PROCTOR (AASHTO T--99 SPECIFICATIONS)

4. LOCATION OF DRAINAGE STRUCTURES SHALL GOVERN, AND ENGTH MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION. AS SHOWN ON THESE PLANS.

TO SECTION 985 OF THE F.D.O.T. STANDARD SPECIFICATIONS

6. ALL DRAINAGE LINES SHALL BE LAMPED PRIDR TO FINAL ACCEPTANCE.

D. PAVING 1. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING

ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. 2. INTERNAL ASPHALT PAVING CONSTRUCTED ON EXISTING SANDY SOILS SHALL BE CONSTRUCTED WITH A 12" SUBGRADE, COMPACTED TO A MINIMUM DENSITY OF 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE COMPACTED SUBGRADE SHALL BE CONSTRUCTED IN LIMITS SHOWN ON THE PLANS. ALL SUBGRADE SHALL HAVE AN

LBR OF 40 UNLESS OTHERWISE NOTED. 3. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE SURFACE COURSE SHALL CONSIST OF THE THICKNESS AND TYPE ASPHALTIC CONCRETE AS SPECIFIED IN THE PLANS. ALL ASPHALTIC CONCRETE SHALL BE I ACCORDANCE WITH SECTIONS 320, 330, 331, 332, 333, 335, 337 AND 339 OF THE STANDARD SPECIFICATIONS.

4. LIMEROCK BASE SHALL BE PREPARED, COMPACTED AND GRADED AND IN ACCORDANCE WITH SECTION 200 OF DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION". ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NO THAN 70% OF CARBONATES OF CALCIUM AND MAGNESIUM UNLESS OTHERWISE DESIGNATED, ALL LIMEROCK SHALL BE PRIMED, THE ENGINEER SHALL INSPECT THE COMPLETED BASE COURSE AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES AND CLEAN THE BASE COURSE PRIOR TO THE PLACEMENT OF THE PRIME COAT. TACK COAT WILL ALSO BE REQUIRED IF THE ENGINEER FINDS THAT THE PRIMED BASE HAS BECOME EXCESSIVELY DIRTY OR THE PRIME COAT HAS CURED TO THE EXTENT OF LOSING BOUNDING EFFECT PRIOR TO PLACEMENT OF THE ASPHALTIC CONCRETE SURFACE COURSE. THE PRIME AND TACK COATS SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.

5. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO EQUAL LIFTS. 6. ASPHALT EDGES THAT ARE NOT CURBED SHALL BE SAWCUT TO

PROVIDE A STRAIGHT EVEN LINE TO THE DIMENSIONS SHOWN ON THE HORIZONTAL CONTROL PLAN. E. CONSTRUCTION

1. CONCRETE SIDEWALK SHALL BE 6" THICK ON COMPACTED SUBGRADE, WITH 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75". CRACK CONTROL JOINTS SHALL BE 5' ON CENTER.

2. CONCRETE CURB SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS AND SHALL BE IN ACCORDANCE WITH SECTION 345 OF THE STANDARD SPECIFICATIONS. F. SIGNAGE AND PAVEMENT MARKINGS

G. SEWER SYSTEM NOTES

1. THE ROADS AND PARKING AREAS SHALL BE STRIPED IN ACCORDANCE WITH THE PLANS, NO STRIPE SHALL BE LESS THAN THE SPECIFIED WIDTH NOR SHALL IT EXCEED THE SPECIFIED WIDTH BY MORE THA 1/2 INCH. STRIPING SHALL BE IN ACCORDANCE WITH SECTIONS 710 AND 971 OF THE STANDARD SPECIFICATIONS. ALL STRIPPING WITHIN THE PUBLIC RIGHT-OF-WAY AND AT DRIVEWAY ACCESS PDINTS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

2. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR INSTALL AND MAINTAIN ADEQUATE TRAFFIC CONTROL DEVICES WARNING DEVICES AND BARRIERS FOR THE PURPOSE OF PROTECTING THE TRAVELING PUBLIC, HIS WORKMEN AND THE WORK AREA IN GENERAL. SUCH TRAFFIC CONTROL SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT PERIOD, INCLUDING ANY TEMPORARY SUSPENSIONS OF THE WORK. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH SECTION 102 OF THE STANDARD SPECIFICATIONS AND THE STATE OF FLORIDA, MANUAL OF TRAFFIC CONTROL PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS.

3. ALL PAVEMENT MARKINGS ON-SITE SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED. 4. ALL SIGNING AND MARKINGS SHALL CONFORM TO MUTCD AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST EDITION).

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL UTILITY DEPARTMENT MINIMUM STANDARDS AND APPLICABLE CODES.

2. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING SEWER LINES, MANHOLES, AND SHALL NOTIFY THE ENGINEER IF THE FIELD INFORMATION DIFFERS FROM THAT SHOWN ON THE PLANS.

ALL GRAVITY SEWER PIPE 4" & LARGER SHALL BE POLYVINYL CHLORIDE (PVC) ASTM 3034, SDR 35 FOR THE ON-SITE SANITARY AWWA C-900 PVC DFF-SITE SHALL BE USED IN THE CITY R. D. W. 4. MINIMUM SLOPE SHALL BE 0.4% FOR 8" PIPE AND 1% FOR 6"

SERVICE LATERALS. 5. DUCTILE IRON SEWER PIPE FOR GRAVITY MAINS SHALL BE CLASS 350 POLYLINED WITH A MINIMUM OF 30" OF COVER.

6. PVC LINES ENTERING OR LEAVING MANHOLES SHALL HAVE A

7. CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY UTILITY DEPARTMENT

NEOPREME BOOT WITH STAINLESS STEEL ACCESSORIES.

8. CLEANDUTS SHALL BE INSTALLED AT ALL SEWER SERVICES EXCEEDING 75' IN LENGTH (EVERY 75') WITH A CLEANDUT AT TH PROPERTY LINE, EASEMENT LINE, OR 5' FROM A BUILDING. TH CONTRACTOR SHALL COORDINATE THE LOCATION OF THE BUILDIN CLEANOUT (5' FROM THE BUILDING) AND ELEVATION OF THE END O THE SEWER SERVICE WITH THE BUILDING PLUMBING CONTRACTOR

9. LIMITS OF INFILTRATION OR EXFILTRATION OR LEAKAGE FOR THE ENTIRE SYSTEM, INCLUDING SERVICE LINES, SHALL NOT EXCEED RATE OF 0.1 GALLONS PER FOOT PER 24 HOURS FOR ALL SIZES THROUGHOUT THE SYSTEM. THE ALLOWABLE LIMITS INFILTRATION OR EXFILTRATION OF MANHOLES SHALL NOT EXCEED A RATE OF 4 GALLONS PER MANHOLE PER 24 HOURS.

