

August 25, 2025

Planning and Zoning City of Hallandale Beach 400 South Federal Highway Hallandale Beach, FL 33009

RE: Hallandale Central Park 113-125 SE 5th Street. Hallandale Beach, FL 33009.

As the Architect of record for the above referenced project, we are requesting approval from the City for Major Development, Variances, and Redevelopment Area Modifications.

The Owner of the property located north of SE 5th Street, and east of SE 1st Avenue is Hallandale Central Park, LLC. Said property is currently composed of 4 multi-family buildings with 11 existing units.

The Owner proposes to develop the property as an eight story multi-family residential building with commercial area on the ground floor to cater to both the City of Hallandale Beach Residents and Visitors.

The applicant is proposing 812 S.F. of commercial space, and 2 residential units (1-bedroom with mezzanine) on the ground floor; 13 residential units (41-bedroom + den, 41-bedroom, and 5 studio) with building amenities on the third floor; and 75 residential units on typical floors above (201-bedroom + den, 201-bedroom, and 35 studio); for a total of 90 residential units and a building gross floor area of 91,020 S.F. along with associated parking and landscaping to meet city and code regulations.

A proposed density of 120 du/ac including bonus units (83 units/ 0.6932 acres) is proposed as per the following density calculation:

Central RAC Transit Core Subdistrict:

0.69-acre x 50 units/acre (14 units with 500 SF x 0.5 = 7 units) + (27 units) Bonus Units Proposed per Broward County Land Use Plan	= 34 units = 49 units***
Total units for density calculation 0.5 units with 500 SF not counted for density per sec. 32-194 (e) (1)	= 83 units = 7 units
	= 90 units**

^{**} Requires a total of 14 "moderate" (120% AMI) units (15%) as per City of Hallandale Beach Zoning & Land Development Code Sec. 32-196 (d) (4) b.

^{***} Requires 7 "moderate" (120% AMI) units (1 moderate/ 6 bonus market rate) = 7 moderate/ 42 market rate as per Broward County Land Use Plan policy 2.16.3. These 7 "moderate" (120% AMI) units are included in the total 14 "moderate" (120% AMI) units described above. A City Commission approval is requested to utilize said Broward County Bonus units pursuant to County Policy 2.16.3 and to permit the proposed density to exceed the allowable



density of the Zoning District.

The property is currently zoned Transit Core Sub-district. The lot has an approximate area of 33,500 square feet (0.77 acres). The zoning and land use are both currently appropriate for the proposed development.

Should you have any questions regarding the above, do not hesitate to contact me.

Respectfully,

Jose Saye.

Manager/ Vice-President.



November 05, 2025

Planning and Zoning City of Hallandale Beach 400 South Federal Highway Hallandale Beach, FL 33009

RE: Hallandale Central Park.

113-125 SE. 5th Street. Hallandale Beach, FL 33009.

As the Architect of record for the above referenced project, we are requesting approval from the City for Major Development, Variances, and Redevelopment Area Modifications.

The new Development consists of a proposed Site Plan for an eight story Multi-Family Residential Building that caters to the City of Hallandale Beach Residents and Visitors. It includes a ground floor commercial use and a total of 90 residential units (Studios, and 1-bedrooms) along with associated parking and landscaping to meet City and code regulations.

Also, the new Development will be an asset to the City and the Community and will engage urban character consistent with the Master Plan for the Central Regional Activity Center.

The following are a list of requested Redevelopment Area Modifications and Variances:

Transit Core Sub-District RAM list:

1. Off-Street Parking Access and Access Ways.

Requirement: Section 32-453(i)(4) single or double loaded parking corridors in excess of four abutting parking spaces shall be designed to permit vehicle entry and exit in one continuous forward motion without using a vacant space to turn around. This shall be accomplished by either a direct connection to an adjacent corridor or by the inclusion of a cul-de-sac at the end of such corridor.

<u>Modification:</u> The 2nd floor double loaded south drive isle is proposed with a three-point turn at the end of the parking corridor.

Reason: Providing a cul-de-sac or a direct corridor connection on the proposed second floor of the structured parking garage would require additional square footage, impacting the structural efficiency and increasing construction costs. Given the constraints of the parking garage, a three-point turn provides a practical alternative that optimizes space utilization while maintaining maneuverability. The three-point turn design ensures that vehicles can safely and effectively exit the parking aisle without using a vacant space for turning, aligning with the intent of the code. Many structured parking garages utilize a similar three-point turn configuration in areas where a cul-de-sac or a direct corridor connection is impractical. This approach has been successfully implemented in other developments, demonstrating its effectiveness and compliance with overall safety and operational goals. Given the site constraints, structural feasibility, and demonstrated maneuverability, a three-point turn is a reasonable and functional alternative to a cul-de-sac or a direct corridor connection, warranting approval of this modification.



Transit Core Sub-District Variance list:

1. Primary Street Setback Requirements.

Requirement: Table 32-196 (a): 10 ft. min./ 15 ft. max.

<u>Modification:</u> Proposed primary street setback has been reduced to 5.67 feet to the building and 3 feet to balconies.

- 1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the project is promoting new architecture along SE 5th Street right-of-way with significant neighborhood structural improvement efforts.
- 2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
- 3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the setback variance provides parity for the proposed residential project.
- 4. The existing 10-foot min. street setback would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
- 5. The requested 5'-8" setback to the building and 3'-0" to balconies is the minimum necessary to achieve a practical and functional building footprint while maintaining compliance with other zoning regulations. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
- 6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
- 7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.



2. Street Setback Above 5th Story Requirements.

Requirement: Table 32-196 (a): 20 ft. min.

<u>Modification:</u> Proposed street setback above 5th story has been reduced to 8 feet to the building and 3 feet to balconies.

- 1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the project is promoting new architecture along SE 5th Street right-of-way with significant neighborhood structural improvement efforts.
- 2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
- 3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the setback variance provides parity for the proposed residential project.
- 4. The existing 20-foot min. street setback above the 5th story would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
- 5. The requested 8'-0" setback to the building and 3'-0" to balconies is the minimum necessary to achieve a practical and functional building footprint while maintaining compliance with other zoning regulations. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
- 6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
- 7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.



3. Side Setback Above 5th Story Requirements.

Requirement: Table 32-196 (a): 30 ft. min.

Modification: Proposed side setback above 5th story has been reduced to 5'-5" feet on west side and 5'-2" feet on east side.

- 1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the project is promoting new architecture along SE 5th Street right-of-way with significant neighborhood structural improvement efforts.
- 2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
- 3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the setback variance provides parity for the proposed residential project.
- 4. The existing 30-foot min. side setback above the 5th story would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
- 5. The requested 5'-5" and 5'-2" side setbacks are the minimum necessary to achieve a practical and functional building footprint while maintaining compliance with other zoning regulations. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
- 6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
- 7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.



4. Rear Setback Requirements.

Requirement: Table 32-196 (a): 10 ft. min.

Modification: Proposed rear setback has been reduced to 5'-0".

- 1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the proposed 5'-0" building setback has its least height impact to the north adjacent property as the main building residential space has a 56'-2" setback along the subject property's property line to the north.
- 2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
- 3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the height variance provides parity for the proposed residential project.
- 4. The existing 10-foot min. rear setback would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
- 5. The requested 5-foot setback is the minimum necessary to allow for reasonable use of the property while still maintaining an appropriate buffer from adjacent residential areas. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
- 6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
- 7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.



5. Arcade/ Colonnade Depth Requirements.

Requirement: Table 32-201 (g): 10 ft. min. 20 ft. max.

Modification: Proposed arcade/ colonnade depth has been reduced to 6'-9".

- 1. The subject property faces physical site constraints and required right-of-way dedications along SE 5th Street, limiting the building footprint and the ability to accommodate a compliant arcade depth without compromising overall site design. These conditions are unique and not generally applicable to other properties in the zoning district.
- 2. The need for a reduced arcade depth is directly tied to right-of-way and urban design requirements, and not the result of any actions by the applicant. These external constraints restrict the available buildable area and dictate a more compact footprint to meet other development requirements, including sidewalk width and landscaping.
- 3. Granting the variance does not provide a special privilege to the applicant, as other similarly constrained properties may receive comparable considerations. The arcade remains present and functional at 6'-9", continuing to provide pedestrian shelter and activation of the street frontage in keeping with the intent of the code.
- 4. Strict compliance with the 10-foot minimum would require disproportionate building recessions that compromise interior space planning and overall feasibility. The reduced arcade depth represents a modest adjustment necessary for practical site utilization.
- 5. The request is limited to the minimum extent necessary. The 6'-9" depth still achieves architectural articulation and pedestrian accommodation without seeking an excessive deviation from the standard.
- 6. The proposed design aligns with the general goals of the code by fostering active street edges and providing visual interest and shade for pedestrians. The variation still supports high-quality architectural frontage and complements the streetscape design.
- 7. The reduced arcade depth will not be detrimental to adjacent properties or public welfare. On the contrary, the development enhances the streetscape with new residential character, landscaping, and active ground-level features. The adjustment improves site efficiency while maintaining pedestrian-friendly design.

6. Civic Open Space.

<u>Requirement:</u> Table 32-196 (a): Sites exceeding base density or base height limit: 7.5% <u>Modification:</u> 0% of Civic Open space provided.

1. The subject property is uniquely situated directly adjacent to Bluesten Park, a large, well-designed, and recently redeveloped public recreational facility that provides extensive open space, community gathering areas, athletic fields, pedestrian amenities, and park programming. Because Bluesten Park is located immediately in front of the project site and functions as a readily accessible public open space resource serving the surrounding neighborhood, the intent of providing civic open space is already fulfilled on-site in practical terms. This condition is unique to the subject parcel and is not generally applicable to other parcels in the zoning district that are not located directly adjacent to or integrated with an existing major public park.



- 2. The special circumstances described above are inherent to the physical location of the site and existing public park infrastructure. The adjacency to Bluesten Park predated the applicant's involvement with the property. The need for the variance does not arise from any actions taken by the applicant.
- 3. Approval of this variance will not grant a special privilege unavailable to other property owners. The request is based on a unique contextual relationship to a public amenity that already provides the intended open space benefit. Other properties similarly situated immediately adjacent to significant existing public civic open spaces would be eligible to request similar consideration on the same basis.
- 4. Strict enforcement of the 7.5% civic open space requirement would require duplicative open space immediately adjacent to Bluesten Park, resulting in inefficient and unnecessary use of developable land. Such duplication would not provide additional public benefit, yet would significantly reduce the reasonable development potential of the site. This represents an undue hardship not shared by other properties that do not abut a major public park.
- 5. The requested variance is the minimum relief necessary to allow the site to be developed in a reasonable and functional manner. The project design maintains public accessibility and community benefit by promoting pedestrian and visual connectivity to Bluesten Park, while accommodating viable site planning, building layout, and circulation.
- 6. The purpose of the civic open space requirement is to ensure accessible public environments, enhance community interaction, and provide relief from built form. These purposes are already met by the presence of Bluesten Park, which serves the site and the community more effectively than any small-scale open space provided within the subject property itself. Therefore, the variance maintains the spirit and intent of the Code.
- 7. The requested variance will not be injurious to surrounding properties nor detrimental to the public welfare. To the contrary, the integration of the development with an existing major public park supports active public use, walkability, and neighborhood cohesion. The public will continue to enjoy open space access equal to or greater than what would otherwise be provided on the project site.

Should you have any questions regarding the above, do not hesitate to contact me.

Respectfully,

Jose Saye.

Manager/ Vice-President.

HALLANDALE CENTRAL PARK

113-125 SE 5TH STREET HALLANDALE BEACH, FL. 33009

OWNER / DEVELOPER

HALLANDALE CENTRAL PARK, LLC.

709 SE 3RD AVE. #305 **HALLANDALE BEACH, FL 33009**

ARCHITECT

SYNALOVSKI ROMANIK SAYE, LLC.

1800 ELLER DRIVE. SUITE 500 FORT LAUDERDALE, FL 33316 PH: 954-961-6806 FAX: 954-961-6807

CIVIL ENGINEER

FLYNN ENGINEERING SERVICES

241 COMMERCIAL BLVD **LAUDERDALE BY THE SEA, FL.33308** PH:954-522-1004 FAX:954-522-7630

LANDSCAPE ARCHITECT

BARRANCO, RLA INC.

888 S ANDREWS AVENUE. SUITE 300 FORT LAUDERDALE, FL 33316 PH:954-667-7814

TRAFFIC ENGINEER

KBP CONSULTING, INC.

8400 N. UNIVERSITY DRIVE, SUITE 309 TAMARAC, FL 33321 PH: 954-560-7103

LEGAL DESCRIPTION:

LOT 41, 42, 43, AND 44, BLOCK 3 "HALLANDALE PARK NO.3" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6 AT PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND

LOT 23, BLOCK 3 OF "NORTH AMERICAN FRUIT COMPANY'S SUBDIVISION" ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, AT PAGE 102, OF THE PUBLIC RECORDS OF MIAMI- DADE COUNTY, FLORIDS, SAID LANDS SITUATED, LYING AND BEING IN **BROWARD COUNTY, FLORIDA, AND**

THE EAST 10 FEET OF LOT 19, AND ALL OF LOT 22, BLOCK 3, "NORTH AMERICAN FRUIT COMPANY'S SUBDIVISION" ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, AT PAGE 102, OF THE PUBLIC RECORDS OF MIAMI- DADE COUNTY, FLORIDA, SAID LANDS SITUATED, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

LOCATION MAP

N.T.S.



Publix Super Market Change Appointment SW 2nd St PROJECT LOCATION SW 3rd S SW 3rd St Hallandale, SW 4th St SE 5th St th St SE7th St SW 7th St SE 8th St SW 9th St **ESC** SW 10th St Benihana, Inc. L-0.1 ibachi and Sushi Waterways L-1.0 L-2.0

DRAWING INDEX

COVER SHEET T-001 T-002 **BUILDING RENDERINGS MAP OF SURVEY** ARCHITECTURAL SITE PLAN AS-102 SITE CALCULATIONS, FLOORS AND SECTIONS DIAGRAMS PROPOSED GROUND FLOOR PLAN / GARAGE LEVEL 1A A-101 A-102 PROPOSED MEZZANINE / GARAGE LEVEL 1B PROPOSED SECOND FLOOR PLAN / GARAGE LEVEL 2 A-103 PROPOSED THIRD FLOOR PLAN A-105 PROPOSED TYPICAL FLOOR PLAN (4TH TO 8TH) A-106 PROPOSED ROOF PLAN PROPOSED ENLARGED UNIT PLANS A-107 PROPOSED BUILDING ELEVATIONS PROPOSED BUILDING ELEVATIONS **BUILDING SOLAR STUDY** PROPOSED BUILDING SECTIONS PH-101 PROPOSED PHOTOMETRIC PLAN SITE DEMO PLAN SIGNAGE AND MARKING PLAN PAVING, GRADING AND DRAINAGE PLAN C3 WATER AND SEWER PLAN C4 **PAVING, GRADING AND DRAINAGE DETAILS C5 WATER AND SEWER DETAILS GENERAL NOTES AND SPECIFICATIONS**

EROSION AND SEDIMENT CONTROL PLAN

LANDSCAPE NOTES

LANDSCAPE PLAN

L-3.0

TREE DISPOSITION PLAN

LANDSCAPE ROOF DECK

PROPERTY FOLIOS:

514227160590

514227160600

514227130090

PROJECT NUMBER: 1729-230311 DRAWN BY: CD CHECKED BY: JS **COVER SHEET**

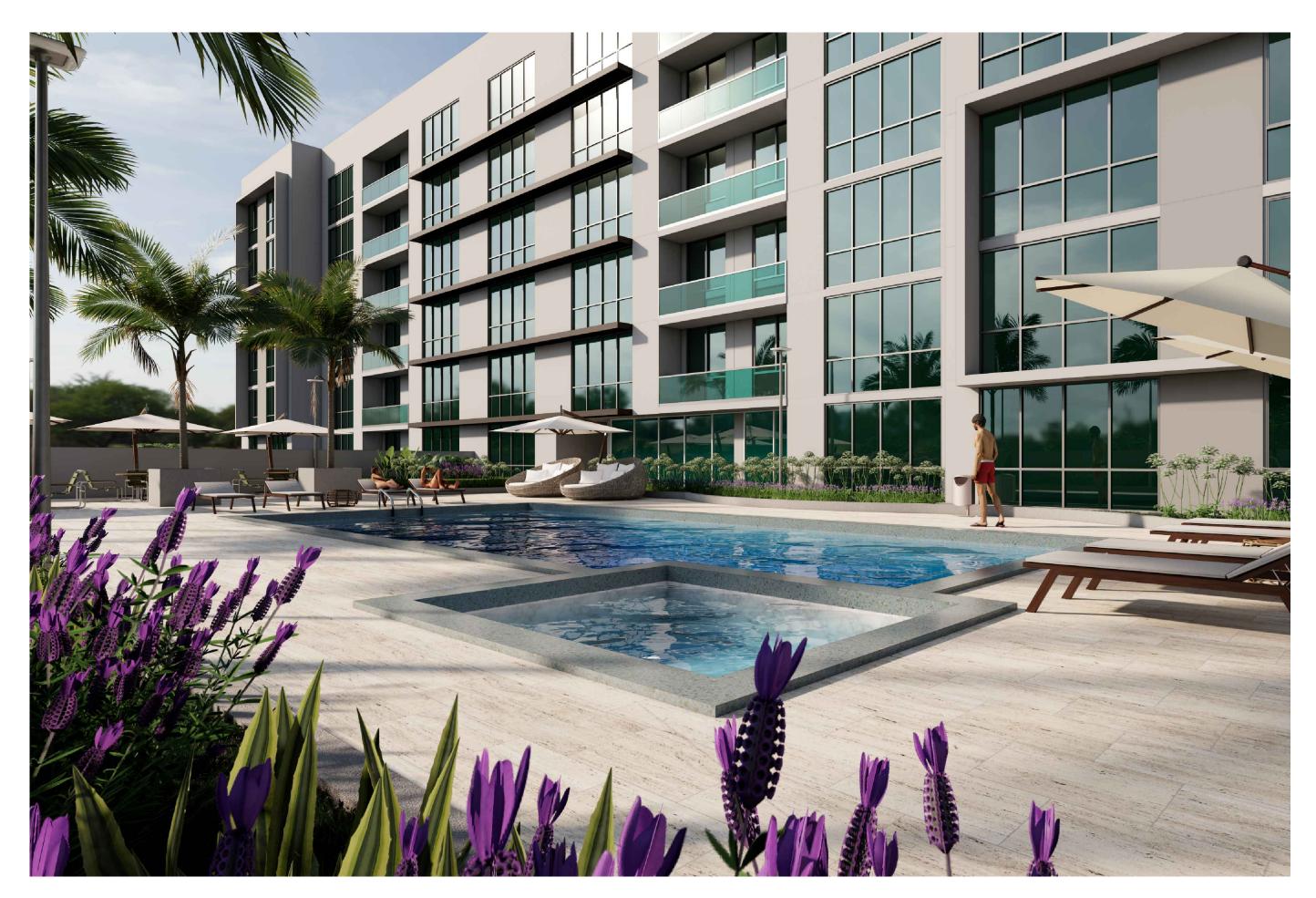
Merrill Ann Romanik AR 0015810

DELIVERABLE: DRC SUBMITTAL ISSUE DATE: **12-20-2024**

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T-001





3 BUILDING RENDERING (SOUTH EAST VIEW)
SCALE: N/A



4 POOL DECK/ BUILDING RENDERING (NORTH WEST VIEW)
SCALE: N/A



T 954.961.6806 F 954.961.6807

Merrill Ann Romanik AR 0015810 Seal

PARK

DESIGN DELIVERABLE: **DRC SUBMITTAL** ISSUE DATE: **12-20-2024**

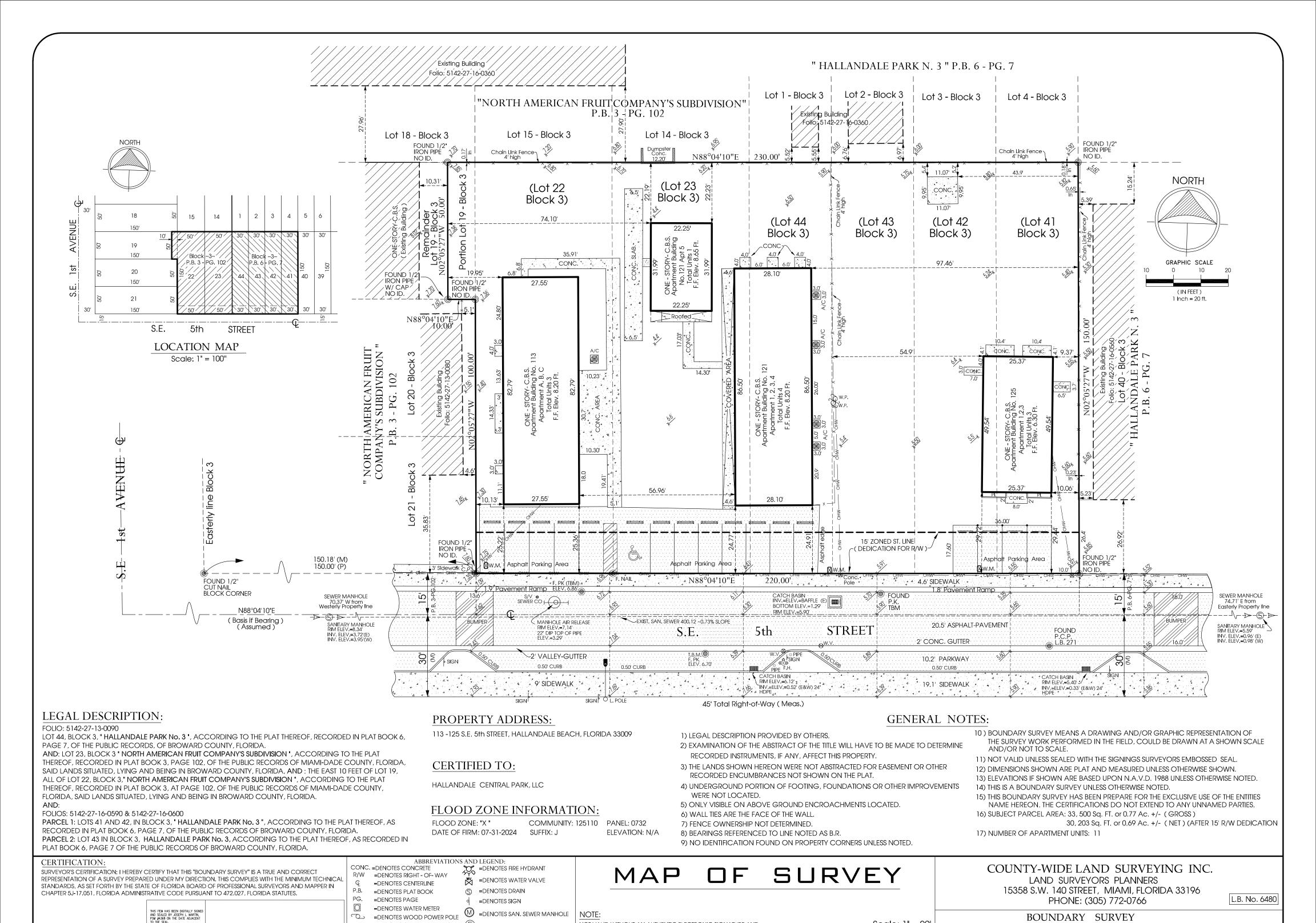
PROJECT NUMBER: 1729-230311 DRAWN BY: CHECKED BY: JS

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SHEET TITLE:

BUILDING RENDERINGS

T-002



NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID

SURVEYOR AND MAPPER.

WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE

BOUNDARY SURVEY

Revision Date:

06/30/2025

Drawn by:

M. Ibarra

Job No.

S-0539 & 665

Field date:

02/16/2025

Scale: 1'' = 20'

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE

RECORD AND MEASURE UNLESS OTHERWISE NOTED.

Original Date:

02/20/2025

AND SEALED BY JOSEPH L. MARTIN, PSM #4368 ON THE DATE ADJACENT TO THE SEAL.

JOSEPH L. MARTIN

SIGNED:

OH — = DENOTES OVERHEAD WIRES

=DENOTES GAS VALVE

=LIGHT POLE

(F) =DENOTES F.P.L. MANHOLE

=DENOTES CATCH BASIN

=DENOTES GREASE MANHOLE [E] =DENOTES ELECTRIC METER

TRANSIT CORE /	DESIGN SUBDISTRICT TABLE 32-196(a)	REQUIREMENTS
	REQUIRED / ALLOWED	PROVIDED
LOT WIDTH	50' MIN.	220'-0"
LOT AREA	5,000 S.F. MIN./ 100,000 S.F. MAX.	30,200 S.F. (AFTER DEDICATION)
LOT COVERAGE	95% MAX.	86.87 % (BUILDING + WALKS + V.U.A.)
LANDSCAPE AREA	5% MIN.	13.13 %
PRIMARY STREET SETBACK	10' MIN. / 15' MAX.	5'-8" TO BUILDING 3'-0" TO BALCONIES (R.A.M.)
SECONDARY STREET SETBACK	10' MIN.	N/A
STREET SETBACK ABOVE 5TH STORY	20' MIN	8'-0" TO BUILDING 3'-0" TO BALCONIES (R.A.M.)
INTERIOR SIDE SETBACK	0' MIN.	EAST 5'-2", WEST 5'-5"
SIDE SETBACK ABOVE 5TH STORY	30' MIN	EAST 5'-2", WEST 5'-5" (R.A.M.)
REAR SETBACK	10' MIN.	5'-0" (R.A.M.)
REAR SETBACK ABOVE 5TH STORY	20' MIN.	56'-2"
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN.	SE. 5TH ST. 95.15%
MIN. HEIGHT PRIMARY STREETS	2 STORIES OR 1 STORY 20' HIGH	8 STORIES
MAX. HEIGHT LIMIT	8 STORIES	8 STORIES
MAX. DENSITY	50 DU/AC	50 DU/AC (REFER TO DENSITY CHART)
CIVIC OPEN SPACE: SITES EXCEEDING BASE DENSITY OR BASE HEIGHT LIMIT	7.5%	0% (R.A.M.)

TRANSIT CORE SUB-DISTRICT VARIANCE LIST:

1. PRIMARY STREET SETBACK REQUIREMENTS. REQUIREMENT: TABLE 32-196 (a): 10 FT. MIN./ 15 FT. MAX. MODIFICATION: PROPOSED PRIMARY STREET SETBACK HAS BEEN REDUCED TO 5'-8".

2. STREET SETBACK ABOVE 5TH STORY REQUIREMENTS. REQUIREMENT: TABLE 32-196 (a): 20 FT. MIN. MODIFICATION: PROPOSED STREET SETBACK ABOVE 5TH STORY

HAS BEEN REDUCED TO 8 FEET. 3. SIDE SETBACK ABOVE 5TH STORY REQUIREMENTS.

REQUIREMENT: TABLE 32-196 (a): 30 FT. MIN. MODIFICATION: PROPOSED SIDE SETBACK ABOVE 5TH STORY HAS BEEN REDUCED TO 5'-5" ON WEST SIDE AND 5'-2" ON EAST SIDE. 4. REAR SETBACK REQUIREMENTS.

REQUIREMENT: TABLE 32-196 (a): 10 FT. MIN.

MODIFICATION: PROPOSED REAR SETBACK HAS BEEN REDUCED TO 5'-0". 5. ARCADE/ COLONNADE DEPTH REQUIREMENTS.

REQUIREMENT: TABLE 32-201 (g): 10 FT. MIN. 20 FT. MAX. MODIFICATION: PROPOSED ARCADE/ COLONNADE DEPTH HAS BEEN REDUCED TO 6'-9".

6. CIVIC OPEN SPACE. REQUIREMENT: SITES EXCEEDING BASE DENSITY OR BASE HEIGHT LIMIT: 7.5%

MODIFICATION: 0% OF CIVIC OPEN SPACE PROVIDED.

TRANSIT CORE SUB-DISTRICT RAM LIST:

1. OFF-STREET PARKING ACCESS AND ACCESS WAYS. REQUIREMENT: SECTION 32-453(I)(4) SINGLE OR DOUBLE LOADED PARKING CORRIDORS IN EXCESS OF FOUR ABUTTING PARKING SPACES SHALL BE DESIGNED TO PERMIT VEHICLE ENTRY AND EXIT IN ONE CONTINUOUS FORWARD MOTION WITHOUT USING A VACANT SPACE TO TURN AROUND. THIS SHALL BE ACCOMPLISHED

BY EITHER A DIRECT CONNECTION TO AN ADJACENT CORRIDOR

OR BY THE INCLUSION OF A CUL-DE-SAC AT THE END OF SUCH CORRIDOR. MODIFICATION: THE 2ND FLOOR DOUBLE LOADED SOUTH DRIVE ISLE IS PROPOSED WITH A THREE POINT TURN AT THE END OF THE PARKING CORRIDOR.

ALL BUILDINGS MUST BE DESIGNED TO MAINTAIN/ PROVIDE MINIMUM RADIO SIGNAL STRENGTH". A C.O. WILL NOT BE ISSUED UNTIL THE AHJ DETERMINES THAT THE BUILDING IS IN COMPLIANCE WITH NFPA 1 11.10.1 CONCERNING FIRE DEPARTMENT COMMUNICATIONS, NFPA 72 24.5.2.1.2.

DENSITY	CHART						
PROPOSED DEN	ISITY CHART						
UNITS PROPOSED		90 UNITS					
DENSITY ALLOWED BY CODE: 50 DU/AC	0.69 ACRE X 50 DU/AC=	34 UNITS					
	14 UNITS WITH 500 SF. OR LESS: 14/2=	7 UNITS					
	27 UNITS MORE THAN 500SF./EA: 27/1=	27 UNITS					
	TOTAL UNITS BY CODE=	34 UNITS					
*BONUS ALLOWED BY BROWARD LAND USE	49 UNITS (6 BONUS/1 MODERATE)						
(TOTAL)-(34 BY CODE + 7 WITH 500 SF. OR LESS)	MARKET	42 UNITS					
90 - 41 = 49 UNITS	MODERATE HOUSING	7 UNITS					
**DENSITY ALLOWED BY COHB MODERATE HOUSING PROPOSED 7 UNITS							
41 MARKET UNITS X 15% = 7 MODERATE UNITS							
7 MODERATE HOUSING UNIT	S REQUIRED (BROWARD LAND USE)						
7 MODERATE HOUSING UNIT	S REQUIRED (15% COHB)						
	,						
	,						
14 MODERATE HOUSING UNIT	S PROPOSED						
14 MODERATE HOUSING UNIT 76 MARKET UNITS PROPOSED							
		90 UNITS					
76 MARKET UNITS PROPOSED		90 UNITS					
76 MARKET UNITS PROPOSED TOTAL UNITS PROVIDED	ERATE)	90 UNITS					
76 MARKET UNITS PROPOSED TOTAL UNITS PROVIDED *REQUIRES 7 MODERATE UNITS (6 BONUS/1 MOD	ERATE)	90 UNITS					
76 MARKET UNITS PROPOSED TOTAL UNITS PROVIDED *REQUIRES 7 MODERATE UNITS (6 BONUS/1 MOD	ERATE)	90 UNITS					
76 MARKET UNITS PROPOSED TOTAL UNITS PROVIDED *REQUIRES 7 MODERATE UNITS (6 BONUS/1 MOD AS PER BROWARD COUNTY LAND USE PLAN POL	ERATE) ICY 2.16.3	90 UNITS					
76 MARKET UNITS PROPOSED TOTAL UNITS PROVIDED *REQUIRES 7 MODERATE UNITS (6 BONUS/1 MOD AS PER BROWARD COUNTY LAND USE PLAN POL **REQUIRES 7 MODERATE UNITS (15%)	ERATE) ICY 2.16.3	90 UNITS					
76 MARKET UNITS PROPOSED TOTAL UNITS PROVIDED *REQUIRES 7 MODERATE UNITS (6 BONUS/1 MOD AS PER BROWARD COUNTY LAND USE PLAN POL **REQUIRES 7 MODERATE UNITS (15%)	ERATE) ICY 2.16.3 52-196 (d) (4) b.	90 UNITS					

			MENTS TABLE 32-194 -FAMILY DWELLING U	• •	BUI	ILDING/ STORY	BUILDING USE	GF
		REQUIRED	PROV	IDED			COMMERCIAL	
MINIMUM PER	UNIT (S.F.)	350 S.F. MIN.	500 S.F. (SMALLEST) /	1,024 S.F. (LARGEST)	GAF	RAGE LEVEL 1A	COMMON AREA	
ANNUM UNA ANCEDA OF (O.F.)			755	S.F.			RESIDENTIAL	
MINIMUM AVEI	RAGE (S.F.)	750 S.F. MIN.	(REFER TO UNIT BREAKI	DOWN ON SHEET A-102)			GARAGE	
					T N	/IEZZANINE /	COMMON AREA	
					GAF	RAGE LEVEL 1B	RES. MEZZANINE	
	GROUND FLOOF	₹	=	2 UNITS			GARAGE	
	THIRD FLOOR	•	=	13 UNITS			STORAGE	
	TYPICAL FLOOR	R (FOURTH TO EIGHT) 15x5	=	75 UNITS	GA	RAGE LEVEL 2	COMMON AREA	
	TOTAL DEGIDEN	ITIAL LINUTO		00.1111170			GARAGE	
	TOTAL RESIDEN	ITIAL UNITS	=	90 UNITS		LUDD EL COD	RESIDENTIAL	
	1 BEDROOM	WITH MEZZANINE	= (2 UNITS)		HIRD FLOOR	COMMON AREA		
I DEDITOON WITH NILZZANINE - (2 UNITS)								+-

GROUND FLOOR	=	2 UNITS
THIRD FLOOR	=	13 UNITS
TYPICAL FLOOR (FOURTH TO EIGHT) 15x5	=	75 UNITS
TOTAL RESIDENTIAL UNITS	=	90 UNITS
1 BEDROOM WITH MEZZANINE	=	(2 UNITS)
STUDIO	=	(14 UNITS)
LARGE STUDIO	=	(26 UNITS)
1 BR-1 BATH	=	(24 UNITS)
1 BR-2 BATH WITH DEN	=	(24 UNITS)
TOTAL	=	(90 UNITS)
GROUND FLOOR / GARAGE LEVEL 1A GF	ROSS FLOOR AREA	: 19,335 SF
MEZZANINE / GARAGE LEVEL 1B GROSS	FLOOR AREA	: 22,621 SF
SECOND FLOOR / GARAGE LEVEL 2 GRO	SS FLOOR AREA	: 24,797 SF
THIRD FLOOR GROSS FLOOR AREA		: 13,674 SF
FOURTH TO EIGHTH GROSS FLOOR ARE	A 5X13,783 SF	: 68,915 SF
TOTAL CROSS BUILDING AREA (EVOLUE	NNC BOOE LEVEL	.140 242 85
TOTAL GROSS BUILDING AREA (EXCLUD	ING ROOF LEVEL)	:149,342 SF

BUILDING/ STORY	BUILDING USE	GROSS BUILDING AREA	COVERED/ OPEN EXTERIOR AREA	GARAGE PARKING AREA	NET AREA FOR PARKING CALCULATIONS	OR LESS) FOR PARKING CALCULATIONS	OR GREATER) FOR PARKING CALCULATIONS
	COMMERCIAL	812 S.F.	N/A	N/A	701 S.F. (GFA)	N/A	N/A
GARAGE LEVEL 1A	COMMON AREA	2,434 S.F.	620 S.F.	N/A	N/A	N/A	N/A
	RESIDENTIAL	1,575 S.F.	N/A	N/A	N/A	N/A	2
	GARAGE	N/A	N/A	14,514 S.F.	N/A	N/A	N/A
MEZZANINE /	COMMON AREA	1,208 S.F.	N/A	N/A	N/A	N/A	N/A
GARAGE LEVEL 1B	RES. MEZZANINE	470 S.F.	N/A	N/A	N/A	N/A	N/A
	GARAGE	N/A	N/A	20,943 S.F.	N/A	N/A	N/A
	STORAGE	503 S.F.	N/A	N/A	N/A	N/A	N/A
GARAGE LEVEL 2	COMMON AREA	1,429 S.F.	N/A	N/A	N/A	N/A	N/A
	GARAGE	N/A	N/A	22,865 S.F.	N/A	N/A	N/A
THIRD FLOOR	RESIDENTIAL	10,067 S.F.	N/A	N/A	N/A	4	9
THIRD FLOOR	COMMON AREA	3,607 S.F.	11,072 S.F.	N/A	N/A	N/A	N/A
FOURTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
FOURTHFLOOR	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
FIFTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
FIFTH FLOOR	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
SIXTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
SIXTH FLOOR	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
SEVENTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
3LVLIVIIII LOOK	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
EIGHTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
LIGHTHILLOOK	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
TOTAL		91,020 S.F.	11,692 S.F.	58,322 S.F.	701 S.F. (GFA)	14	76