15' UTILITY EASEMENT, UNLESS OTHERWISE SHOWN. 11. THE ENTIRE SYSTEM SHALL BE CLEANED PRIDR TO LAMPING OF THE LINES, 12" SANITARY SEWER MUST BE TELEVISED @ CONTRACTORS ALL DEFICIENTCIES OBSERVED ON THE VIDEO TAPES SHALL

BE CORRECTED PRIOR TO CITY CERTIFICATION TO ANY AGENCY

10. ALL SEWER MAINS AND SERVICES, UP TO AND INCLUDING THE END OF THE SERVICE, SHALL BE CONSTRUCTED WITHIN A MINIMUM OF A

12. PROVIDE DRANGE RPM @ CENTERLINE OF ROAD OF NEAREST DRIVING LANE FOR MANHOLES LOCATED IN GREEN AREAS.

A. ALL PIPE SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER ANSI/AWWA SPECIFICATIONS OF C-600-05 LEAKAGE FORMULA:

L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S = TOTAL LENGTH OF PIPE TESTED, FEET. (2000 MAX. PER TEST) D = DIAMETER OF THE PIPE TESTED, INCHES. P = AVERAGE TEST PRESSURE, PSI. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY AND THE ENGINEER OF RECORD. PRESSURE DROP OF MORE THAN 5 PSI IS NOT ALLOWED, REPUMPING OF MAIN IS NOT ALLOWED.

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY DEPARTMENT MINIMUM STANDARDS AND

MAXIMUM LENGTH OF TEST PIPE SECTION SHALL BE 2,000 FEET.

. ALL POTABLE WATER PIPE 4" AND LARGER SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE CONFORMING TO AWWA C-900-97 PVC-1120, SDR-18 DR DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C-151/A21.51--02 AND LINED AND COATED PER ANSI/AWWA C-104/A21, 4-03, 4" DIP SHALL DE CLASS 350, 6" AND 8" DIP SHALL BE CLASS 350, AND 10" DIP SHALL CLASS 350. MINIMUM DEPTH OF COVER IS 36" FOR PVC AND 30" FOR DIP. ALL PIPE TO HAVE 150 PSI MINIMUM PRESSURE RATING. FITTINGS 4" AND LARGER SHALL BE DUCTILE IRON MEETING ANSI/AWWA C-110/A21.10-03. FITTINGS MUST BE CEMENT LINED AN SEAL COATED PER C-104/A21. 4-03 PRESSURE RATING OF ALL FITTINGS SHALL BE 350 PSI. ALL WATER MAIN PIPES WITHIN THE CITIES RIGHT-OF-WAY OR EASEMENT SHALL BE DUCTILE IRON PIPE CLASS 350. ALL FIRE MAINS SHALL BE DIP OR PVC C-900 (SDR-14)

AND PRESSURE TESTED @ 200 PSI FOR 2 HRS. 3. ALL WATER PIPE SMALLER THAN 4 INCHES SHALL BE PVC MINIMUM SCHEDULE 80 WITH A MINIMUM WORKING PRESSURE OF 160 PSI. FITTINGS FOR PIPE SMALLER THAN 4" SHALL BE MINIMUM SCHEDULE SOLVENT WELD SOCKET TYPE ASTM D-2464 OR MINIMUM SCHEDULE 80 THREADED TYPE ASTM D-2464.

4. THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN RUN AND THE SYSTEM ACCEPTED BY THE CITY AND THE COUNTY HEALTH DEPARTMENT.

6. WATER METERS 2" DR SMALLER SHALL BE INSTALLED BY THE CITY. THE

CONTRACTOR SHALL COORDINATE WITH THE CITY UTILITY DEPARTMENT

5. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY UTILITY DEPARTMENT

AND PROVIDE THE PROPER FITTINGS NECESSARY TO INSTALL METERS. ALL COSTS ASSOCIATED WITH THE METER INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 7. GATE VALVES, 4" DR LARGER, SHALL MEET AWWA C-509-01 STANDARD. BUTTERFLY VALVES, 16" OR LARGER, SHALL MEET AWWA

C-504-00, CLASS 150B STANDARDS. 8. FIRE HYDRANTS SHALL BE TRAFFIC BREAK AWAY TYPE CONFORMING TO AWWA C-502-94 STANDARDS. FIRE HYDRANTS SHALL BE MUELLER MODEL A-423 OR CLOW MEDALLION 2546-5B

ALL TRENCHING, PIPE LAYING, BACKFILLING. PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH AWWA C-600-99 AND C-651-10. DEFLECT WATER MAINS AS NECESSARY TO AVOID ANY CONFLICTS WITH OTHER UTILITIES. ALLOWABLE DEFLECTION SHALL NOT EXCEED

11. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND ELEVATION OF THE ENDS OF THE WATER SERVICES WITH THE BUILDING

12. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING WATER MAINS AND PROPOSED CONNECTION POINTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE FIELD INFORMATION DIFFERS FROM

13. ALL WATER MAINS TO BE FLUSHED VIA POLY PIG.

14. THE CONTRACTOR MUST ARRANGE AND PAY FOR ANY TEMPORARY WATER REQUIRED FOR CONSTRUCTION, CLEANING, TESTING, ETC...

A. ALL PIPE SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI (200 PSI FOR FIRE MAIN) FOR A MINIMUM TEST PERIOD OF HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER ANSI/AWWA SPECIFICATIONS OF C-600-05 LEAKAGE FORMULA:

L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S = TOTAL LENGTH OF PIPE TESTED, FEET. (2000 MAX. PER TEST)
D = DIAMETER OF THE PIPE TESTED, INCHES. P = AVERAGE TEST PRESSURE, PSI.THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY AND THE ENGINEER OF RECORD. PRESSURE DROP OF MORE THAN 5 PSI IS NOT ALLOWED, REPUMPING OF MAIN IS NOT ALLOWED.

B. DISINFECTION OF ALL WATER LINES SHALL COMPLY WITH ANSI/AWWA C-651-05. BACTERIOLOGICAL SAMPLING POINTS ARE SHOWN ON THE WATER AND SEWER PLAN A CHLORINE RESIDUAL OF .3 TO 1.5 PPM SHALL BE MAINTAINED. ALL STERILIZATION SHALL BE AT THE FULL EXPENSE OF THE CONTRACTOR, BACTERIOLOGICAL SAMPLES MUST APPROVED BY THE COUNTY PUBLIC HEALTH UNIT AND THE CITY PRIOR TO OPERATION OF THE SYSTEM.