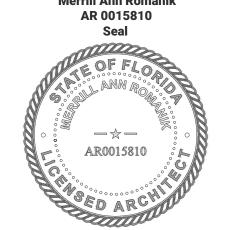
BUILDING DATA

NET AREA FOR



OF UNITS (500 S.F. | # OF UNITS (501 S.F

Merrill Ann Romanik AR 0015810



AND

DATE DESCRIPTION

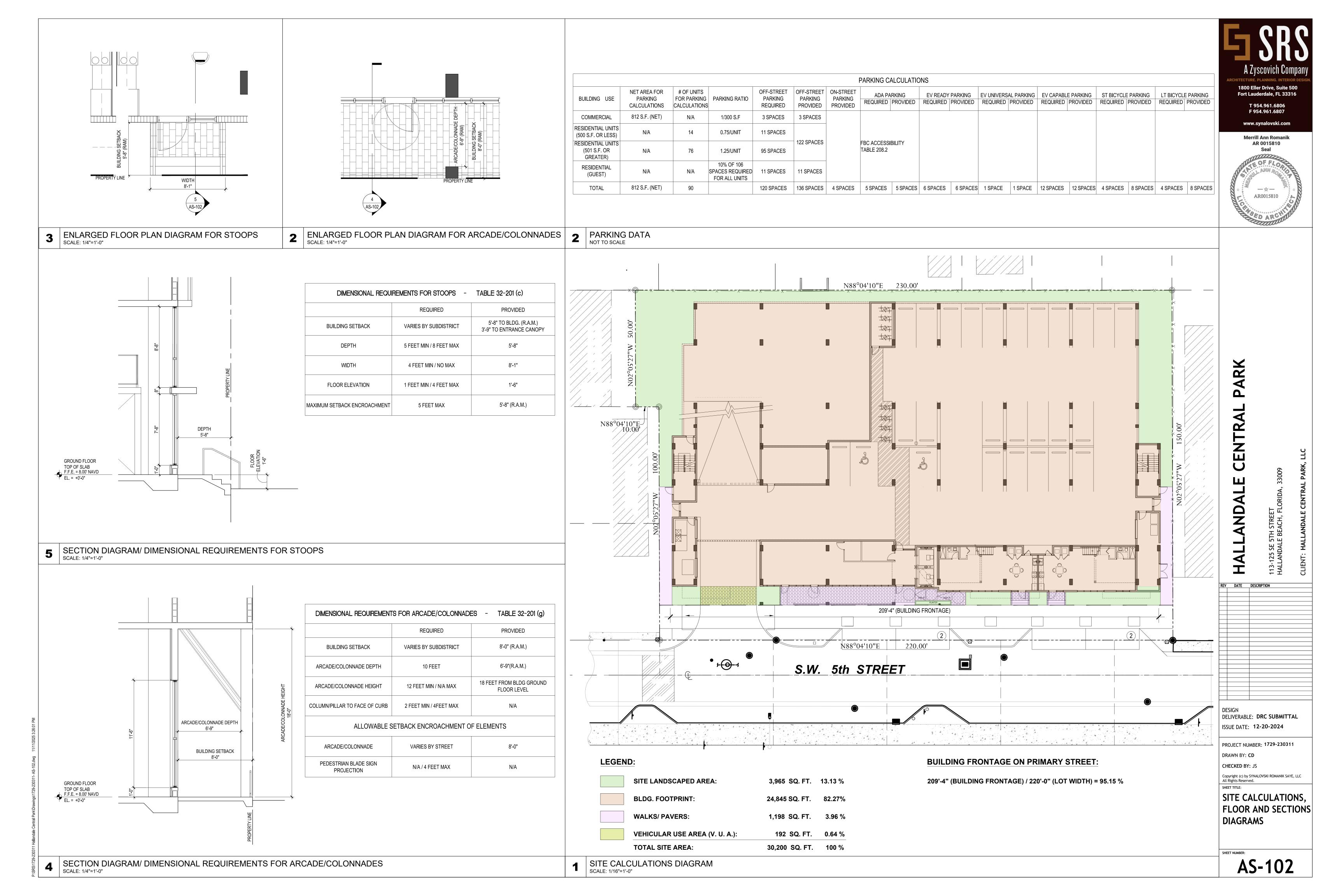
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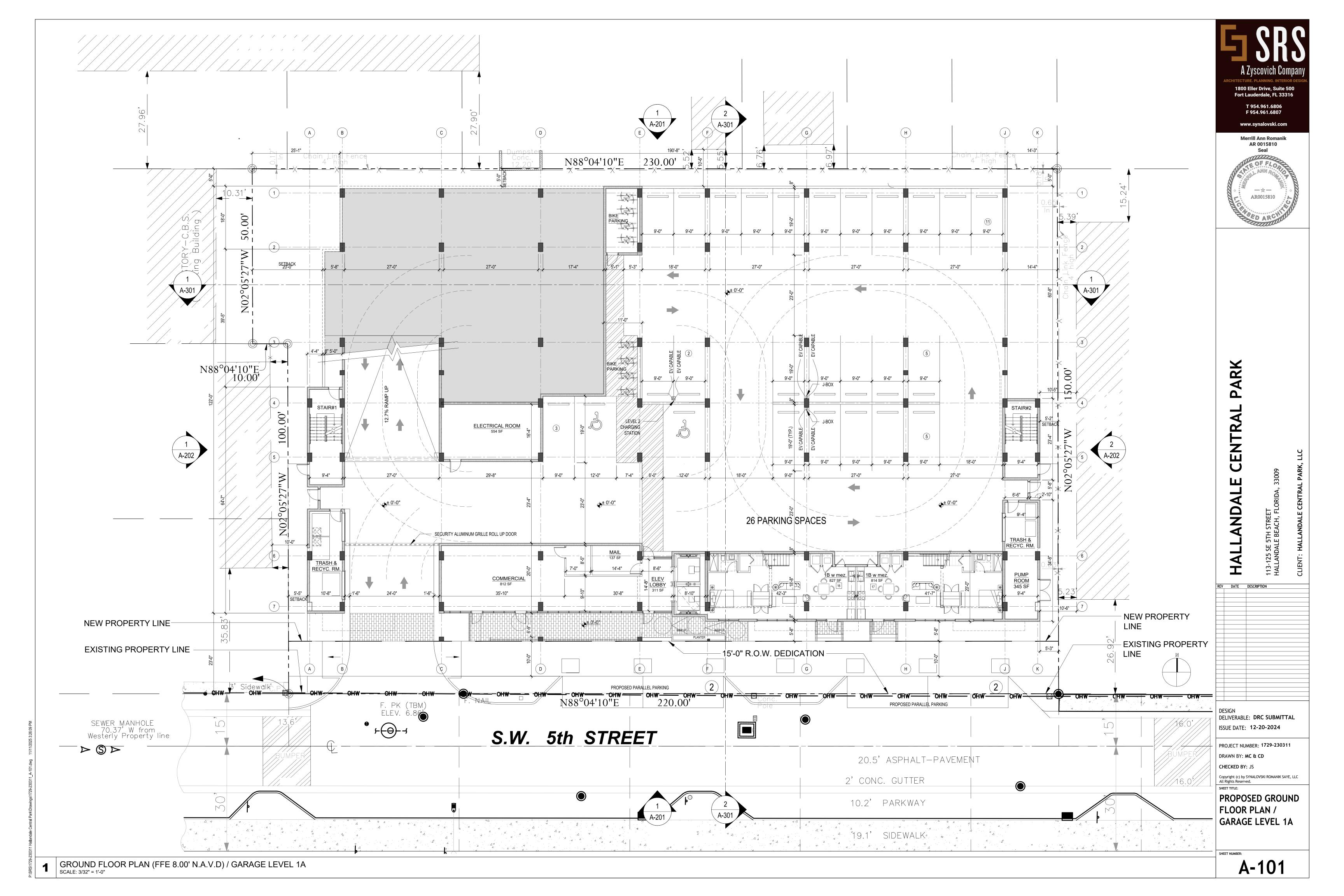
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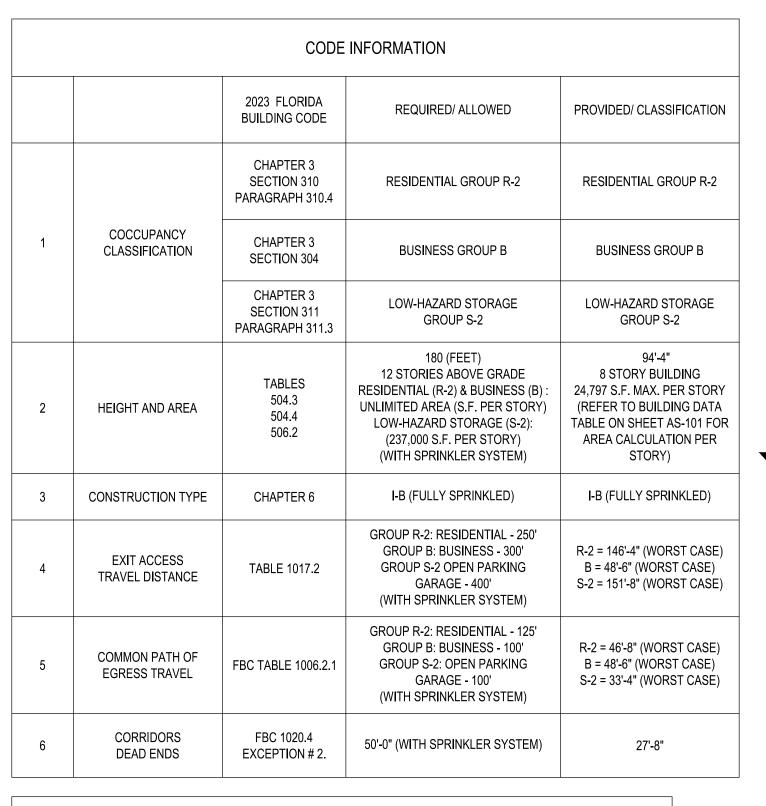
ARCHITECTURAL SITE PLAN

AS-101

EUROPECATION TO THALLAMOLE BEACH UTLITIES ELECTRIC. FP. A. L. WATER AND SEWER. CHT OF HALLAMOLE BEACH UTLITIES STEE CALCULATIONS: TOTAL ASSESSMENT ALTO ACCESS 33.805 SO.FT. 10774. SORTE MARKA THERE BEDICATION TO CONTROL AREA. TOTAL SERVER. 3.386 SO.FT. 10774. MARKA THERE BEDICATION TO CONTROL AREA. TOTAL ASSESSMENT ACCESS 33.805 SO.FT. 13.10 SO. DETT. TOTAL ASSESSMENT ACCESS. 33.805 SO.FT. 13.10 SO. DETT. TOTAL ASSESSMENT ACCESS. 33.805 SO.FT. 13.10	THAT I AND ALE PARKEN, 3 *P.U. 6 - P.C. 7 **NORTH AMERICAN PRINCIPAL SUBDIVISION*** **SITE INFORMATION** **SITE INFORMATION** **SITE INFORMATION** **SITE OF THE STATE OF
NORTH AMERICAN PRUITCOMENSANTS SUBDIVISION P.B. & PR. 102 SITE INFORMATION: CURRENT ZORING TRANSFORDE BURGETROT PROPRIES US. 102 STE INFORMATION: CURRENT ZORING TRANSFORDE BURGETROT PROPRIES US. 102 STE INFORMATION: CURRENT ZORING TRANSFORDE BURGETROT PROPRIES SAN SOLD TO THE AMERICAN PROPRIES SAN SOLD	NORTH AMURCAN RUIN COMPANY'S SISPETISION SITE INFORMATION: CHIERRY ZORING: TRANSPERSOR CHIERRY ZORIN
BLOCK CORNER SEWER MANHOLE OF SEWER CO-CO-CO-CO-CO-CO-CO-CO-CO-CO-CO-CO-CO-C	WANHOLE AIR RELEASE RIM ELEV.= 7.14' SANITARY MANHOLE AIR RELEASE RIM ELEV.= 8.34' MANHOLE AIR RELEASE RIM ELEV.= 7.14' BUMPER SANITARY MANHOLE RIM ELEV.= 7.14' BUMPER







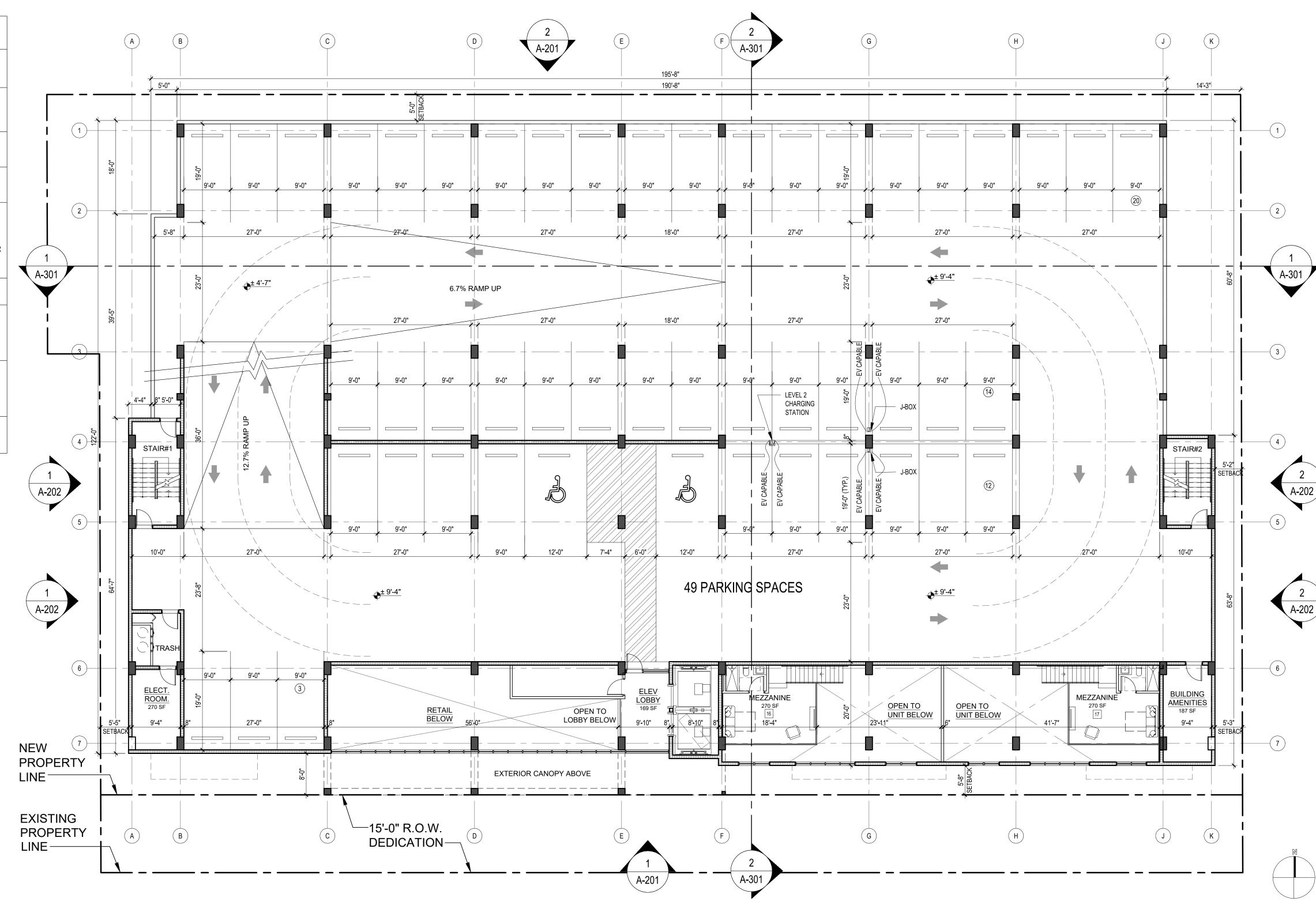
BUILDING ELEMENT CONSTRUCTION TYPE I-B STRUCTURAL FRAME BEARING WALLS EXTERIOR INTERIOR 2 HR. NONBEARING WALLS AND PARTITIONS EXTERIOR NONBEARING WALLS AND PARTITIONS INTERIOR FLOOR CONSTRUCTION AND SECONDARY MEMBERS 2 HR. ROOF CONSTRUCTION AND SECONDARY MEMBERS 1 HR. (*) 0 HR PER TABLE 705.5 FOR: - OPEN PARKING GARAGE EXTERIOR WALL (FIRE SEPARATION DISTANCE EQUAL / GREATER THAN 10' EXTERIOR NON-BEARING WALL (FIRE SEPARATION DISTANCE EQUAL / GREATER THAN 20' AND LESS THAN 30') WITH UNLIMITED AREA OF UNPROTECTED OPENINGS (FBC TABLE 705.8).

PER 2023 FBC TABLE 601; FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

PER TABLE 508.4:

1 HR. SEPARATION REQUIRED BETWEEN OCCUPANCY GROUP S-2 AND OCCUPANCY GROUPS B AND R-2

- EXTERIOR NON-BEARING WALLS (FIRE SEPARATION DISTANCE EQUAL / GREATER THAN 30')



MEZZANINE PLAN / GARAGE LEVEL 1B SCALE: 3/32" = 1'-0"

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	RETAI L	TOTAL SE RESIDENTIAL	TOTAL UNITS	AVERAGI UNITSF
	1B	1B+D	1B+D	1B	1B	1B	1B+D	ಬ	S	LS	LS	വ	S	LS	1B+D	О	D				
1st																827	814	812	1,641	2	
Mezzanine																270	270		540	0	
2nd																			0	0	
3rd	798	1,016	1,024	787	783	795	1,007	500	500	597	500			500	1,010				9,817	13	
4th	798	1,016	1,024	787	783	795	1,007	580	500	597	596	597	500	582	1,010				11,172	15	
5th	798	1,016	1,024	787	783	795	1,007	580	500	597	596	597	500	582	1,010				11,172	15	
6th	798	1,016	1,024	787	783	795	1,007	580	500	597	596	597	500	582	1,010				11,172	15	
7th	798	1,016	1,024	787	783	795	1,007	580	500	597	596	597	500	582	1,010				11,172	15	
8th	798	1,016	1,024	787	783	795	1,007	580	500	597	596	597	500	582	1,010				11,172	15	
total units sf	4,788	6,096	6,144	4,722	4,698	4,770	6,042	3,400	3,000	3,582	3,480	2,985	2,500	3,410	6,060	1,097	1,084		67,858	90	75
UNITTYPECOUNT	6	6	6	6	6	6	6	6	6	6	6	5	5	6	6	1	1			90	

DELIVERABLE: DRC SUBMITTAL ISSUE DATE: **12-20-2024**

AND,

1800 Eller Drive, Suite 500

Fort Lauderdale, FL 33316

T 954.961.6806 F 954.961.6807

www.synalovski.com

Merrill Ann Romanik

AR 0015810

Seal

 $- \updownarrow -$

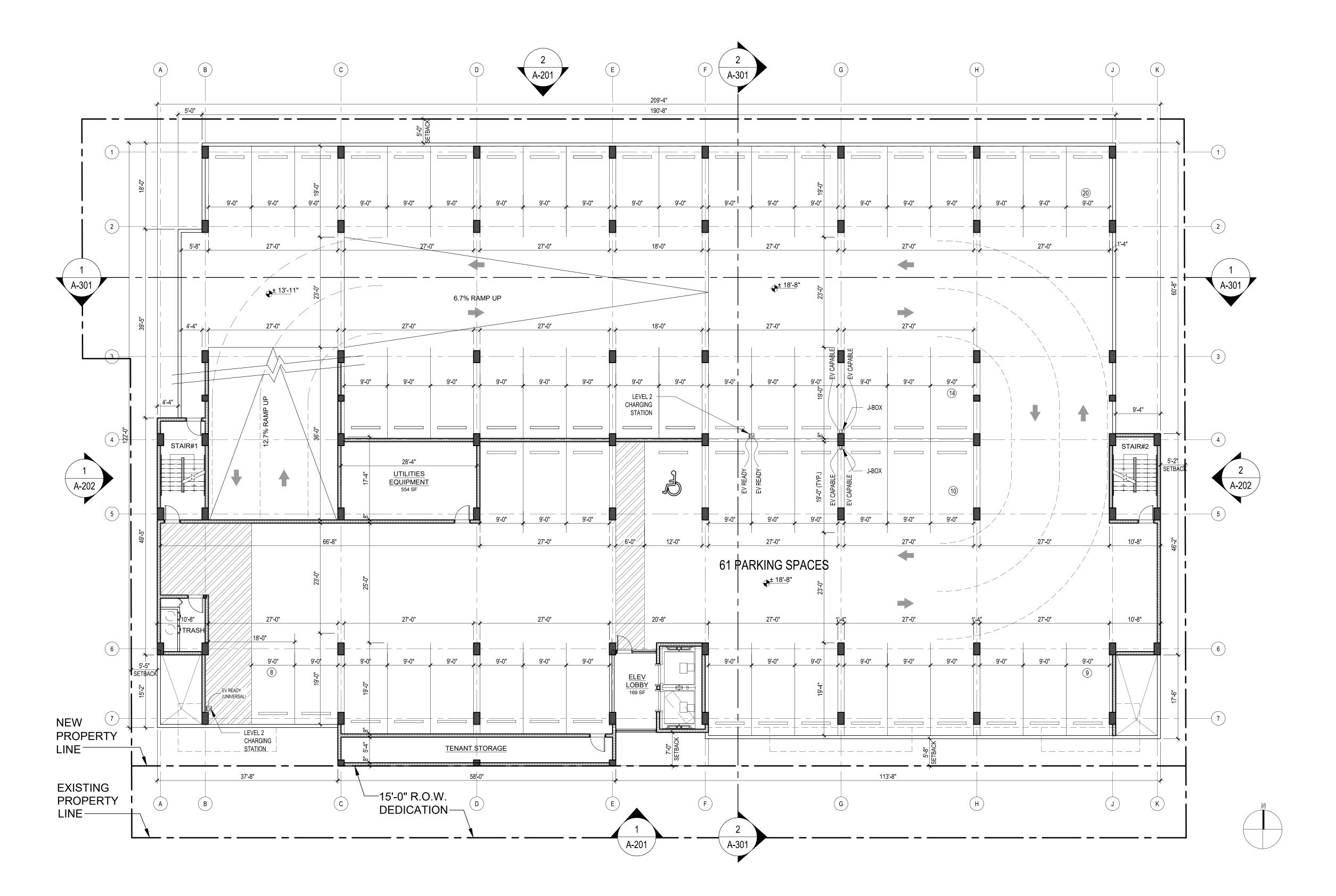
AR0015810

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PROPOSED MEZZANINE / GARAGE LEVEL 1B

A-102

UNIT MATRIX
NOT TO SCALE



A Zyscovich Company
ARCHITECTURE. PLANNING. INTERIOR DESIGN.
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Fort Lauderdale, FL 33316

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Merrill Ann Romanik
AR 0015810
Seal

AR0015810

AR0015810

HALLANDALE CENTRAL PARK

REV DATE DESCRIPTION

DESIGN
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PROJECT NUMBER: 1729-230311

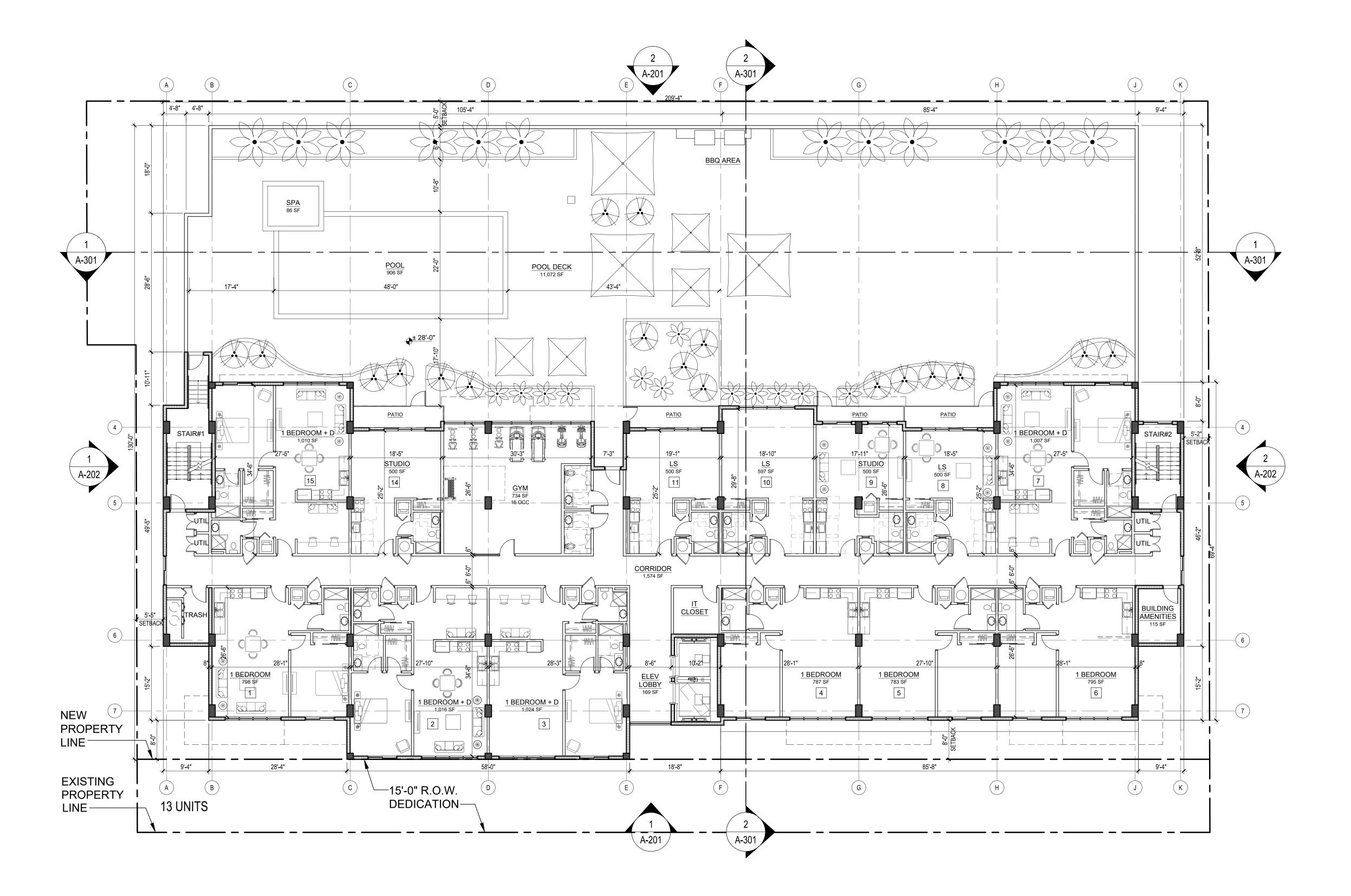
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PROPOSED SECOND FLOOR PLAN / GARAGE LEVEL 2