MAXIMUM LENGTH OF TEST PIPE SECTION SHALL BE 2,000 FEET.

16. ALL PVC PIPE SHALL BE INSTALLED WITH METALLIC LOCATOR TAPE 18' ABOVE THE TOP OF PIPE.

17. BACK FLOW PREVENTORS MUST BE APPROVED BY THE CITY AS TO YPE AND LOCATION PRIOR TO INSTALLATION

18. "ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER A CONSTRUCTION PERMIT FOR WHICH HEALTH DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER.
UNDERGROUND PLASTIC PIPE SHALL BE SOLIDWALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE O BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO WALL PIPE. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS
STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE
LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED I ACCORDANCE WITH SUBSECTION 62-555, 320(10), F. A. C., AND ALL OTHER ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE. "SUBSECTION 62-555.320(10), F.A.C. READS AS FOLLOWS: "COLOR CODING OF PIPES AT DRINKING WATER TREATMENT PLANTS: ALL NEW DE ALTERED, ABOVEGROUND PIPING AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED AS RECOMMENDED IN SECTION 2.14 OF RECOMMENDED STANDARDS FOR WATER WORKS AS INCORPORATED INTO RULE 62-555, 330, F.A.C. IN ADDITION, ALL UNDERGROUND WATER MAIN PIPE THAT IS INSTALLED AT DRINKING WATER TREATMENT PLANTS ON OR AFTER AUGUST 28, 2003, AND THAT IS CONVEYING FINISHED DRINKING WATER SHALL BE COLOR CODED AS REQUIRED UNDER SUBPARAGRAPH 62-555.320(21)(B)3., F.A.C., THIS SUBSECTION DOES NOT APPLY TO DRINKING WATER TREATMENT PLANT PIPING INSTALLED OR ALTERED UNDER A CONSTRUCTION PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003. "

III. SPECIFIC SITE NOTES

1. "CITY" IN THESE NOTES REFERS TO THE CITY OF HALLANDALE BEACH. "COUNTY" IN THESE NOTES REFERS TO BROWARD COUNTY.

3. "STATE" IN THESE NOTES REFERS TO THE STATE OF FLORIDA.

IIII. INTENT OF DRAWINGS & SPECIFACTIONS

1. INTENT OF SPECIFICATIONS AND DRAWINGS IS TO COVER AN INSTALLATION COMPLETE IN EVERY ASPECT. IT IS NOT INTENDED TO GIVE EVERY DETAIL ON DRAWINGS AND SPECIFICATIONS. OWNER WILL NOT BE RESPONSIBLE FOR ABSENCE OF ANY DETAIL WHICH CONTRACTOR MAY REQUIRE, NOR FOR ANY SPECIAL CONSTRUCTION WHICH MAY BE FOUND NECESSARY AS WORK PROGRESSES. IF AN ITEM IS EITHER INDICATED OR SPECIFIED, IT SHALL BE CONSIDERED SUFFICIENT FOR INCLUSION OF SAID ITEM IN CONTRACT. CONTRACTOR SHALL FURNISH AND INSTALL MATERIALS AND FQUIPMENT USUALLY FURNISHED WITH SUCH SYSTEMS, AND AS NEEDED TO COMPLETE AN OPERATING INSTALLATION, WHETHER MENTIONED OR NOT, WHICH ARE CUSTOMARY TO ITS

2. INCIDENTAL ACCESSORIES NOT USUALLY SHOWN OR SPECIFIED BUT WHICH ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION SHALL BE INCLUDED IN WORK WITHOUT ADDITIONAL COST TO THE OWNER, THE SAME AS

IF HERIN SPECIFIED. 3. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON BUT MENTIONED IN THE SPECIFICATIONS, OR VICE-VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY FOR JPERATION, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.

SYSTEMS AND WORK INDICATED (DO NOT SCALE THE DRAWINGS). CONSULT THE ENGINEER FOR EXACT LOCATIONS OF ITEMS WHICH ARE NOT DEFINITELY LOCATED ON THE DRAWINGS. 5. ENGINEER'S INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SHALL BE

7. IF A DISCREPANCY OCCURS BETWEEN A DETAIL, PLAN OR SPECIFICAITONS, THE

MOST RESTRICTIVE DETAIL TAKES PRECEDENCE & SHALL BE IMPLEMENTED IN

4. DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF

FINAL AND BINDING UPON CONTRACTOR. 6. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID, AND THOROUGHLY INVESTIGATE AND VERIFY ALL CONDITIONS UNDER SHICH WORK SHALL BE

THE CONSTRUCTED PROJECT.

BROWARD COUNTY TRAFFIC ENGINEERING COMMUNICATION NOTES:

ALL PARTIES SHALL BE AWARE THAT DIRECTIONAL BORES, UTILITY CONNECTIONS, THE PLACEMENT OF MOT AND ADVANCE SIGNAGE MAY, BY THEIR PLACEMENT, DAMAGE/DESTROY THE COMMUNICATIONS CABLE/CONDUIT LOCATED INSIDE/OUTSIDE THE PROJECT AREA. ADDITIONALLY, CURB/GUTTER/SIDEWALK REMOVAL/PLACEMENT, RELOCATION OF TREES, LANDSCAPING ACTIVITIES AND IRRIGATION ACTIVITIES ARE POTENTIAL CAUSES FOR DAMAGE TO BCTED'S COMMUNICATIONS CABLE/CONDUIT. ALL PARTIES SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY TO THE COMMUNICATIONS CABLE/CONDUIT. ANY WORK, INCIDENTAL TO THE PROJECT WHICH DAMAGES OR IMPACTS THE COMMUNICATIONS CABLE/CONDUIT SHALL BE SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED WITHIN THE PLAN SET UNDER "COMMUNICATION NOTES" AND BCTED'S "STANDARDS AND SPECIFICATIONS -COMMUNICATION INFRASTRUCTURE" DOCUMENT.

THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED). ALL SYSTEM COMMUNICATIONS EQUIPMENT, CABLING AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF MINIMUM STANDARDS AS EXPRESSED IN THE "STANDARDS AND SPECIFICATIONS - COMMUNICATION INFRASTRUCTURE" DOCUMENT. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS AND SPECIFICATIONS. FOR A COPY OF THESE STANDARDS REFER TO THE BROWARD COUNTY WEB SITE AT WWW.BROWARD.ORG/TRAFFIC OR CONTACT ROBERT BLOUNT, COMMUNICATIONS MANAGER AT RBLOUNT@BROWARD.ORG.

THE CONTRACTOR SHALL MAINTAIN ONLINE COMMUNICATIONS OF EXISTING OR TEMPORARY SIGNALIZATION VIA INTERCONNECT COMMUNICATIONS CABLE OR TELCO PHONE LINES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY LINES AND CONNECTIONS AS NECESSARY. A TIME-BASED-COORDINATION (TBC) SYSTEM IS TO BE UTILIZED ONLY IF PROVISION OF THE TEMPORARY LINES AND CONNECTIONS AS NECESSARY. A TIME-BASED-COORDINATION (TBC) SYSTEM IS TO BF UTILIZED ONLY IF PROVISION OF THE TEMPORARY LINES IS NOT FEASIBLE. THE DEVELOPMENT AND IMPLEMENTATION OF THE TBC PROGRAM IS TO BE PERFORMED BY THE CONTRACTOR WITH OVERSIGHT BY A TRAFFIC ENGINEER REGISTERED IN THE STATES OF FLORIDA. COST OF MAINTAINING COMMUNICATIONS WITH THE CENTRAL SITE, INCLUDING TEMPORARY LINES AND CONNECTIONS, SHALL BE PAID FOR UNDER THE MAINTENANCE OF TRAFFIC. ALL REPORTED MALFUNCTIONS OF THE COMMUNICATIONS SYSTEM SHALL BE RESPONDED TO BY THE CONTRACTOR WITHIN TWO HOURS AND SHALL BE REPAIRED WITHIN TWENTY-FOUR HOURS.

THE CONTRACTOR SHALL BE AWARE THAT BELLSOUTH TELEPHONE DROPS AND SYSTEM COMMUNICATIONS INTERCONNECT MAY EXTEND THROUGHOUT THE PROJECT. CABLE RUNS AND/OR CONDUIT, TELEPHONE INTERFACE EQUIPMENT, PULL/JUNCTION BOXES AND ANY OTHER SIGNAL OR OTHER SYSTEMS EQUIPMENT DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. DAMAGED COMMUNICATIONS CABLE SHALL BE REPLACED AS AN ENTIRE RUN, FROM JUNCTION POINT TO JUNCTION POINT AND SHALL BE TERMINATED IN JUNCTION BOXES. THE CONTRACTOR SHALL OBTAIN SYSTEMS COMMUNICATIONS INFORMATION FROM THE APPLICABLE MAINTAINING AGENCY.

ANY MATERIAL FURNISHED FOR THE PURPOSES OF: NEW INSTALLATION, REPLACEMENT OR REPAIR OF THE EXISTING COMMUNICATIONS INFRASTRUCTURE SHALL MEET THE STANDARDS AND SPECIFICATIONS OF BCTED: ANY SUPPLIED CONTROLLER CABINET. CONTROLLER. TELEMETRY UNIT. COMMUNICATIONS CABLE PULL BOX, CONDUIT, TERMINATION DEVICE, JUNCTION BOX AND COMMUNICATIONS INTERFACE PANEL SHALL COMPLY WITH THE LATEST REQUIREMENTS AS STATED BY BCTED AND SHALL PROVIDE FOR FULL FUNCTIONALLY WITH THE EXISTING BCTED'S UTCS OPERATION.

PROCEDURE FOR NOTIFICATION OF COMMUNICATION DISRUPTION:

WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE AN ADVANCE TWO-DAY NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC MAIL (EMAIL) TO THE COMMUNICATION'S MANAGER AT RBLOUNT@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION <u>SHALL</u> LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE AT OFF PEAK HOURS BEGINNING AT 9:00AM AND ENDING AT 3:00PM.

ALL BCTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED A MINIMUM OF 48 HOURS IN ADVANCE.

F.D.O.T. NOTES:

1. THE LOCAL MEDIA SHALL BE CONTACTED A WEEK PRIOR TO ANY LANE CLOSURES ON THE STATE ROAD SYSTEM AS IT WILL OCCUR DURING PEAK HOURS OR OVER THE SPAN OF MORE THAN ONE DAY. CONTACT GUILLERMO CANEDO. FDOT PUBLIC INFORMATION OFFICE AT 954-777-4302 FOR GUIDANCE ON WHO TO CONTACT. PROVIDE COPY OF THE PRESS

RELEASE TO: FLORIDA DEPARTMENT OF TRANSPORTATION PUBLIC INFORMATION OFFICE 3400 WEST COMMERCIAL BLVD.

FORT LAUDERDALE, FLORIDA 33309 2. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM

TO THE FDOT DESIGN STANDARDS (FY 2022-23 EDITION). 3. THE APPLICANT'S ENGINEER RESPONSIBLE FOR CONSTRUCTION INSPECTION SHALL INSURE THAT THE MAINTENANCE OF TRAFFIC PLAN (MOT) FOR THE PROJECT IS IN ACCORDANCE WITH THE APPLICABLE FDOT 102-600 SERIES INDEX NUMBER AND THESE DOCUMENTS: THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (U.S. DEPARTMENT OF TRANSPORTATION, FHWA).

4. AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF THE STATE ROAD SHALL BE BACKFILLED IN ACCORDANCE WITH STANDARD INDEX 600 OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR'S EXPENSE.

5. IF THE PERMITTED WORK IS ON A ROADWAY THAT HAS BEEN SELECTED AS A HURRICANE OR DISASTER EVACUATION ROUTE, THE APPLICANT, AT THE PRE-CONSTRUCTION CONFERENCE IS REQUIRED TO PRESENT. AS PART OF THE WORK PLAN. AN EMERGENCY FUNCTIONAL RESTORATION PLAN TO ADDRESS EVENTUALITIES SUCH AS HURRICANES. 6. THE CONTRACTOR MUST CALL THE APPROPRIATE COUNTY TRAFFIC ENGINEERING DIVISION,

EXCAVATION WITHIN THE FDOT RIGHT-OF-WAY TO DETERMINE THE LOCATION OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE. 7. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. RELOCATION OF UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANIES AFTER IDENTIFICATION OF CONFLICT BY CONTRACTOR. CONTRACTOR WILL NOTIFY ENGINEER IN

HAVING JURISDICTION OVER THE PROJECT AT LEAST 48 HOURS, BEFORE ANY

ADVANCE BEFORE ANY RELOCATION. 8. BEFORE PERMIT APPROVAL AND CONSTRUCTION OF THIS PROJECT, THE APPLICANT MUST CONTACT THE FLORIDA DEPARTMENT OF TRANSPORTATION LOCAL MAINTENANCE OFFICE TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE TELEPHONE NUMBER IS

954-776-4300 OR 1-800-300-8236. 9. THE APPLICANT AT THE EARLIEST CONVENIENT TIME SHALL NOTIFY IN WRITING ALL

RIGHT-OF-WAY USERS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT. 10. ALL MOT LANE CLOSURE SIGNS SHALL BE COVERED WHEN LANES ARE NOT CLOSED.