AR 0015810
Seal

AR0015810

AR0015810

CENTRAL PARK

13-125 SE 5TH STREET

AND,

HALL

REV DATE DESCRIPTION

DESCRIPTION

DESCRIPTION

DESIGN
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PROJECT NUMBER: 1729-230311

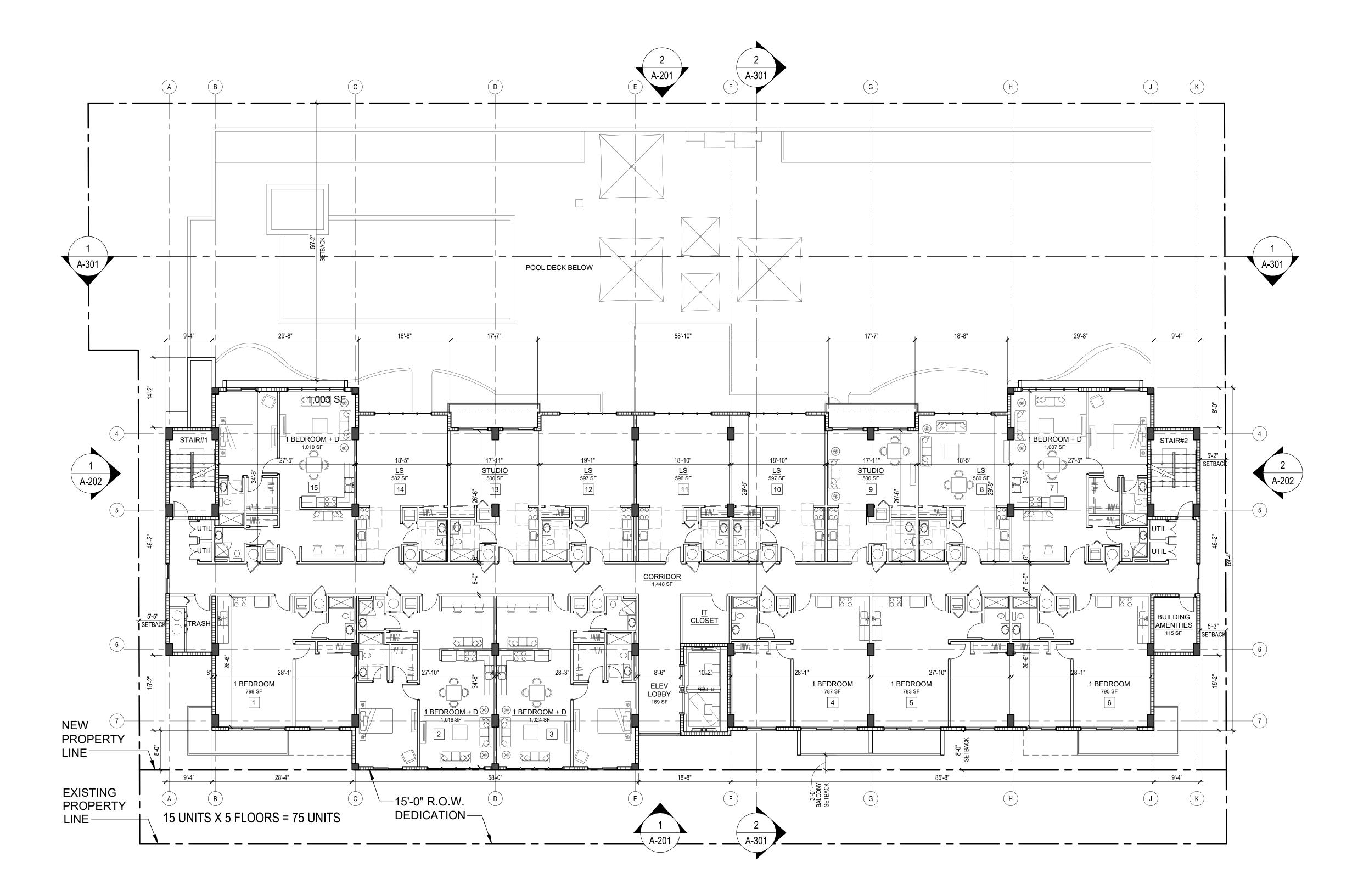
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SHEET TITLE:

PROPOSED THIRD FLOOR PLAN





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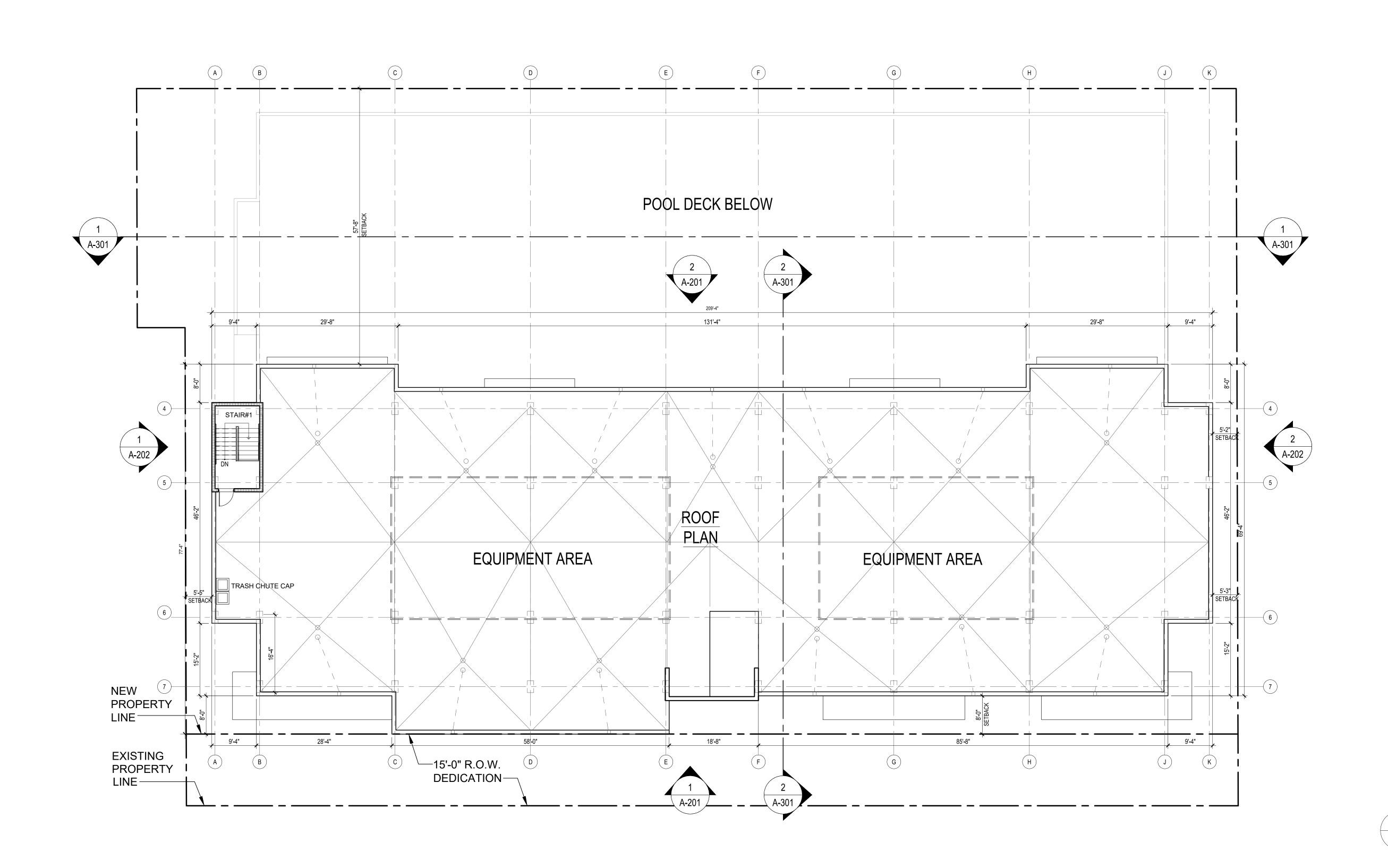
ANDALE HALL

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PROPOSED TYPICAL FLOOR PLAN (4TH TO 8TH)





Merrill Ann Romanik AR 0015810 Seal

ANDALE HALL

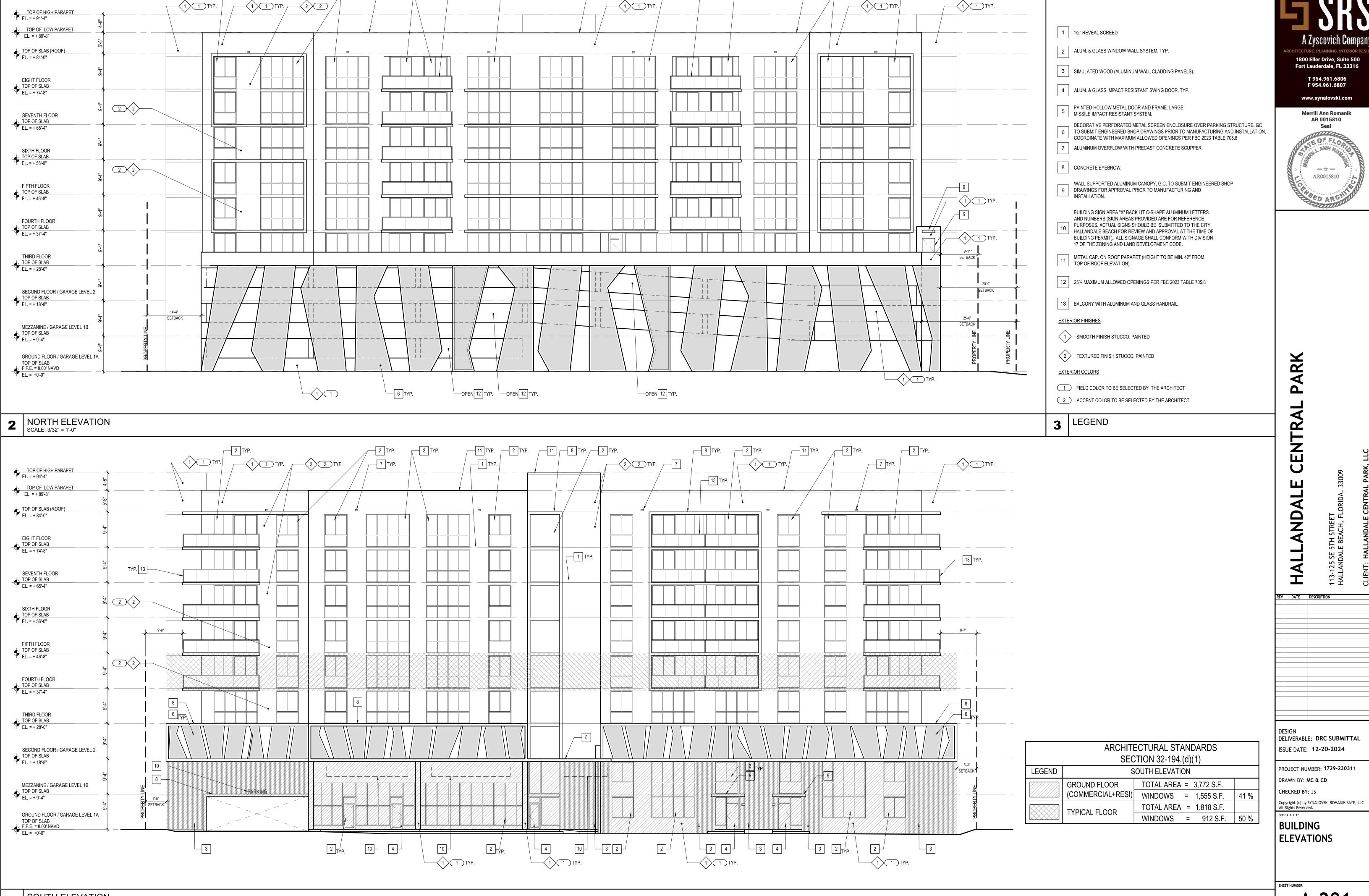
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ROOF PLAN





_____13 TYP. _____2 TYP.

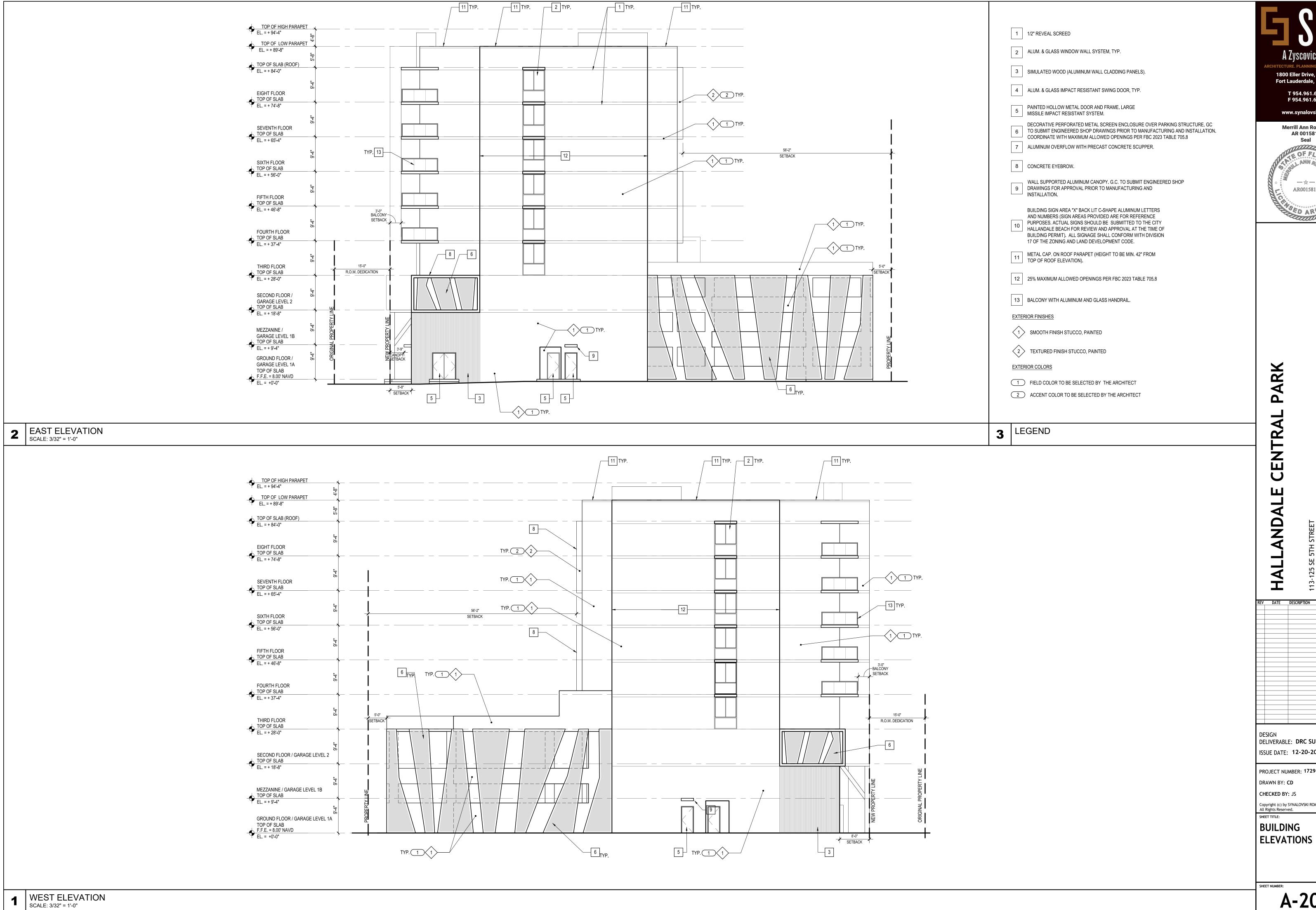
______13_TYP.