NO LANES ARE TO BE CLOSED EXCEPT AT TIMES PRESCRIBED BY THE DEPARTMENT..

11. LIMEROCK BASE SHALL BE A MINIMUM OF 12" AND COMPACTED IN 6" LIFTS TO 98% MAXIMUM DENSITY ACCORDING TO AASHTO-T180. CONSTRUCTION TO CONFORM TO SECTION 200. BASE TO BE PRIMED AFTER COMPACTION.

12. STABILIZED SUBGRADE - MINIMUM 12" THICK AND COMPACTED TO 98% MAXIMUM DENSITY ACCORDING TO AASHTO-180. MATERIAL TO HAVE MINIMUM L.B.R. OF 40 AND CONFORM TO SECTION 160.

13. REMOVE ALL MUCK, OVERBURDEN, AND ROOT MATERIAL TO THE RIGHT-OF-WAY LINE,

AND BACKFILL TO THE REQUIRED SUBGRADE WITH CLEAN, GRANULAR MATERIAL IN

MAXIMUM 6" LIFTS COMPACTED TO 100% OF MAXIMUM DESNITY IN ACCORDANCE WITH AASHTO T99-C SPECIFICATIONS, AND EACH LIFT TESTED BEFORE PLACING NEXT LIFT. 14. ALL CURB CUT RAMPS MUST FACE IN THE DIRECTION OF PEDESTRIAN TRAVEL.

15. FLAGGERS MUST BE PRESENT DURING THE INGRESS AND EGRESS OF CONSTRUCTION

ON Jul 26, 2022 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

CENS ---STATE OF PLORIDA.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E.

VEHICLES TO AND FROM THE PROJECT SITE. WARNING SIGNS MUST BE ERECTED ADVISING MOTORISTS OF TRUCKS ENTERING THE HIGHWAY.

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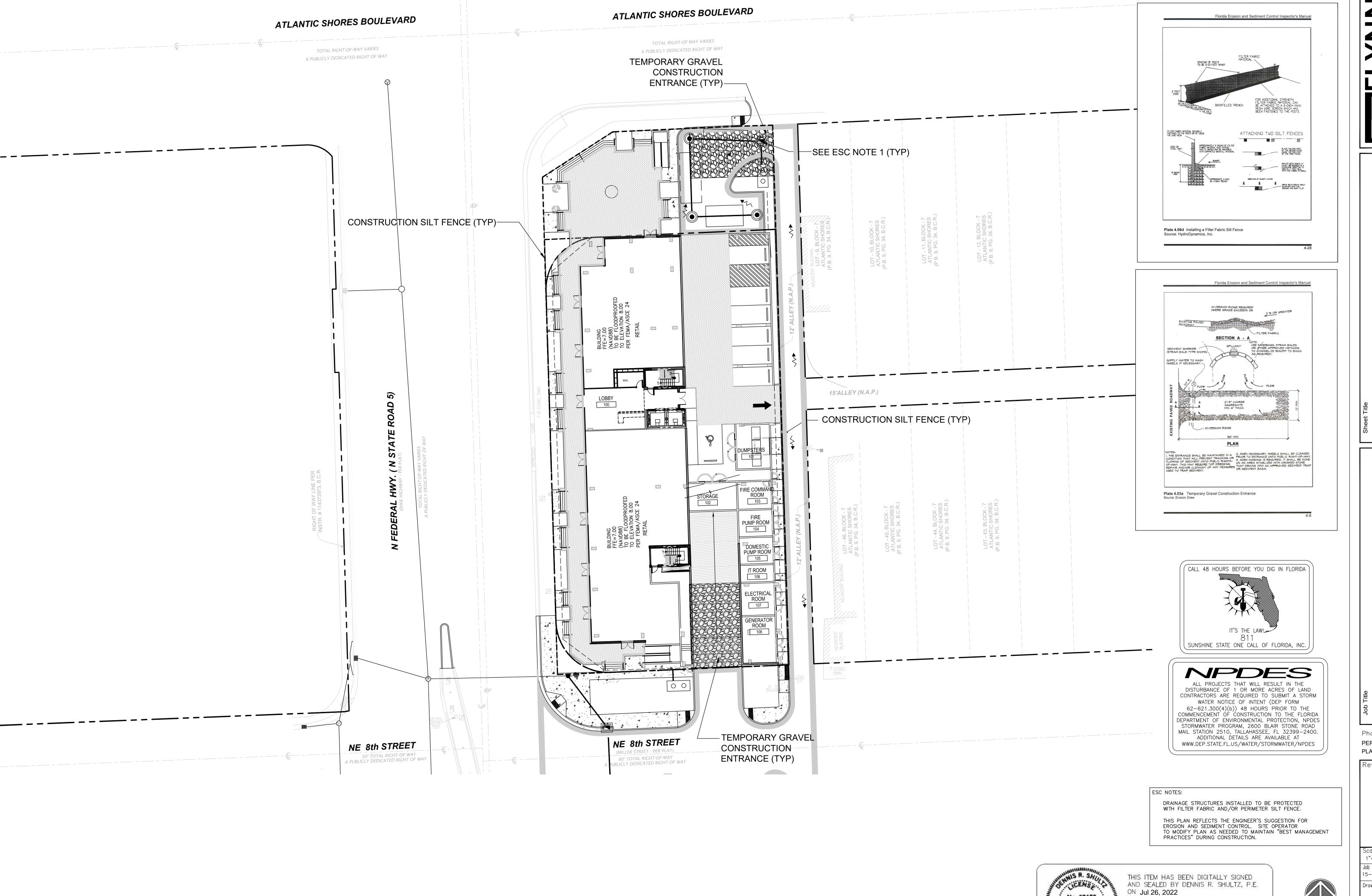
Phase PERMITTING

PLANS

Revisions

NTS 12/13/2 Job No. Plot Date 15-1273.05 | 07/22/2 Sheet No. Drawn by DRS Proj. Engr. DRS Appr. by

DRS



SEDIMENT

EROSION

Phase: PERMITTING PLANS

Revisions

1"=20.0' 12/13/21 Plot Date 15-1273.05 | 04/29/22 Drawn by DRS

NORTH

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STATE OF

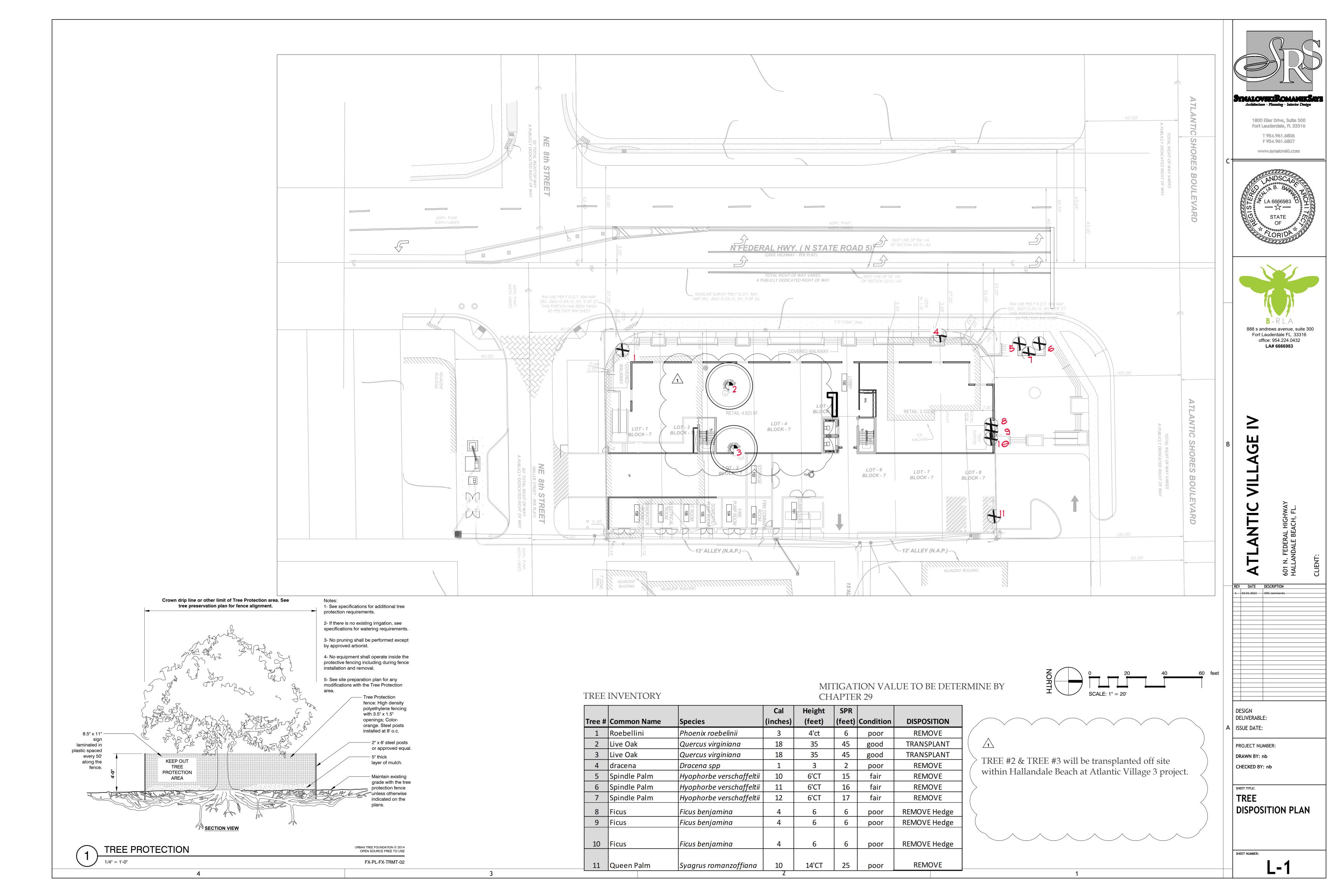
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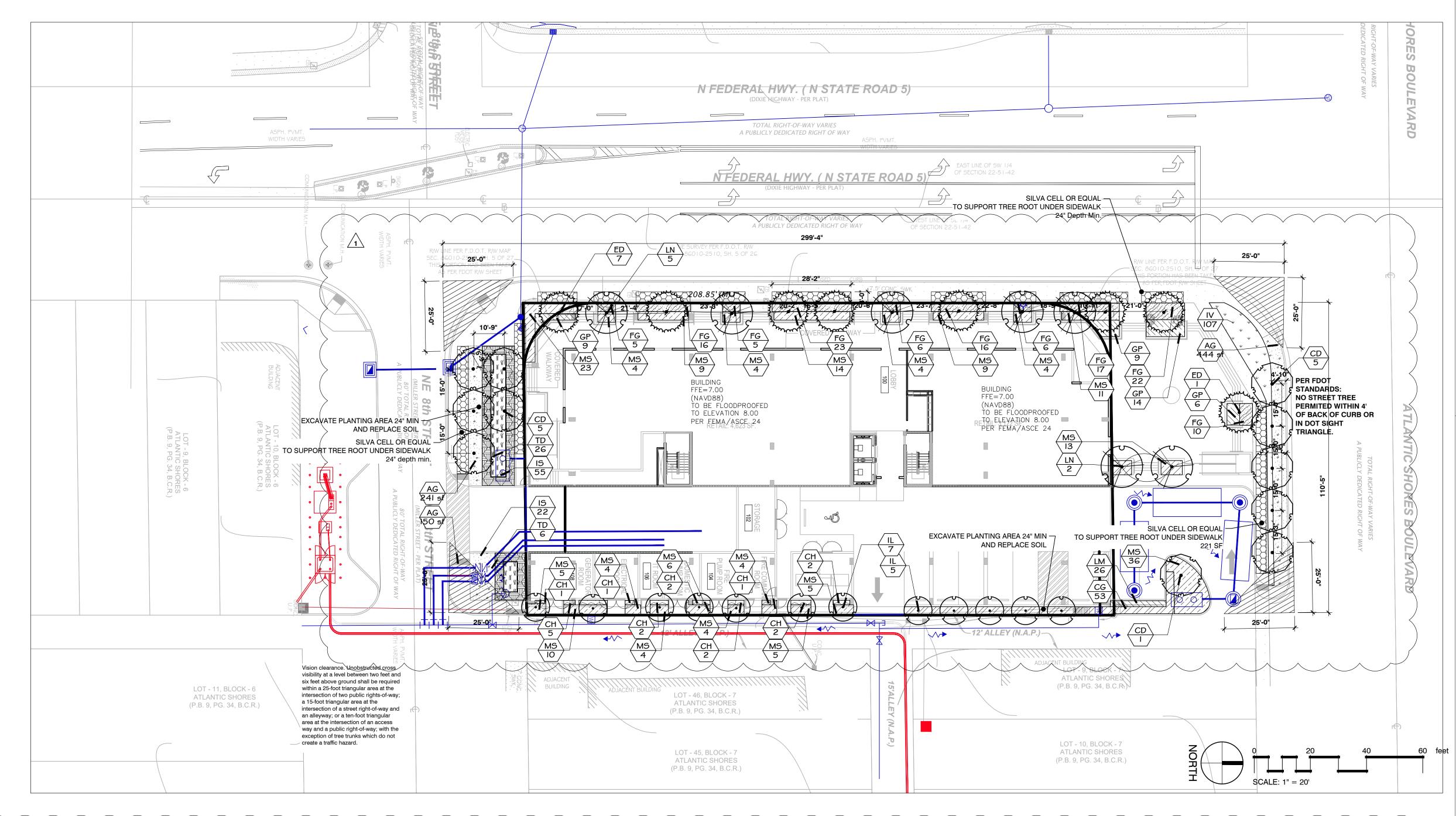
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Sheet No. Proj. Engr. DRS Appr. by 1 of 1 DRS