____2 TYP.

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> **Merrill Ann Romanik** AR 0015810

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Seal - \updownarrow -AR0015810

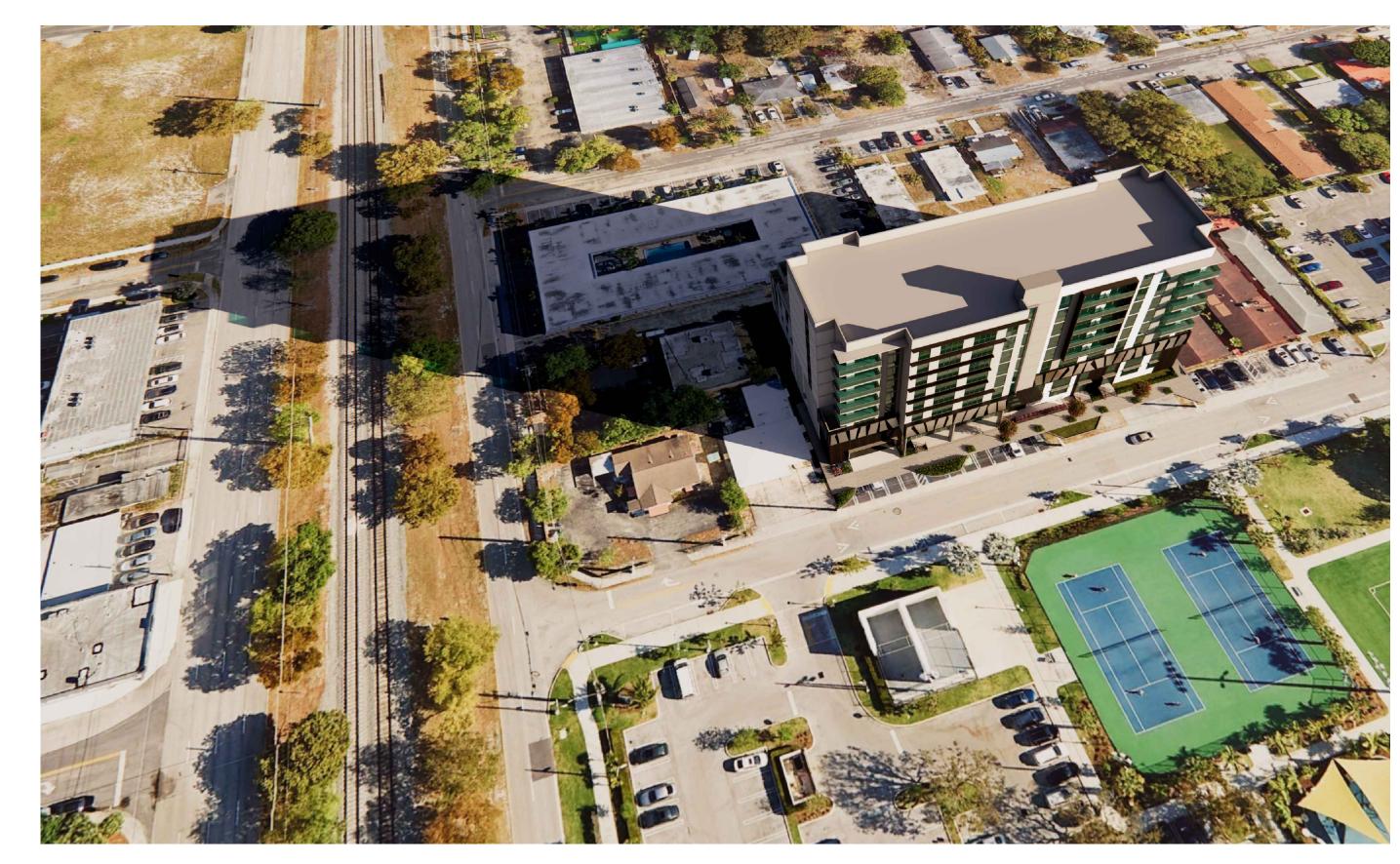
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PROJECT NUMBER: 1729-230311 DRAWN BY: CD

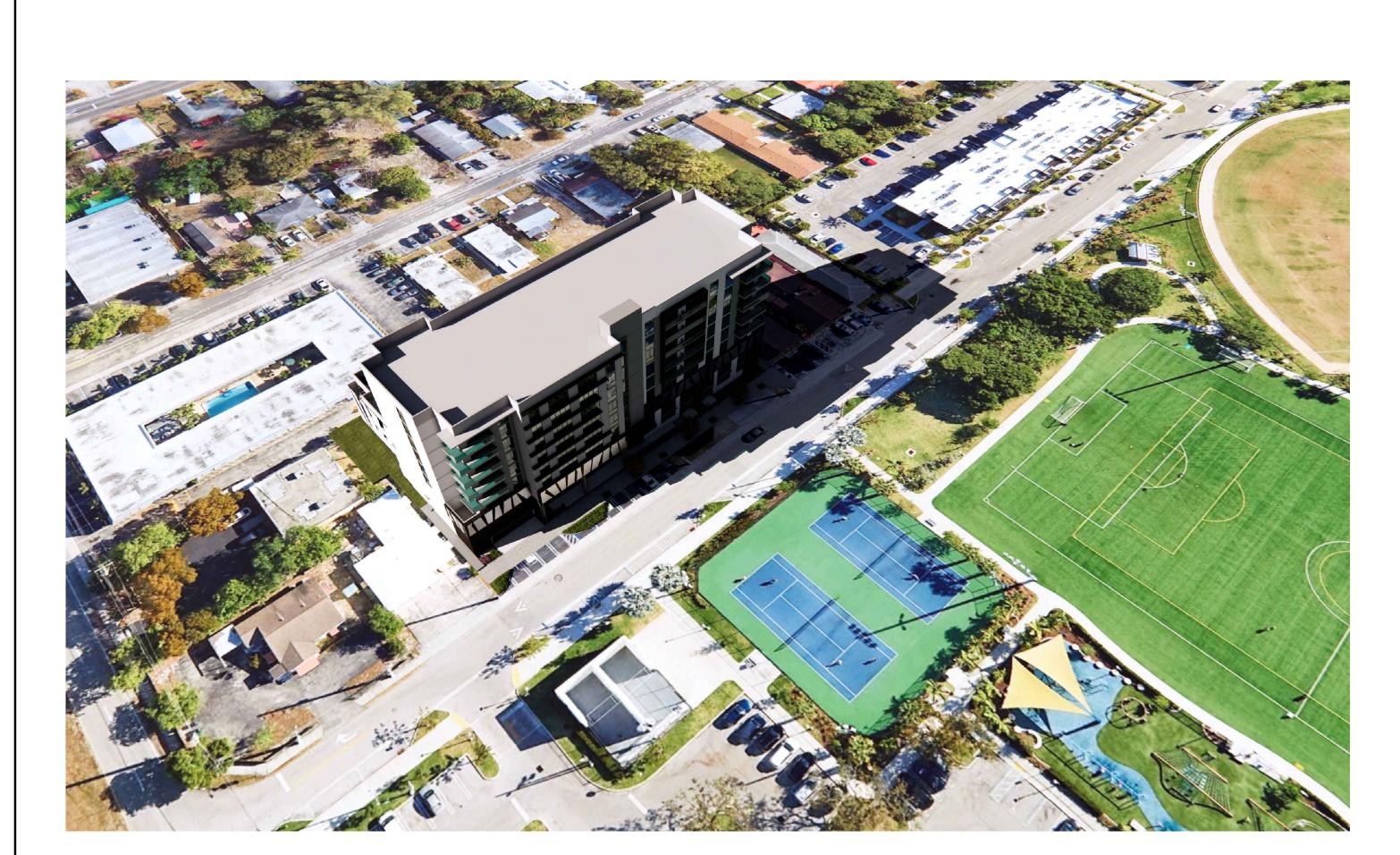
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BUILDING

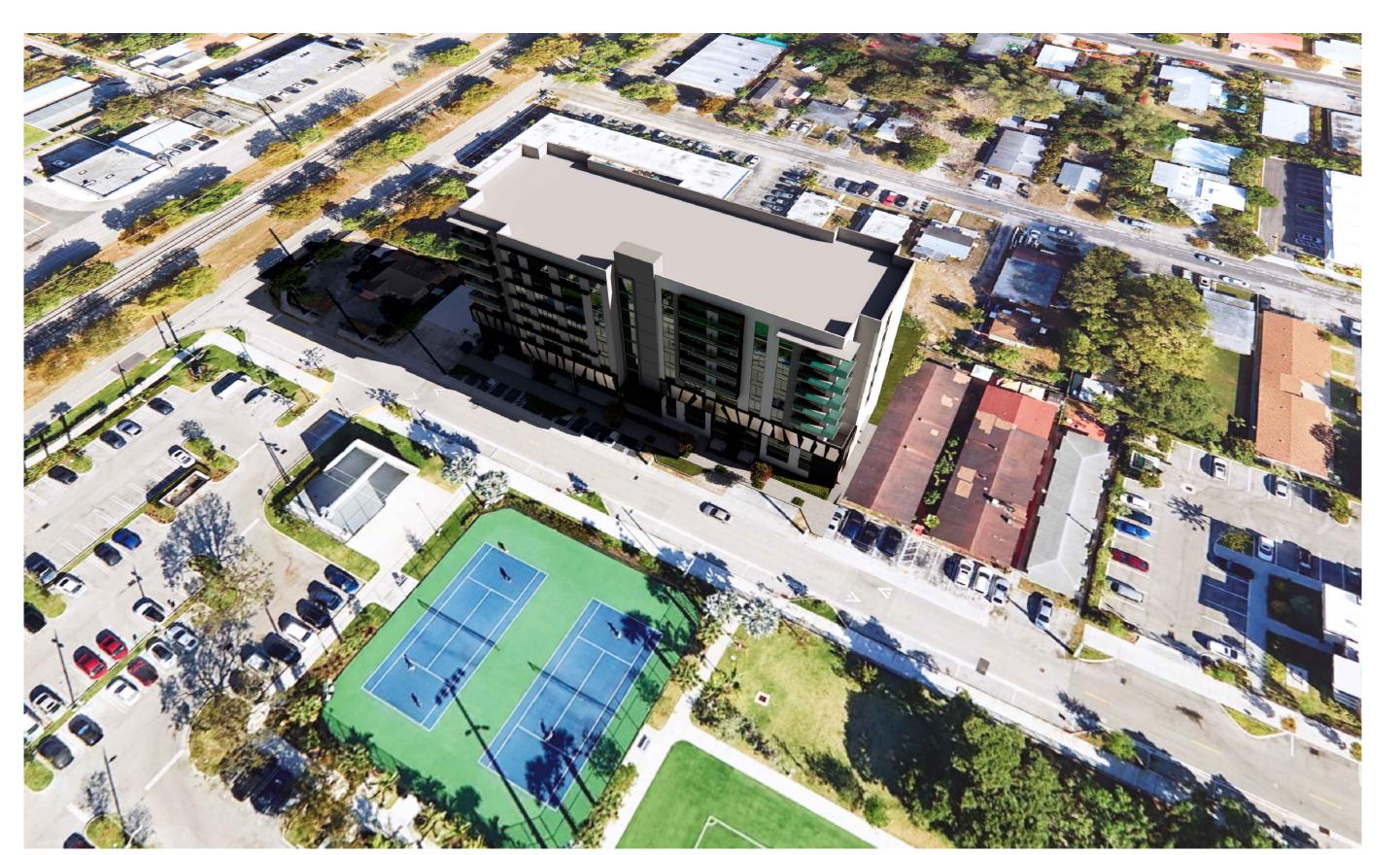




3 BUILDING SOLAR STUDY (DECEMBER 5:00PM) SCALE: N/A



4 BUILDING SOLAR STUDY (DECEMBER 8:00AM)
SCALE: N/A



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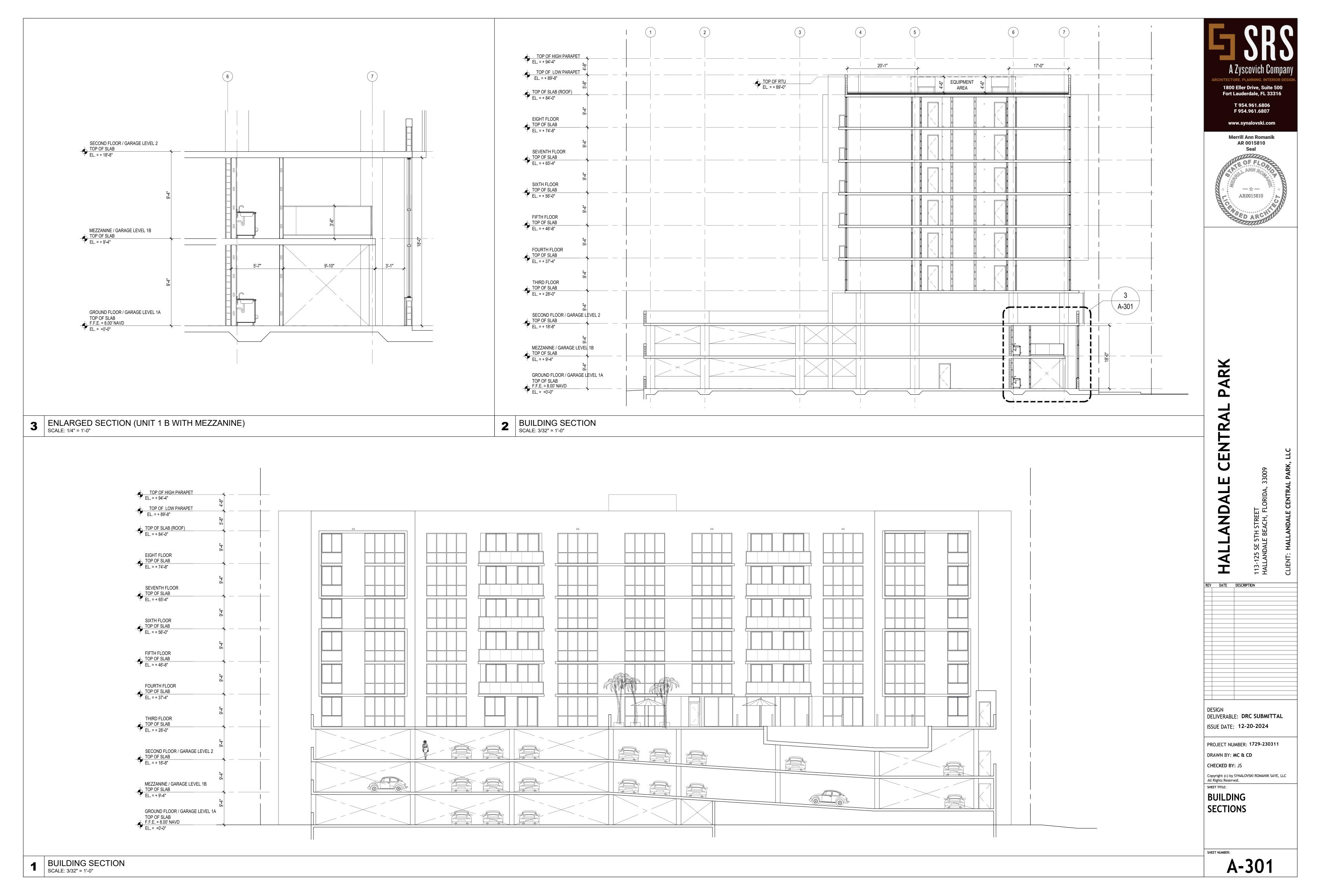
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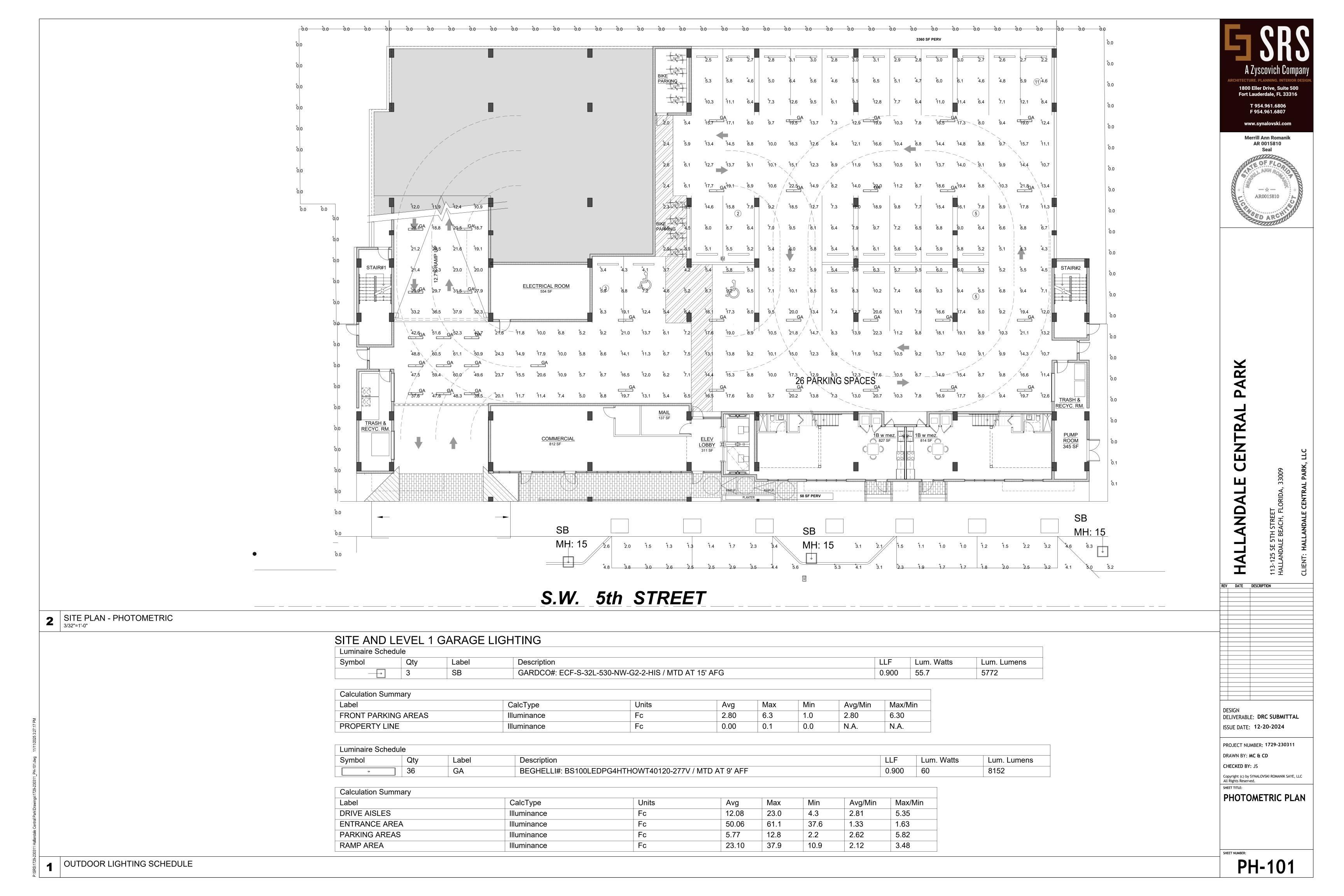
PARK

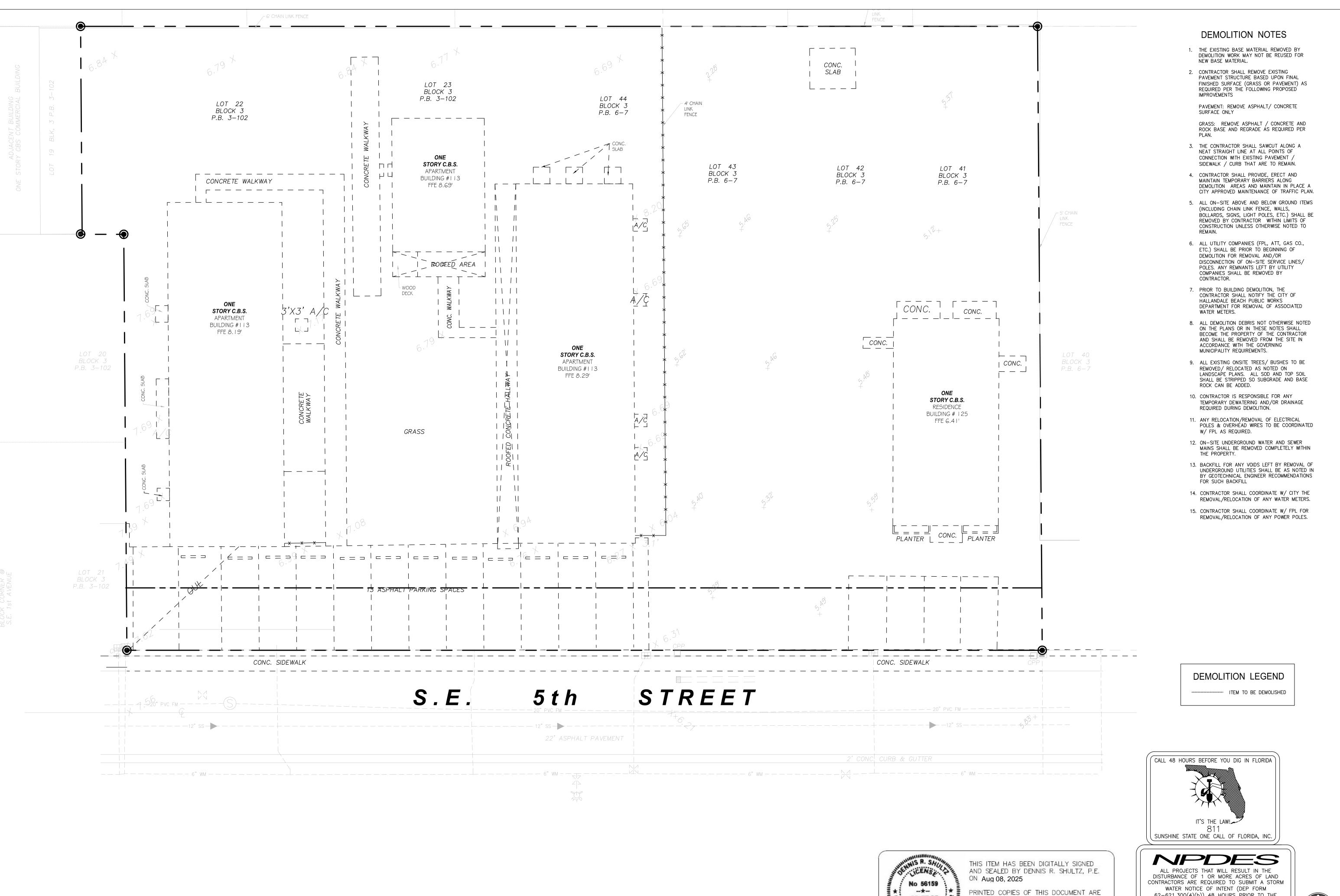
ISSUE DATE: **12-20-2024**

PROJECT NUMBER: 1729-230311

BUILDING SOLAR STUDY







STATE OF

NOT CONSIDERED SIGNED AND SEALED AND

THE SIGNATURE MUST BE VERIFIED ON ANY

ELECTRONIC COPIES

62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD
MAIL STATION 2510, TALLAHASSEE, FL 32399-2400.
ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES





1"=10.0' 08/08/23

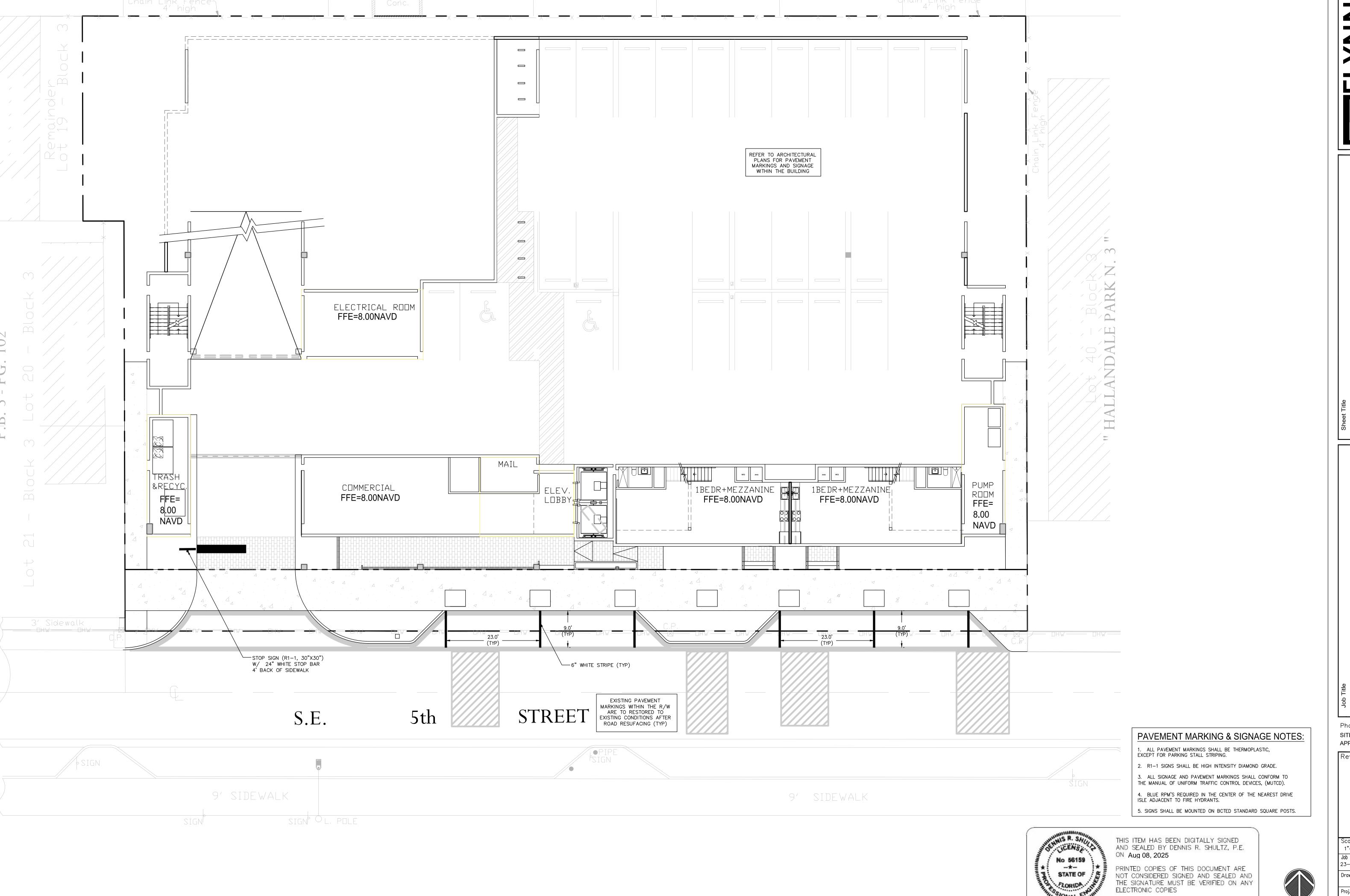
DRS

Phase: SITE

APPROVAL

Revisions

Job No. Plot Date 23-1762.00 07/10/25 Sheet No. Drawn by AJS Proj. Engr. DRS Appr. by



Phase: SITE APPROVAL

Revisions

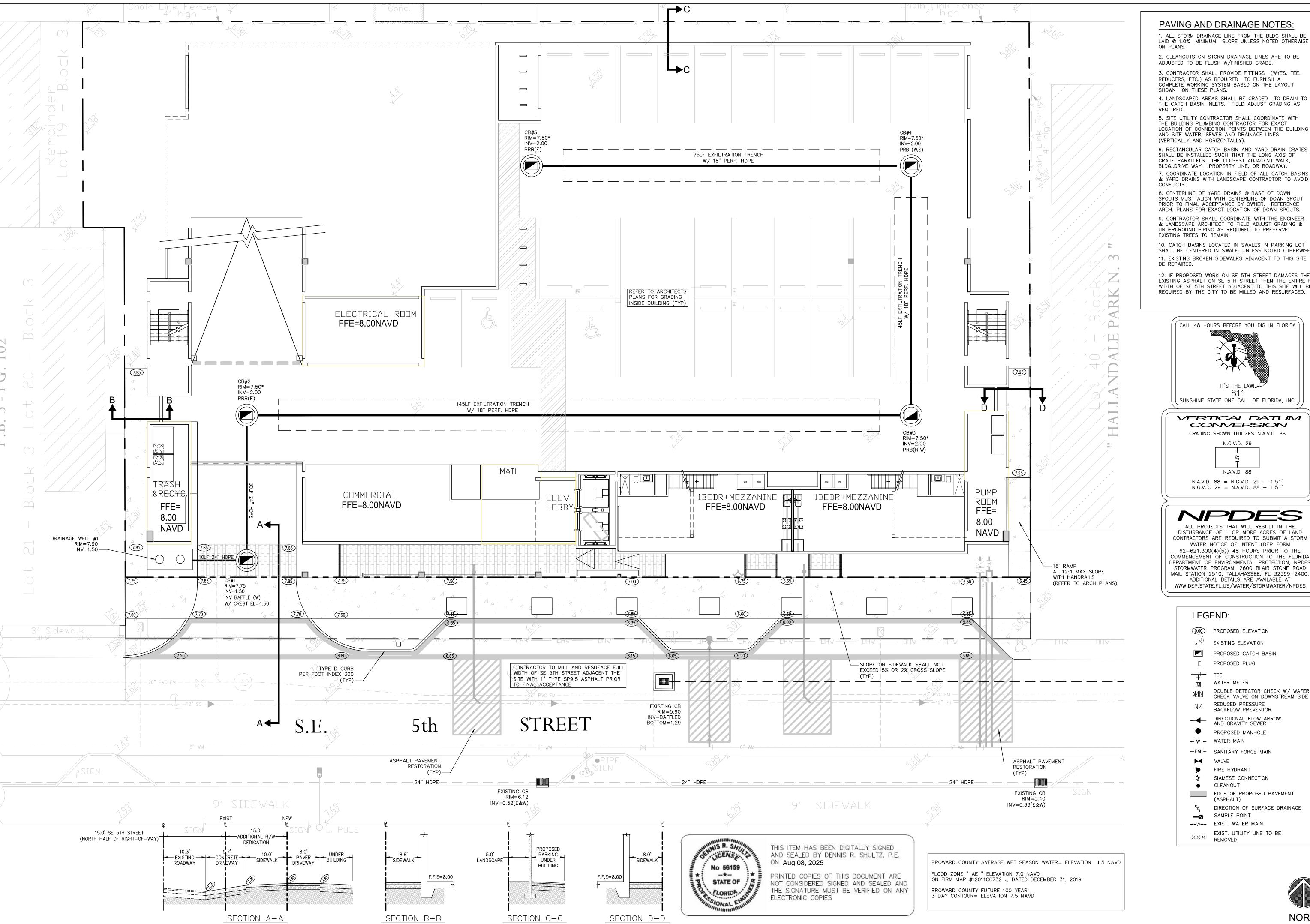
Scale: Date 1"=10.0' 08/08/23 Job No. Plot Date 23–1762.00 08/08/25

Drawn by Sheet No. AJS

Proj. Engr. DRS Appr. by DRS

. ZORIDA.

NORTH



PAVING AND DRAINAGE NOTES:

1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE

2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.

3. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.

4. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS

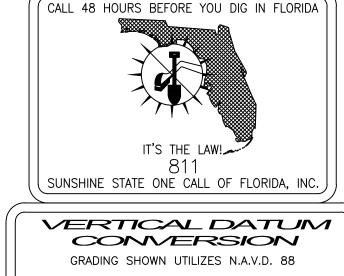
5. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES

SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG., DRIVE WAY, PROPERTY LINE, OR ROADWAY. 7. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID

8. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS. 9. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER & LANDSCAPE ARCHITECT TO FIELD ADJUST GRADING & UNDERGROUND PIPING AS REQUIRED TO PRESERVE EXISTING TREES TO REMAIN.

10. CATCH BASINS LOCATED IN SWALES IN PARKING LOT SHALL BE CENTERED IN SWALE. UNLESS NOTED OTHERWISE. 11. EXISTING BROKEN SIDEWALKS ADJACENT TO THIS SITE TO BE REPAIRED.

12. IF PROPOSED WORK ON SE 5TH STREET DAMAGES THE EXISTING ASPHALT ON SE 5TH STREET THEN THE ENTIRE ROAD WIDTH OF SE 5TH STREET ADJACENT TO THIS SITE WILL BE REQUIRED BY THE CITY TO BE MILLED AND RESURFACED.



N.G.V.D. 29 N.A.V.D. 88 N.A.V.D. 88 = N.G.V.D. 29 - 1.51'

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

LEGEND:

0.00 PROPOSED ELEVATION

2.50 EXISTING ELEVATION

PROPOSED CATCH BASIN

[PROPOSED PLUG

-|_|- TEE WATER METER

DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE

REDUCED PRESSURE BACKFLOW PREVENTOR

DIRECTIONAL FLOW ARROW AND GRAVITY SEWER

PROPOSED MANHOLE

- W - WATER MAIN

-FM - SANITARY FORCE MAIN

FIRE HYDRANT

SIAMESE CONNECTION CLEANOUT EDGE OF PROPOSED PAVEMENT

(ASPHALT) DIRECTION OF SURFACE DRAINAGE

SAMPLE POINT --W-- EXIST. WATER MAIN

XXX EXIST. UTILITY LINE TO BE REMOVED



Job No. Plot Date Drawn by AJS Proj. Engr. DRS Appr. by DRS

APPROVAL Revisions

Phase:

SITE

1"=10.0' 08/08/2 23-1762.00 08/08/25 Sheet No.

. AVAILABLE FIRE FLOW PER __/__ FLOW TEST IS ____ GPM @ 20 PSI.

TOTAL PROPOSED SEWER FLOW = 16,321.8 GPD

4. NET INCREASE IN WATER AND SEWER FLOW FROM THE SITE: WATER: 18,121.8 - 2,200 = 15,921.8 GPD SEWER: 16,321.8 - 1,1980 = 14,341.8 GPD

Phase:

SITE

APPROVAL

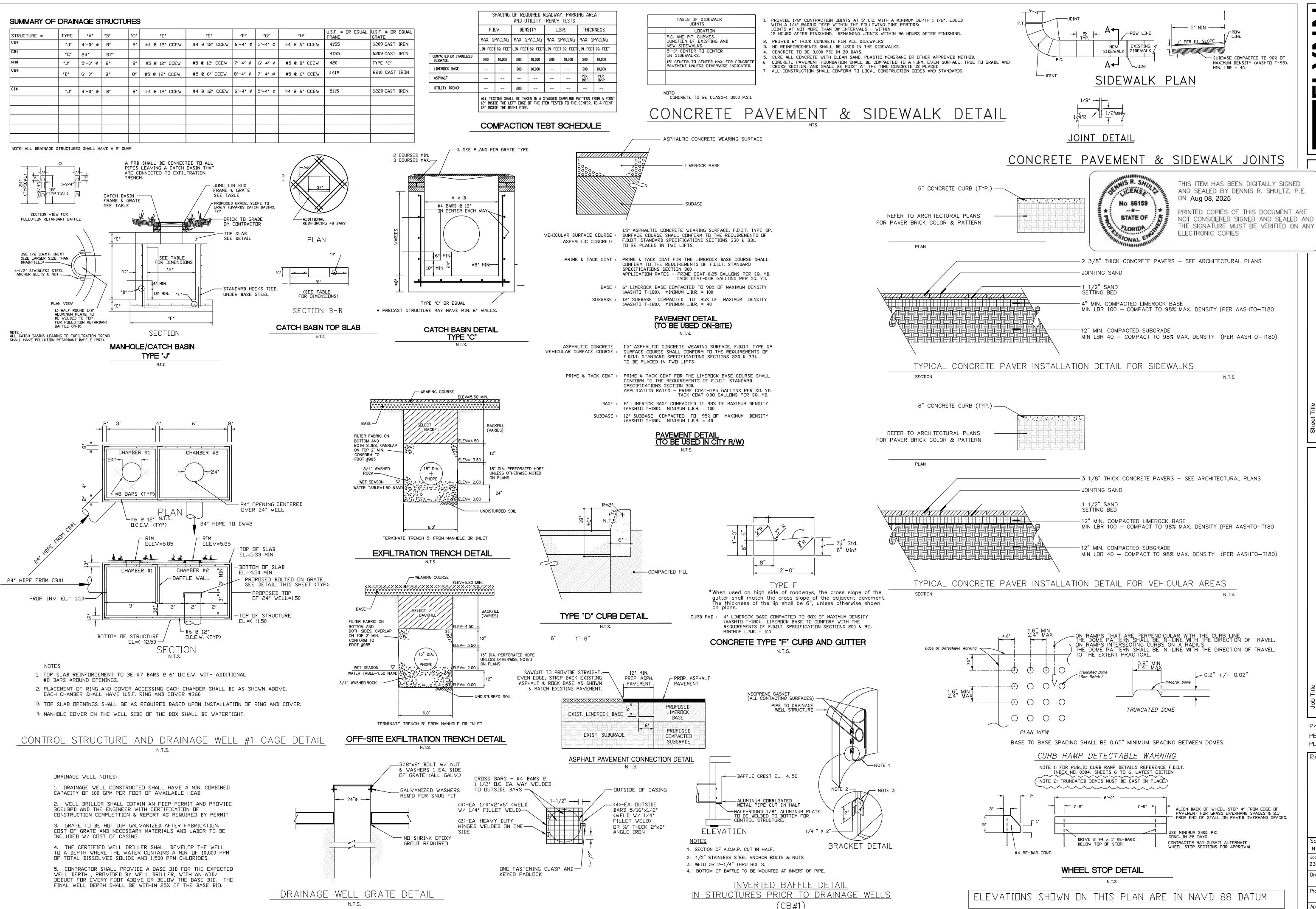
Revisions

1"=10.0' 08/08/23 Job No. Plot Date 23-1762.00 08/08/25 Drawn by Sheet No. AJS

Proj. Engr. DRS

NORTH

Appr. by DRS



N.T.S.

ENGINEER

241 COMMERCIAL BLVD., LAUDERDALE—BY—THE—SEA,
PHONE: (954) 522—1004 | WWW.FLYNNENGINEERIN
EB# 6578

PAVING, GRADING AND

HALLANDALE CENTRAL PARK

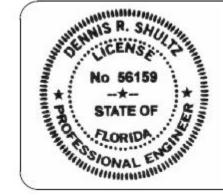
Phase:
PERMITTING
PLANS

PLANS

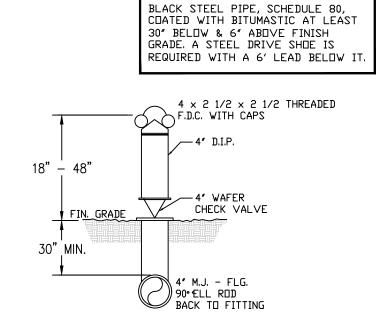
Revisions

Scale: Date
NTS 08/08/2

Job No. Plot Date
23-1762.00 08/08/2

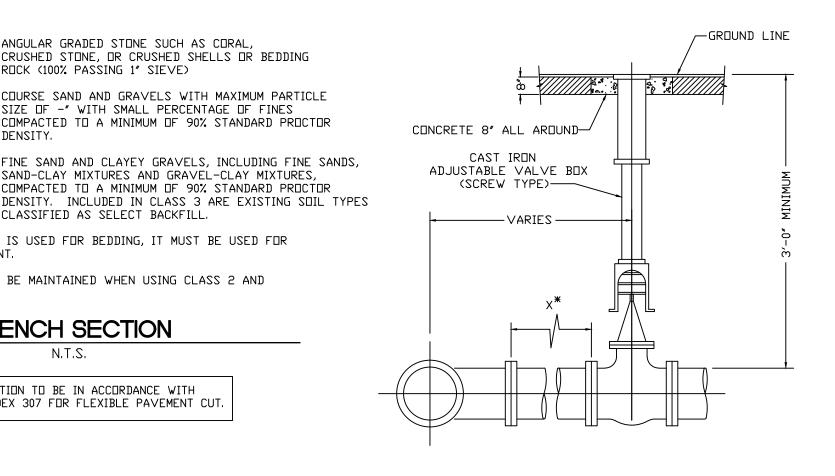


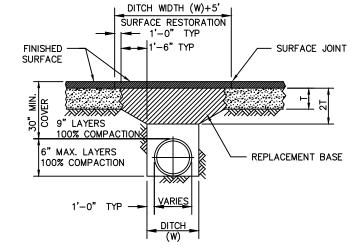
ON Aug 08, 2025 ELECTRONIC COPIES



NOTE:

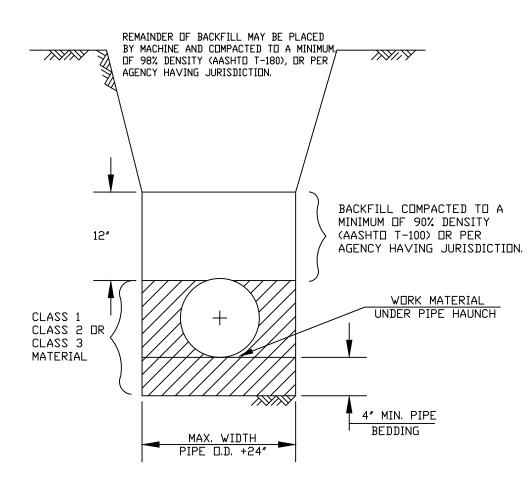
FIRE DEPT. CONNECTION DETAIL





- 1. REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE.
- 2. BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO MAX.
- 3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY
- 4. ASPHALT CONCRETE PAVEMENT SHALL BE 1-1/2" TYPE SP.
- 5. TRENCH BACKFILL COMPACTED TO 100% MAX. DENSITY PER AASHTO T-180.

ROADWAY RESTORATION



CLASS 1 MATERIAL - ANGULAR GRADED STONE SUCH AS CORAL CRUSHED STONE, OR CRUSHED SHELLS OR BEDDING ROCK (100% PASSING 1" SIEVE) CLASS 2 MATERIAL - COURSE SAND AND GRAVELS WITH MAXIMUM PARTICLE

SIZE OF -" WITH SMALL PERCENTAGE OF FINES COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR CLASS 3 MATERIAL - FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS, SAND-CLAY MIXTURES AND GRAVEL-CLAY MIXTURES, COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR

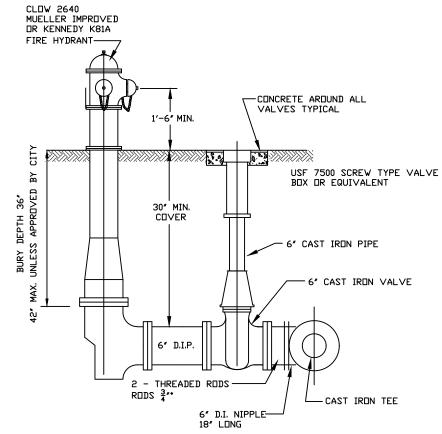
CLASSIFIED AS SELECT BACKFILL. IF CLASS 1 MATERIAL IS USED FOR BEDDING, IT MUST BE USED FOR THE ENTIRE EMBEDMENT. A DRY TRENCH SHALL BE MAINTAINED WHEN USING CLASS 2 AND

TRENCH SECTION

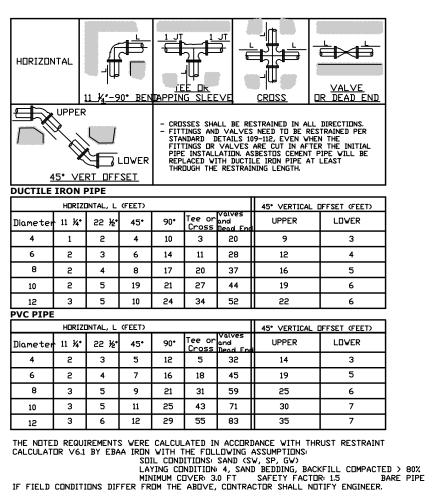
N.T.S.

PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH FDOT STANDARD INDEX 307 FOR FLEXIBLE PAVEMENT CUT.