GENERAL LANDSCAPE NOTES:

- ROOT BARRIER SHALL BE USED IN ALL LANDSCAPE ISLANDS AND ALONG ALL PUBLIC SIDEMALKS WITH TREES. TEN LINEAR FEET PER TREE.
- SILVA CELLS OR EQUAL TO BE INSTALLED UNDER HARDSCAPE AS INDICATED ON PLAN 24" DEPTH FOR REQUIRED SOIL VOLUMES FOR SHADE TREES
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS PER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, -CURRENT EDITION
- TREES, PALMS, SHRUBS, GUARANTEED FOR ONE (I) YEAR
- APPLY 3" OF MELALEUCA MULCH (ARSENIC FREE) AROUND PLANTS PER FLORIDA FRIENDLY LANDSCAPING STANDARDS.
- CONTRACTOR PLANT SIZE IS THE MINIMUM ACCEPTABLE SIZE. IF PLANT AVAILABILITY IS LOW, ASSUME TO SIZE UP NOT DOWN.
- TREES ALONG SIDEWALKS SHALL REQUIRE 6' CLEAR TRUNK
- IRRIGATION PLANS SHALL BE SUBMITTED AT PERMITTING. IRRIGATION SHALL HAVE 100% COVERAGE, 100% OVERLAP AND WITH NO OVER-SPRAY ON SIDEWALKS. RAIN SENSOR SHALL BE PROVIDED.
- IF A DISCREPANCY OCCURS IN DRAWING QUANTITIES, LABEL, PLANT NAME, THE PLAN TAKES PRECEDENTS. CONTRACTOR TO MAKE OWNER/OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT AWARE OF ANY DISCREPANCY IN DRAWINGS.





PLANT COLEDULE STREET

TREES	QTY	BOTANICAL NAME	COMMON NAME	<u>CAL</u>	QUALITY	MIN PLANT SIZE	MATURE SIZE	<u>DROUGHT</u>	NATIVE	
CD	10	Coccoloba diversifolia	Pigeon Plum	3" Cal.	FL #I OR BETTER	15' STD	40' × 35'	HIGH	NATIVE,FL-FRIEND	
ED	7	Elaeocarpus decipiens TM	Japanese Blueberry Tree	3" Cal.	FL #I OR BETTER	$16' \text{ h} \times 6-8' \text{ w}, 5' \text{ CT}$	40'X 35'	HIGH	FL-FRIENDLY	
LN	5	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	3" Cal.	FL #1 OR BETTER	15' STD	25' × 25'	HIGH TOLERANCE	FI-FRIENDLY, FPL	
SHRUB AREAS	<u>aty</u>	BOTANICAL NAME	COMMON NAME	NOTE	ADD. INFO	PLANTED SIZE	MATURE SIZE	DROUGHT	NATIVE	SPACING
FG	116	Ficus microcarpa 'Green Island'	Green Island Ficus	3 qal	4"× 4"	FULL	Maintained 36" or less	HIGH	FL-FRIENDLY	24" o.c.
GP	32	Gardenia jasminoides 'Prostrata'	Dwarf Gardenia	FL#I or BETTER	FULL BUSH	24" × 24"	Maintained 36" or less	MEDIUM	FL-FRIENDLY	30" o.c.
15	55	llex vomitoria 'Stokes Dwarf'	Dwarf llex	3 qal	18" × 18" FULL	ROUND BUSH	Maintained Rounded	HIGH	NATIVE	30" o.c.
$ \checkmark$	107	lris virginica	Blue Flag Iris	FL#I or BETTER	FULL	18" × 18"	36" × 36"	MED	NATIVE/FL FRIEND	24" o.c.
MS	82	Microsorum scolopendrum	Wart Fern	3gal	18" × 18" FULL	FULL	3' × 3'	MED	FL-FRIENDLY	30" o.c.
TD	26	Tripsacum dactyloʻides nana	Dwarf Fakahatchee	3 gal	24"×24"	FULL	3' × 3'	HIGH	NATIVE	36" 0.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME							

Perennial Peanut

COMMON NAME

Perennial Peanut

Landscape Area Requirements								
Site	22,948	sqft						
RAC Corridor SubDistrict	REQUIRED	PROVIDED						
5% LANDSCAPE	1,147	1,274						
1 TREE PER 1500 SQFT required	15	16						
Street trees	REQUIRED	PROVIDED						
US 1 (299')	12	12						
NE 8th street (110')	5	5						
Atlantic Shores BLVD (110')	5	5						
TOTAL STREET TREES	22	22						
TOTAL SITE TREES (site & street)	37	38						
TREE DIVERSITY	4 species	4 species						
Drought tolerant trees	50%	100%						
Native trees	50%	59%						
Turf max 70% (1147sqft)	807 max	0						

30%

100%

hedge- drought

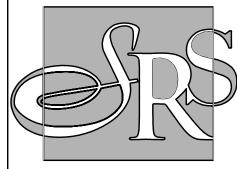
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685 sf Arachis glabrata