CLASS 3 MATERIAL

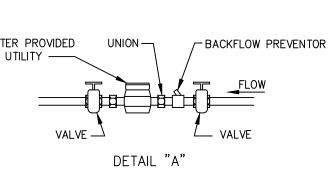


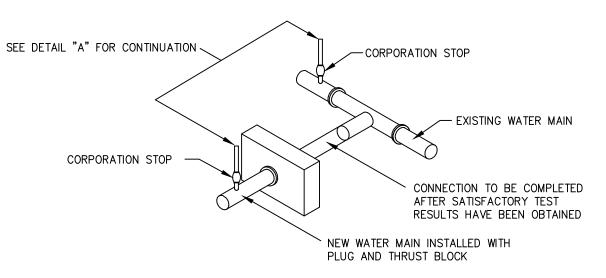
TYPICAL FIRE HYDRANT ASSEMBLY

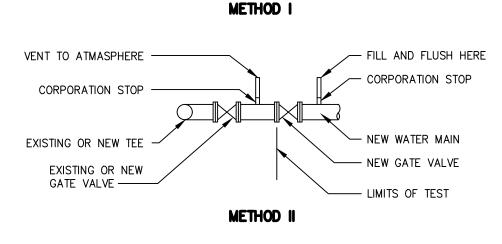


TYPICAL VALVE SETTING METER PROVIDED UNION —

USE TIE RODS, RESTRAINED OR HARNESSED JOINTS WHERE "X" IS LESS THAN 16'-0"

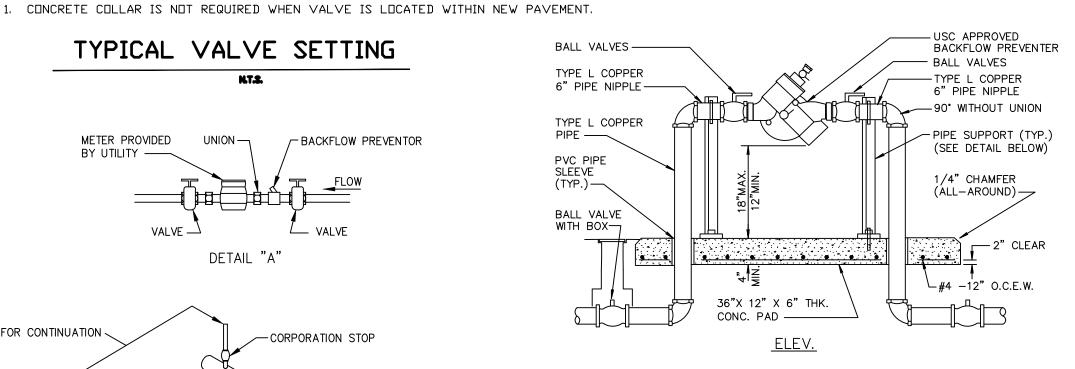


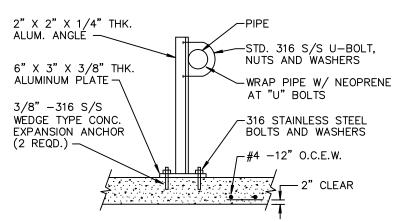




1. REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON EXISTING MAIN AFTER FILLING AND FLUSHING OF NEW MAIN. 2. DO NOT REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN UNTIL ALL TESTING HAS BEEN COMPLETED.

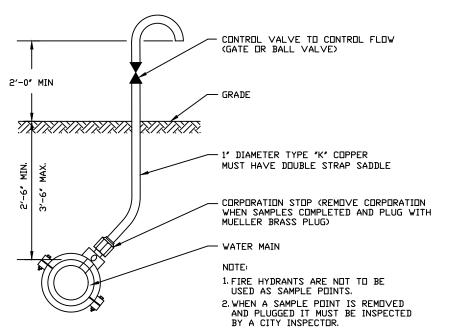
FILLING & FLUSHING CONNECTION N.T.S.

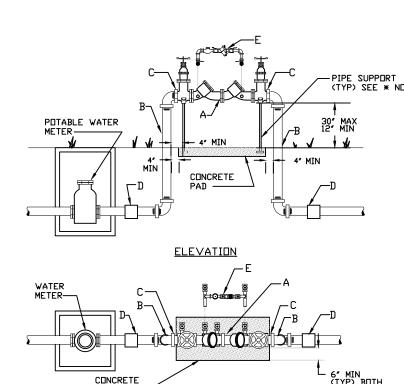




PIPE SUPPORT DETAIL 1. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.

2. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.





BACK-FLOW PREVENTION ASSEMBLIES LARGER THAN 2'DIAMETER SHALL BE SUPPORTED BY PIPE SUPPORTS EMBEDDED IN A CONCRETE PAD. CONCRETE PAD WILL BE SIZED TO COVER THE GROUND AREA BETWEEN THE RISERS, FOUR (4) INCHES FROM EACH RISER, AND IX (6) INCHES BEYOND THE VERTICAL LINE OF THE

PIPE SUPPORTS WILL BE MADE TO CRADLE THE VALVE ON EACH SIDE OF THE CHECK VALVES, WITHOUT INTERFERING WITH THE INSERTION OR REMOVAL OF THE BOLTS ON THE FLANGE.

- A. REDUCED PRESSURE PRINCIPLE OR DETECTOR DOUBLE-CHECK VALVE OR DOUBLE-CHECK VALVE ASSEMBLY, WITH US & Y VALVES AS PROVIDED BY MANUFACTURER. B. RISER SHALL BE COPPER PIPE, TYPE K- HARD TEMPER, OR BLACK IRON, OF APPROPRIATE SIZE.
- C. IF DISSIMILAR METALS ARE USED, THE PIPING WILL BE JOINED TO THE ASSEMBLY WITH A DIELECTRIC COUPLING OR FLANGE TO PREVENT
- RISER SHALL BE JOINED TO THE WATER LINE ON THE HORIZONTAL RUN. IF DISSIMILAR METALS ARE INVOLVED, A DIELECTRIC COUPLING WILL BE USED TO PREVENT ELECTROLYSIS.
- E. METER ASSEMBLY ON THE DETECTOR DOUBLE CHECK VALVE ASSEMLY ONLY. F. CHAIN AND LOCK OS & Y VALVES IN OPEN POSITION.
- G. PAINT ALL ABOVE GROUND PIPING AND BACKFLOW PREVENTORS WITH APPROVED PAINT. SUBMIT PAINT SAMPLES TO ARCHITECT FOR APPROVAL DOUBLE CHECK DETECTOR ASSEMBLY AND DOUBLE CHECK BACKFLOW PREVENTER

SAMPLING POINT DETAIL

NTS 08/08/2 Plot Date 23-1762.00 | 08/08/2 Drawn by Proj. Engr. DRS Appr. by DRS

Aug 08, 2023 - 5:17pm Drawing name: F:\2023 Jobs\23-1762.00 Hallandale Central Park MF\23-1762.00 WSD.dwg

Phase: **PLANS**

PERMITTING Revisions

SE 5TH STREE: HALLANDALE I

AND CAP AS SHOWN. ** CLEANDUTS IN PAVED AREAS SHALL BE (CAP SHALL BE LEFT UN-GLUED) HOUSED IN A STANDARD CAST IRON 16"× 16"× 4" - CAP ON CLEAN OUT TO CONCRETE PAD -\ FIN. GRADE — BE FLUSH WITH GROUND. ELECTRONIC MARKER (TO BE LEFT IN PLACE) 6" SDR-35 PVC — 1/8 BEND. SCH. 40 PVC RISER 36" MAX. (SOLVENT-WELD JOINT) SIZE TO BE SAME AS SERVICE LINE. 45° ELBOW MAX. — PVC SCH. 40 WYE (IF NEEDED) MIN. SLOPE 0.01 WYE PVC SERVICE LATERAL SIZE SHOWN ON PLANS. IN AREAS WHERE GROUND WATER TABLE IS LESS - SEE GRAVITY SEWER BEDDING DETAIL THAN 36" FROM FINISHED GRADE, THIS RISER PIPE WILL BE INSTALLED TO A POINT ABOVE EXISTING WATER TABLE. CLEANDUT DETAIL

** PLACEMENT OF CLEAN-OUTS IN PAVED

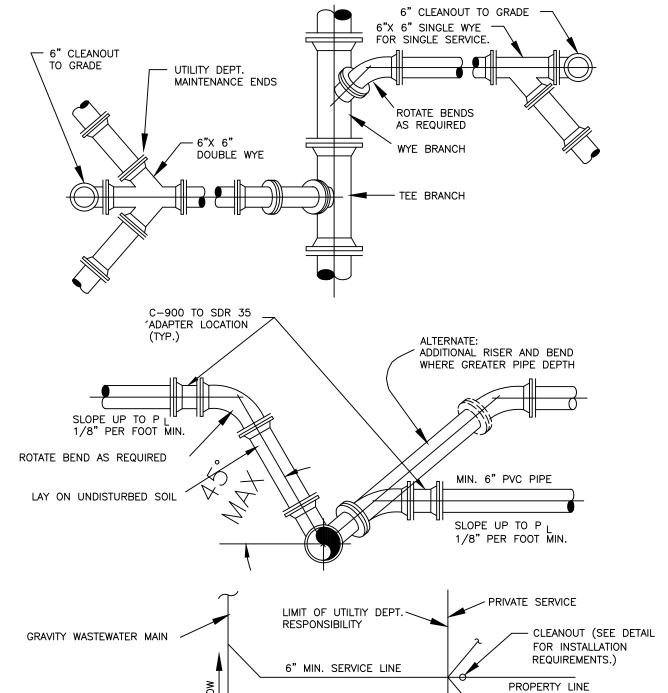
WITHOUT SPECIFIC APPROVAL OF ENGINEER

AREAS SHALL NOT BE PERMITTED

-LEAVE RISER 18" (MIN) ABOVE

GRADE UNTIL FINISH GRADING

IS COMPLETED, THEN CUT OFF



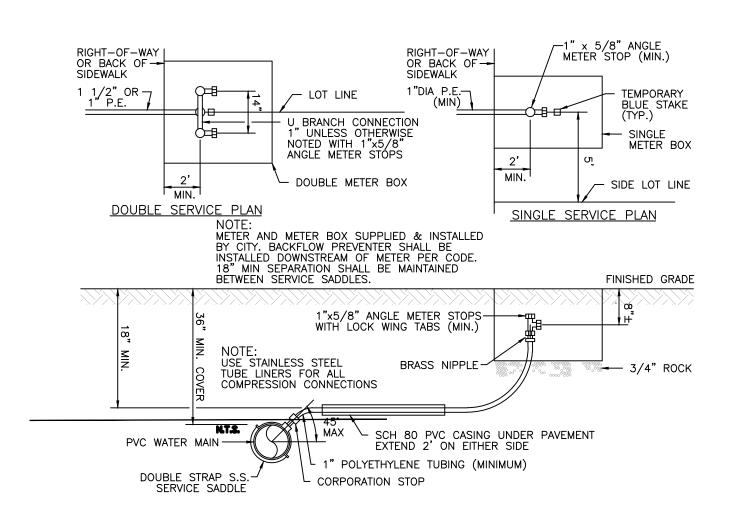
1. SERVICE LATERALS SHALL TERMINATE AT PROPERTY LINE AT A DEPTH OF 3 FEET. 2. CLEANOUT IS TO BE INSTALLED PER DEPARTMENT STANDARDS PRIOR TO WATER METER INSTALLATION. AN INSPECTION OF CONNECTION INTO THE DEPARTMENTS LATERAL IS REQUIRED PRIOR TO WATER METER RELEASE. 3. WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE MATERIAL.

4. NO 90° BENDS SHALL BE USED FOR WASTEWATER SERVICE AND CLEANOUT INSTALLATION. 5. CLEANOUTS DESIGNATING THE END OF THE DEPARTMENT'S MAINTENANCE RESPONSIBILITY SHALL BE LOCATED WITHIN AN UTILITY EASEMENT OR RIGHT-OF WAY DEDICATED FOR UTILITIES. 6. THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR CLEANOUT INSTALLATION PRIOR TO

N.T.S.

TYPICAL WASTEWATER SERVICE CONNECTION

WATER METER INSTALLATION AS SPECIFIED BY THE DEPARTMENT.



TYPICAL SINGLE & DOUBLE SERVICE CONNECTION

R/W OR EASEMENT LINE

USE SAME VALVE BOX DETAIL FOR GATE VALVES. ALL HYDRANTS MUST BE TRAFFIC RATED, WITH BREAK AWAY BARREL.

HORIZON	HORIZONTAL 11 1/4"-90° BENDAPPING SLEEVE CROSS OR DEAD END											
	UPPER		LOWER	- CRD: - FITT STAI FITT PIPE REPI	SSES SHA FINGS ANI NDARD I FINGS DR FINSTALL LACED WI	LL BE RED VALVES ETAILS 10 VALVES ATION, AS	CRUSS L STRAINED IN ALL NEED TO BE RES 19-112, EVEN WHE ARE CUT IN AFTE SBESTIDS CEMENT E LE IRON PIPE AT NING LENGTH.	DIRECTIONS. TRAINED PER N THE R THE INITIAL PIPE WILL BE				
DUCTILE IRON PIPE												
	HDRIZONTAL, L (FEET) 45° VERTICAL DFFSET (FEET)											
Diameter	11 1/4*	22 ½ •	45*	90*	Tee or Cross	Valves and Dead Fno	UPPER	LOWER				
4	1	2	4	10	3	20	9	3				
6	2	3	6	14	11	28	12	4				
8	2	4	œ	17	20	37	16	5				
10	10 2 5 19 21 27 44 19 6											
12 3 5 10 24 34 52 22 6												
PVC PIPE												
	HORIZI	INTAL, L	(FEET)			Valves	45° VERTICAL	OFFSET (FEET)				
Diameter	11 1/4*	25 ¾ •	45°	90*	Tee or Cross	and Dead Fno	UPPER	LOWER				
4	2	3	5	12	5	32	14	3				
6	2	4	7	16	18	45	19	5				
8	3	5	9	21	31	59	25	6				
10	3	5	11	25	43	71	30	7				
12 3 6 12 29 55 83 35 7												
THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH THRUST RESTRAINT CALCULATOR V6.1 BY EBAA IRON WITH THE FOLLOWING ASSUMPTIONS: SOIL CONDITIONS: SAND (SW, SP, GW) LAYING CONDITION: 4, SAND BEDDING, BACKFILL COMPACTED > 807 MINIMUM COVER: 3.0 FT SAFETY FACTOR: 1.5 BARE PIF IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY ENGINEER.												

SINGLE FITTING RESTRAINED JOINT 150 PSI TEST PRESSURE

RESTRAINED JOINT DETAIL

A. APPLICABLE CODES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY AND STATE. 2. CONSTRUCTION SAFETY - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE DCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION OSHA), AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL
- BE STRICTLY DBSERVED. 3. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH CHAPTER 90-96 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT) AND OSHA STANDARD 29 C.F.R. SECTION 1926.650 SUBPART P. THE CONTRACTOR SHALL SUBMIT WITH HIS CONTRACT A COMPLETED, SIGNED, AND NOTARIZED COPY OF THE TRENCH SAFETY ACT COMPLIANCE STATEMENT. THE CONTRACTOR SHALL ALSO SUBMIT A SEPARATE COST ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY CODES.
- 4. NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL LOCAL, STATE AND FEDERAL

B. PRECONSTRUCTION RESPONSIBILITIES

- 1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND HIMSELF
- 2. THE CONTRACTOR SHALL OBTAIN AN SUNSHUNE STATE ONE CALL OF FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO
- PRIOR TO BEGINNING ANY EXCAVATION. 3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL
- VERIFY THE SIZE, LOCATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR O ANY EXISTING UTILITIES WHICH ARE PROPERLY
- 5. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- 1. THE DWNER, ENGINEER, AND LOCAL PERMITTING AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.
- D. SHOP DRAWINGS 1. THE CONTRACTOR SHALL SUBMIT (5) FIVE SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL SUBMITTED BY THE CONTRACTOR TO THE COUNTY OR CITY FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE
- 2. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR

ENGINEER, CITY, AND/OR COUNTY.

E. TEMPORARY FACILITIES

- 1. TEMPORARY UTILITIES IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING
- 2. TRAFFIC REGULATION MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE
- 3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OF WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSUR THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC. NO HOLES SHALL BE LEFT OPEN OVERNIGHT.

F. PROJECT SITE

- 1. DURING CONSTRUCTION THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. THIS END, THE CONTRACTOR SHALL DO AS REQUIRED ALL NECESSARY HIGHWAY OR DRIVEWAY. WALK. AND LANDSCAPING WORK SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH
- 3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

G. PROJECT RECORD DOCUMENTS

- 1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED. INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES, FITTINGS, LENGTH OF PIPE, INVERTELEVATIONS, FINISHED GRADE ELEVATIONS AND THE LIKE, SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR. TOP FLEVATIONS @ 100' O. C.
- 2. PRIDR TO THE PLACEMENT OF ANY ASPHALT OR CONCRETE PAVEMENT THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD 'AS-BUILT' PLANS SHOWING LIMEROCK BASE GRADES, ALL DRAINAGE, WATER, AND SEWER IMPROVEMENTS. PAVING OPERATIONS SHALL NOT COMMENCE UNTIL THE ENGINEER HAS REVIEWED THE "AS-BUILTS" AND THE ENGINEER HAS APPROVED
- 3. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR SUBGRADE SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING LIMEROCK
- 4. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR LIMEROCK SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING ASPHALT.
- "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SH SUFFICIENTLY ACCURATE. CLEAR AND LEGIBLE TO SATISFY ENGINEER AND ANY APPLICABLE REVIEWING AGENCY THAT TH INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS
- 6. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD FIVE COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS (PRINTS) AND ONE MYLAR ORIGINAL THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.
- 7. ALL "AS-BUILT" INFORMATION ON FLEVATIONS OF PAVING. DRAINAGE WATER, AND SEWER SHALL BE CERTIFIED BY A REGISTERED LAND 8. ALL AS-BUILT INFORMATION MUST BE PROVIDED IN AUTOCAD® RELEASE

H. EARTHW□RK

2000 OR LATER FORMAT.

- 1. NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE
- 2. ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- 3. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY
- 4. ALL DRGANIC AND DTHER UNSUITABLE MATERIAL WITHIN WORK LIMITS AND SWALE AREAS SHALL BE REMOVED.

I. PAVING

J. GENERAL UTILITY NOTES

FIRE DISPATCH-

- TESTING REQUIRED, ASPHALT AND LIMEROCK TESTS SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER OR THE LOCAL GOVERNMENT AGENCY.
- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY DETERMINE THE EXACT LOCATION (VERTICAL & HORIZONTAL) OF AN ISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY ALL UTILITIES, METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OR DISCREPANCIES EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS OF CONSTRUCTION DRAWINGS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY

EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT

- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE. LORIDA POWER AND LIGHT COMPANYSOUTHERN BELL-_OCAL GAS COMPANY-LOCAL WATER AND SEWER UTILITY COMPANY(S) -LOCAL CABLE TELEVISION COMPANY(S)-_OCAL CITY ENGINEERING DEPARTMENT-FLORIDA DEPARTMENT OF TRANSPORTATION-SUNSHINE STATE ONE CALL OF FLORIDA-FOR STREET EXCAVATION OR CLOSING: TRAFFIC SARGEANT-
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTURATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY. THIS REPAIR SHALL BE DONE AT NO EXPENSE TO THE OWNER OF THE DAMAGED
- 4. COORDINATE CONSTRUCTION SCHEDULING FOR CONNECTION TO THE EXISTING WATER AND SEWER LINES WITH THE CITY UTILITY
- 5. ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE CITY, COUNTY OR STATE OF FLORIDA D.O.T. STANDARD SPECIFICATIONS, WHERE APPLICABLE. 6. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUIL
- 7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, SOUTHERN BELL, IRRIGATION SYSTEM, ETC PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL CO DINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE
- 8. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN OVERNIGHT WITHOUT WRITTEN PERMISSION OF THE CITY OR OWNER.
- 9. THE CONTRACTOR MUST NOTIFY FLYNN ENGINEERING SERVICES, P. A. PRIOR TO STARTING EACH PHASE OF ANY UNDERGROUND UTILITY WORK OR PAVING AND GRADING OPERATIONS SO THAT THE PROPER INSPECTIONS MAY BE SCHEDULED.

- 1. SURVEY DATA ALL ELEVATIONS ON THE PLANS OR REFERENCED IN SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL
- 2. SURVEY INFORMATION BASED ON TARGET SURVEYING, LLC DATED 09/15/16 (SURVEY NUMBER 268708).