BOTANICAL NAME

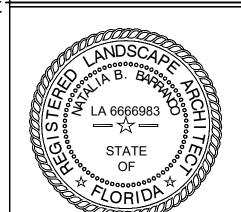
150 sf Arachis glabrata

TREES	<u> QTY</u>	BOTANICAL NAME	COMMON NAME	CAL	QUALITY	MIN PLANT SIZE	MATURE SIZE	DROUGHT	<u>NATIVE</u>		,
CD	1	Coccoloba diversifolia	Pigeon Plum	3" Cal.	FL #I OR BETTER	15' STD	40' × 35'	HIGH	NATIVE,FL-FRIEND		
ED	1	Elaeocarpus decipiens TM	Japanese Blueberry Tree	3" Cal.	FL #I OR BETTER	$16' \text{ h} \times 6-8' \text{ w}, 5' \text{ CT}$	40'X 35'	HIGH	FL-FRIENDLY		
IL	12	llex cassine	Dahoon Holly	3" Cal.	FL #I OR BETTER	15' STD	30'XI5'	MED	NATIVE, FL-FRIEND, FPL		
LN	2	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crápe Myrtle	3" Cal.	FL #1 OR BETTER	15' STD	25' x 25'	HIGH TOLERANCE	FI-FRIENDLY, FPL		`
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	NOTE	ADD. INFO	PLANTED SIZE	MATURE SIZE	DROUGHT	NATIVE	SPACING	
CH	18	Chrysobalanus icaco 'Horizontalis'	Cocoplum	3 qal	24"×24"	FULL	20' × 20'	MED	NATIVE	30" o.c.	`
CG	53	Clusia quttifera	Small leaf Clusia	FL#I or BETTER	FULL SHRUB	30" × 30"	Maintain as hedge	NATIVE	NATIVE, FL FRIEND	30" o.c.	
FG	10	Ficus microcarpa 'Green Island'	Green Island Ficus	3 qal	4"× 4"	FULL	Maintained 36" or less	HIGH	FL-FRIENDLY	24" o.c.	<
GP	6	Gardenia jasminoides 'Prostrata'	Dwarf Gardenia	FL#I or BETTER	FULL BUSH	24" × 24"	Maintained 36" or less	MEDIUM	FL-FRIENDLY	30" o.c.	
15	22	llex vomitória 'Stokes Dwarf'	Dwarf llex	3 qal	18" × 18" FULL	ROUND BUSH	Maintained Rounded	HIGH	NATIVE	30" o.c.	
LM	26	Liriope muscari	Lilyturf	CÓNTINUOUS COVERAGE	FULL	12" X 12"	8" × 8"	MEDIUM	FL-FRIENDLY	16" o.c.	<
MS	96	Microsorum scolopendrum	Wart Fern	3gal	18" × 18" FULL	FULL	3' x 3'	MED	FL-FRIENDLY	30" o.c.	
TD	6	Tripsacum dactyloides nana	Dwarf Fakahatchee	3 ⁻ gal	24"×24"	FULL	3' x 3'	HIGH	NATIVE	36" o.c.	



1800 Eller Drive, Suite 500 Fort Lauderdale, FL 33316 T 954.961.6806 F 954.961.6807

www.synalovski.com





office: 954.224.0432 LA# 6666983

888 s andrews avenue, suite 300 Fort Lauderdale FL. 33316

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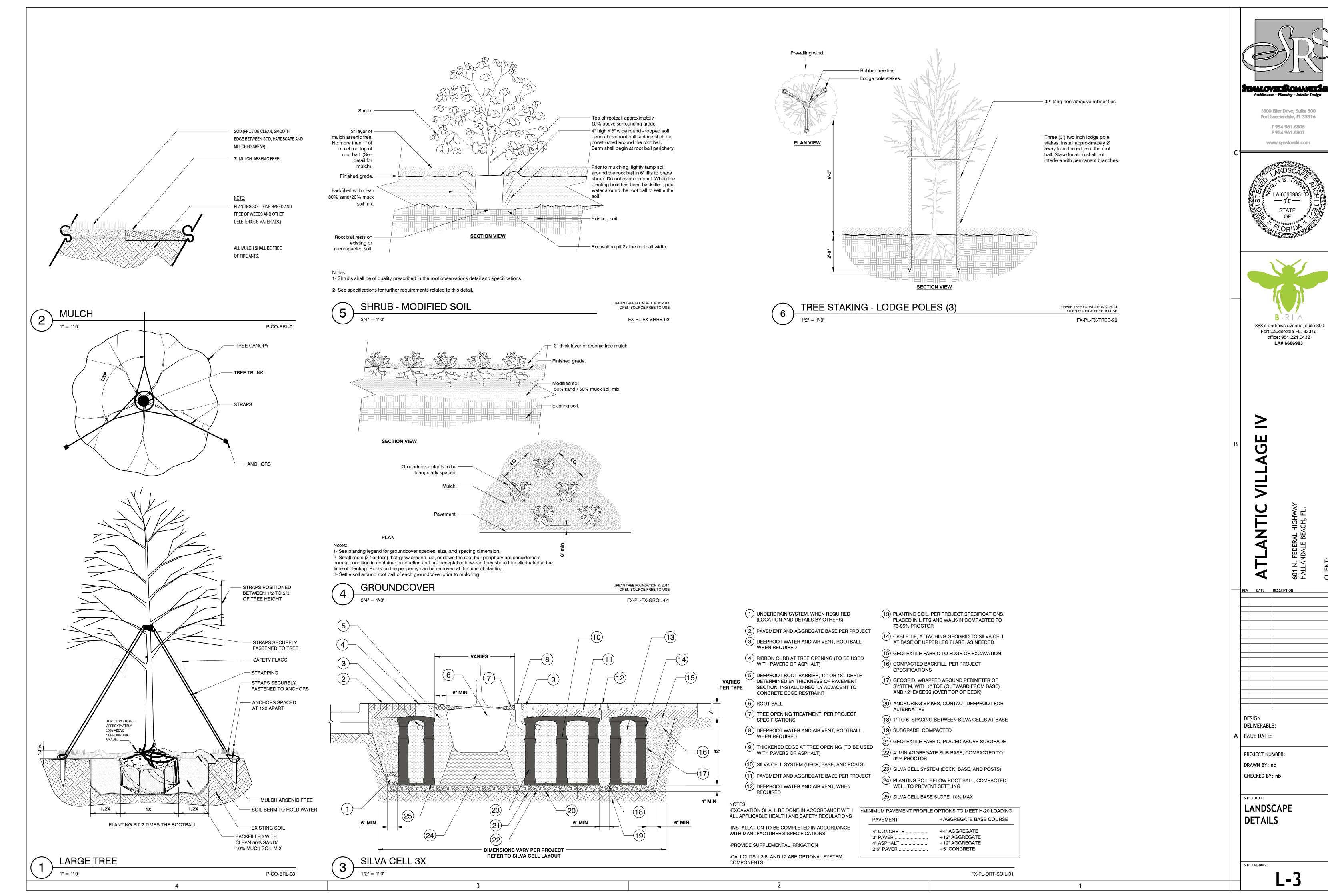
DESIGN DELIVERABLE: ISSUE DATE:

> PROJECT NUMBER: DRAWN BY: nb CHECKED BY: nb

SHEET TITLE: LANDSCAPE **PLAN**

SHEET NUMBER:

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REV	DATE	DESCRIPTION	
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