II. CONSTRUCTION SPECIFICATIONS

- 1. IT IS THE INTENT OF THESE SPECIFICATIONS TO DESCRIBE THE MINIMUM ACCEPTABLE TECHNICAL REQUIREMENTS FOR THE MATERIALS AND WORKMANSHIP FOR CONSTRUCTION OF SITE IMPROVEMENTS FOR THIS PROJECT. SUCH IMPROVEMENTS SHALL GENERALLY INCLUDE BUT NOT TO BE LIMITED TO, CLEARING, GRADING, PAVING, REMOVAL OF EXISTING PAVEMENT, AND STORM DRAINAGE.
- THE INTENT THAT THE FLORIDA DEPARTMENT TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION: DATED 2007 TOGETHER WITH "SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' BE USED WHERE
 APPLICABLE FOR THE VARIOUS WORK, AND THAT WHERE SUCH
 WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL SUCH VORDING INTENDED TO BE REPLACED WITH THE WORDING WHICH WOULI PROVIDE PROPER TERMINOLOGY; THEREBY MAKING SUCH SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' AS THE STANDARD SPECIFICATIONS' FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.
- 3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE THE CONSTRUCTION OF A PAVING, DRAINAGE, WATER AND SEWER SYSTEM AS SHOWN ON THE PLANS, SPECIFIED HEREIN, OR BOTH. IT IS THE INTEN TO PROVIDE A COMPLETE AND OPERATING FACILITY IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS. THE MATERIAL AND EQUIPMENT SHOWN OR SPECIFIED SHALL NOT BE TAKEN TO EXCLUDE ANY OTHER INCIDENTALS NECESSARY COMPLETE THE WORK.
- 4. ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE STRICT ACCORDANCE WITH THE PLANS AND CONSTRUCTION SPECIFICATIONS AND THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY THE UNIT OF GOVERNMENT WHICH HAS JURISDICTION AND RESPONSIBILITY FOR THE CONSTRUCTION. WHER CONFLICTS OR OMISSIONS EXIST, THE JURISDICTIONAL GOVERNMENT ENGINEERING DEPARTMENT'S STANDARDS SHALL GOVERN. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- 5. GUARANTEE ALL MATERIALS AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTEE PERIOD, THE AFFECTED PART OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR, AT NO EXPENSE OWNER. IN THE EVENT THE CONTRACTOR FAILS NECESSARY REPLACEMENT OR REPAIRS WITHIN (7) SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

B. FARTHWORK

1. ALL AREAS WITHIN THE LIMITS OF WORK SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION, THIS SHALL CONSIST COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF EXISTING GROUND TO A DEPTH OF 1'. ITEMS DESIGNATED REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE DESIGNATED ON THE DRAWINGS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE STANDARD SPECIFICATIONS.

2. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, DR A-2-4 IN

- ACCORDANCE WITH AASHTO M--145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE THAN 10% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE. 3. ALL MATERIAL OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND TESTING TO ESTABLISH CONFORMANCE WITH THE SPECIFICATIONS AND SUITABLY FOR THE USES INTENDED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE TIME HE WILL BE READY FOR AN INSPECTION OR TEST. THE CONTRACTOR SHALL FOLLOW CITY AND COUNTY INSPECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PHASE OF WORK DEPENDENT ON AN INSPECTION OR TEST AN EARLIER PHASE OF WORK, PRIOR TO THAT INSPECTION PASSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY HE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIE EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS,
- 4. WHEN ENCOUNTERED, MUCK SHALL BE COMPLETELY REMOVED FROM THE CENTER LINE (10) TEN FEET BEYOND THE EDGE OF PAVEMENT EACH SIDE. ALL SUCH MATERIAL SHALL BE REPLACED BY APPROVED GRANULAR FILL, COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO
- 5. WHEN ENCOUNTERED WITHIN DRAINAGE SWALES, HARDPAN OR MUCK SHALL BE REMOVED FOR A WIDTH OF (5) FIVE FEET AT THE INVERT AND REPLACED WITH GRANULAR MATERIALS.
- 6. ALL UNDERGROUND UTILITIES AND DRAINAGE INSTALLATIONS SHALL N PLACE PRIOR TO SUBGRADE COMPACTION AND PAVEMENT CONSTRUCTION.
- 7. GROUND ADJACENT TO ROADWAY/PAVEMENT HAVING RUNDFF SHALL BE GRADED (2) TWO INCHES LOWER THAN THE EDGE OF PAVEMENT ALLOW FOR THE PLACEMENT OF SOD. 8. SITE GRADING ELEVATIONS SHALL BE WITHIN O. 1' OF THE

REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN

9. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL, EMBANKMENT AND GRADING TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING TYPICAL ROAD SECTIONS. SIDE SLOPES AND CANAL SECTIONS, ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 REQUIRED IN EXCESS OF THAT GENERATED BY THE EXCAVATION, CONTRACTOR SHALL SUPPLY THIS MATERIAL AS REQUIRED FROM OFF-

C. DRAINAGE

WITHHUT PHNDING.

- 1. INLETS ALL INLETS SHALL BE THE TYPE DESIGNATED ON THE PLANS, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH FLORIDA D. O. T. SPECIFICATIONS, 2007, SECTION 425. AL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY TEMPORARY PLUGS AND PLYWOOD OR PLASTIC INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS: RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C--76,
- CMP = CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196.

 CMP (SMOOTH LINED) = CORRUGATED METAL ALUMINUM PIPE, (SMOOTH LINED) ASTM DESIGNATION M-196. SCP = SLOTTED CONCRETE PIPE, F. D. D. T. SECTIONS 941 AND
- PVC = POLYVINYL CHLORIDE PIPE. PCMP = PERFORATED CMP, F. D. O. T. SECTION 945
- 3. PIPE BACKFILL REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE AS DEFINED IN THE FLORIDA
 D. D. T. SPECIFICATIONS, 2007, SECTION 125-8. PIPELINE BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED 100% OF THE STANDARD PROCTOR (AASHTO T--99 SPECIFICATIONS).
- 4. LOCATION OF DRAINAGE STRUCTURES SHALL GOVERN, AND PIPE LENGTH MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
- 5. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE F.D.O.T. STANDARD SPECIFICATIONS. 6. ALL DRAINAGE LINES SHALL BE LAMPED PRIOR TO FINAL ACCEPTANCE
- D. PAVING
- 1. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. 2. INTERNAL ASPHALT PAVING CONSTRUCTED ON EXISTING SANDY SOLLS SHALL BE CONSTRUCTED WITH A 12" SUBGRADE, COMPACTED TO A
- AASHTO T-99. THE COMPACTED SUBGRADE SHALL BE CONSTRUCTED THE LIMITS SHOWN ON THE PLANS. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED. 3. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS, THE SURFACE COURSE SHALL CONSIST OF THE THICKNESS AND TYPE ASPHALTIC CONCRETE AS SPECIFIED IN THE PLANS. ALL ASPHALTIC CONCRETE SHALL BE ACCORDANCE WITH SECTIONS 320, 330, 331, 332, 333, 335, 337

AND 339 OF THE STANDARD SPECIFICATIONS.

- 4. LIMEROCK BASE SHALL BE PREPARED, COMPACTED AND GRADED AND SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION', ALL LIMEROCK THAN 70% OF CARBONATES OF CALCIUM AND MAGNESIUM UNLESS OTHERWISE DESIGNATED, ALL LIMEROCK SHALL BE PRIMED. TH ENGINEER SHALL INSPECT THE COMPLETED BASE COURSE AND TH CONTRACTOR SHALL CORRECT ANY DEFICIENCIES AND CLEAN T BASE COURSE PRIOR TO THE PLACEMENT OF THE PRIME COAT. COAT WILL ALSO BE REQUIRED IF THE ENGINEER FINDS THAT THE PRIMED BASE HAS BECOME EXCESSIVELY DIRTY OR THE PRIME COAT HAS CURED TO THE EXTENT OF LOSING BOUNDING EFFECT PRIOR TO PLACEMENT OF THE ASPHALTIC CONCRETE SURFACE COURSE. THE PRIME AND TACK COATS SHALL BE IN ACCORDANCE
- 5. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO EQUAL LIFTS. 6. ASPHALT EDGES THAT ARE NOT CURBED SHALL BE SAWCUT

WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.

- PROVIDE A STRAIGHT EVEN LINE TO THE DIMENSIONS SHOWN ON THE HORIZONTAL CONTROL PLAN. E. CONSTRUCTION
- 1. CONCRETE SIDEWALK SHALL BE 4" THICK ON COMPACTED SUBGRADE, 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75' CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL BE 3" HIGHER THAN THE EDGE D PAVEMENT, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT C DRIVEWAYS SHALL BE 6" THICK AND HAVE A MINIMUM OF 3000 P. S. I. CONCRETE.
- 2. CONCRETE CURB SHALL BE CONSTRUCTED TO THE LIMITS SHOWN OF THE PLANS, THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS AND SHALL BE IN ACCURDANCE WITH SECTION 345 OF THE STANDARD SPECIFICATIONS.

F. SIGNAGE AND PAVEMENT MARKINGS

- 1. THE ROADS AND PARKING AREAS SHALL BE STRIPED IN ACCORDANCE THE PLANS, NO STRIPE SHALL BE LESS THAN THE SPECIFIED WIDTH NOR SHALL IT EXCEED THE SPECIFIED WIDTH BY MORE THAN 1/2 INCH. STRIPING SHALL BE IN ACCORDANCE WITH SECTIONS 710 AND 971 OF THE STANDARD SPECIFICATIONS. ALL STRIPPING WITHIN THE PUBLIC RIGHT-OF-WAY AND AT DRIVEWAY ACCESS PDINTS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH THE
- 2. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN ADEQUATE TRAFFIC CONTROL DEVICES WARNING DEVICES AND BARRIERS FOR THE PURPOSE OF PROTECTING HE TRAVELING PUBLIC, HIS WORKMEN AND THE WORK AREA GENERAL. SUCH TRAFFIC CONTROL SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT PERIOD, INCLUDING ANY TEMPORARY SUSPENSIONS OF THE WORK, MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH SECTION 102 OF THE STANDARD SPECIFICATIONS AND THE STATE OF FLORIDA, MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS.
- 3, ALL PAVEMENT MARKINGS ON-SITE SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- SIGNING AND MARKINGS SHALL CONFORM TO MUTCD AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST EDITION). G. SEWER SYSTEM NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL UTILITY DEPARTMENT MINIMUM STANDARDS AND

- CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING SEWER LINES, MANHOLES, STUBBUTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE FIELD INFORMATION DIFFERS FROM THAT SHOWN ON THE PLANS.
- 3. ALL GRAVITY SEWER PIPE 4" & LARGER SHALL BE POLYVINYL CHLORIDE (PVC) ASTM 3034, SDR 35 FOR THE ON-SITE SANITARY AWWA C-900 PVC OFF-SITE SHALL BE USED IN THE CITY R. D. W.
- 4. MINIMUM SLOPE SHALL BE 0.4% FOR 8" PIPE AND 1% FOR 6" SERVICE LATERALS. 5. DUCTILE IRON SEWER PIPE FOR GRAVITY MAINS SHALL BE CLASS 350
- POLYLINED WITH A MINIMUM OF 30" OF COVER. 6. PVC LINES ENTERING OR LEAVING MANHOLES SHALL HAVE A NEOPREME BOOT WITH STAINLESS STEEL ACCESSORIES.
- 7. CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE 8. CLEANDUTS SHALL BE INSTALLED AT ALL SEWER SERVICES
- EXCEEDING 75' IN LENGTH (EVERY 75') WITH A CLEANDUT AT TH PROPERTY LINE, EASEMENT LINE, DR 5' FROM A BUILDING. TH CONTRACTOR SHALL COORDINATE THE LOCATION OF CLEANDUT (5' FROM THE BUILDING) AND ELEVATION OF THE END OF THE SEWER SERVICE WITH THE BUILDING PLUMBING CONTRACTOR. 9. LIMITS OF INFILTRATION OR EXFILTRATION OR LEAKAGE FOR
- ENTIRE SYSTEM, INCLUDING SERVICE LINES, SHALL NOT EXCEED RATE OF 0, 1 GALLONS PER FOOT PER 24 HOURS FOR ALL SIZES O THROUGHOUT THE SYSTEM. THE ALLOWABLE LIMITS INFILTRATION OR EXFILTRATION OF MANHOLES SHALL NOT EXCEED A RATE OF 4 GALLONS PER MANHOLE PER 24 HOURS. 10. ALL SEWER MAINS AND SERVICES, UP TO AND INCLUDING THE END
- 15' UTILITY EASEMENT, UNLESS OTHERWISE SHOWN. 11. THE ENTIRE SYSTEM SHALL BE CLEANED PRIOR TO LAMPING OF THE LINES. 12" SANITARY SEWER MUST BE TELEVISED @ CONTRACTORS EXPENSE. ALL DEFICIENTCIES OBSERVED ON THE VIDEO TAPES SHALL

OF THE SERVICE, SHALL BE CONSTRUCTED WITHIN A MINIMUM OF A

12. PROVIDE DRANGE RPM @ CENTERLINE OF ROAD OF NEAREST DRIVING LANE FOR MANHOLES LOCATED IN GREEN AREAS.

BE CORRECTED PRIOR TO CITY CERTIFICATION TO ANY AGENCY.

13. FORCE MAIN TESTING

H. WATER NOTES

- A. ALL PIPE SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER ANSI/AWWA SPECIFICATIONS OF C-600-05 LEAKAGE FORMULA:
- L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S = TOTAL LENGTH OF PIPE TESTED, FEET. (2000 MAX. PER TEST)
 D = DIAMETER OF THE PIPE TESTED, INCHES. P = AVERAGE TEST PRESSURE, PSI. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF

THE CITY AND THE ENGINEER OF RECORD. PRESSURE DROP OF MORE THAN 5 PSI IS NOT ALLOWED. REPUMPING OF MAIN IS NOT ALLOWED. MAXIMUM LENGTH OF TEST PIPE SECTION SHALL BE 2,000 FEET

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE

2. ALL POTABLE WATER PIPE 4" AND LARGER SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE CONFORMING TO AWWA C-900-97 PVC-1120, SDR-18 DR DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C-151/A21.51--02 AND LINED AND COATED PER ANSI/AWWA C-104/A21.4-03.4" DIP SHALL DE CLASS 350, 6" AND 8" DIP SHALL BE CLASS 350, AND 10" DIP SHALL BE CLASS 350, MINIMUM DEPTH OF COVER IS 36" FOR PVC AND 30" FOR DIP. ALL PIPE TO HAVE 150 PSI MINIMUM PRESSURE RATING. FITTINGS 4' AND LARGER SHALL BE DUCTILE IRON MEETING ANSI/AWWA C-110/A21.10-03. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER C-104/A21. 4-03 PRESSURE RATING OF ALL FITTINGS SHALL BE 350 PSI. ALL WATER MAIN PIPES WITHIN THE

WITH THE LOCAL UTILITY DEPARTMENT MINIMUM STANDARDS AND

AND PRESSURE TESTED @ 200 PSI FOR 2 HRS. 3. ALL WATER PIPE SMALLER THAN 4 INCHES SHALL BE PVC MINIMUM SCHEDULE 80 WITH A MINIMUM WORKING PRESSURE OF 160 PSI. FITTINGS FOR PIPE SMALLER THAN 4' SHALL BE MINIMUM SCHEDULE SOLVENT WELD SOCKET TYPE ASTM D-2464 OR MINIMUM

SCHEDULE 80 THREADED TYPE ASTM D-2464.

CITIES RIGHT-DF-WAY OR EASEMENT SHALL BE DUCTILE IRON PIP

CLASS 350. ALL FIRE MAINS SHALL BE DIP OR PVC C-900 (SDR-14)

- 4. THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN RUN AND THE SYSTEM ACCEPTED BY THE CITY AND THE COUNTY HEALTH
- 5. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY UTILITY DEPARTMENT.
- 6. WATER METERS 2" OR SMALLER SHALL BE INSTALLED BY THE CITY. THE CONTRACTOR SHALL COORDINATE WITH THE CITY UTILITY DEPARTMENT AND PROVIDE THE PROPER FITTINGS NECESSARY TO INSTALL THE METERS. ALL COSTS ASSOCIATED WITH THE METER INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7. GATE VALVES, 4" DR LARGER, SHALL MEET AWWA C-509-01 STANDARD. BUTTERFLY VALVES, 16" DR LARGER, SHALL MEET AWWA 8. FIRE HYDRANTS SHALL BE TRAFFIC BREAK AWAY TYPE CONFORMING TO AWWA C-502-94 STANDARDS. FIRE HYDRANTS SHALL BE MUELLER
- MODEL A-423 OR CLOW MEDALLION 2546-5B 9. ALL TRENCHING, PIPE LAYING, BACKFILLING. PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH AWWA C-600-99 AND C-651-
- WITH OTHER UTILITIES. ALLOWABLE DEFLECTION SHALL NOT EXCEED 11. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND ELEVATION OF THE ENDS OF THE WATER SERVICES WITH THE BUILDING

10. DEFLECT WATER MAINS AS NECESSARY TO AVOID ANY CONFLICTS

12. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING WATER MAINS AND PROPOSED CONNECTION POINTS. THE CONTRACTOR SHALL

NOTIFY THE ENGINEER IF THE FIELD INFORMATION DIFFERS FROM

- THAT SHOWN ON THE PLANS. 13. ALL WATER MAINS TO BE FLUSHED VIA POLY PIG.
- 14. THE CONTRACTOR MUST ARRANGE AND PAY FOR ANY TEMPORARY WATER REQUIRED FOR CONSTRUCTION, CLEANING, TESTING, ETC...

18. TESTING

- A. ALL PIPE SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI (200 PSI FOR FIRE MAIN) FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER ANSI/AWWA SPECIFICATIONS OF C-600-05 LEAKAGE FORMULA:
- L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR. = TOTAL LENGTH OF PIPE TESTED, FEET. (2000 MAX. PER TEST) = DIAMETER OF THE PIPE TESTED, INCHES. P = AVERAGE TEST PRESSURE, PSI.THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF
- THE CITY AND THE ENGINEER OF RECORD. PRESSURE DROP OF MORE THAN 5 PSI IS NOT ALLOWED. REPUMPING OF MAIN IS NOT ALLOWED. MAXIMUM LENGTH OF TEST PIPE SECTION SHALL BE 2,000 FEET. B. DISINFECTION OF ALL WATER LINES SHALL COMPLY WITH ANSI/AWWA C-651-05. BACTERIOLOGICAL SAMPLING POINTS ARE SHOWN ON THE WATER AND SEWER PLAN A CHLORINE RESIDUAL OF .3 TO 1.5 PPM

SHALL BE MAINTAINED. ALL STERILIZATION SHALL BE AT THE FULL

- EXPENSE OF THE CONTRACTOR, BACTERIOLOGICAL SAMPLES MUST BE APPROVED BY THE COUNTY PUBLIC HEALTH UNIT AND THE CITY PRIOR TO OPERATION OF THE SYSTEM. 16. ALL PVC PIPE SHALL BE INSTALLED WITH METALLIC LOCATOR TAPE
- 18' ABOVE THE TOP OF PIPE. 17. BACK FLOW PREVENTORS MUST BE APPROVED BY THE CITY AS TO TYPE AND LOCATION PRIOR TO INSTALLATION.
- 18. "ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER A CONSTRUCTION PERMIT FOR WHICH HEALTH DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLIDWALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO WALL PIPE. DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS
 STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE
 LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER
 INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO
 STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS
 PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER. TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS LONG THE TOP OF THE PIPE. ABOVEGROUND PIPE AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED IN ACCORDANCE WITH SUBSECTION 62-555. 320(10), F. A. C., AND ALL OTHER ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE. 62-555.320(10), F.A.C. READS AS FOLLOWS: "COLOR CODING OF PIPES AT DRINKING WATER TREATMENT PLANTS: ALL NEW OR ALTERED, ABOVEGROUND PIPING AT DRINKING WATER TREATMENT PLANTS SHALL BE COLOR CODED AND LABELED AS RECOMMENDED IN SECTION 2.14 OF RECOMMENDED STANDARDS FOR WATER WORKS AS INCORPORATED INTO RULE 62-555.330, F.A.C. IN ADDITION, 4 UNDERGROUND WATER MAIN PIPE THAT IS INSTALLED AT DRINKING WATER TREATMENT PLANTS ON OR AFTER AUGUST 28, 2003, AND THAT IS CONVEYING FINISHED DRINKING WATER SHALL BE COLOR CODED AS REQUIRED UNDER SUBPARAGRAPH 62-555.320(21)(B)3.. F.A.O HIS SUBSECTION DOES NOT APPLY TO DRINKING WATER TREATMENT PLANT PIPING INSTALLED OR ALTERED UNDER A CONSTRUCTION

III. SPECIFIC SITE NOTES

1. "CITY" IN THESE NOTES REFERS TO THE CITY OF HALLANDALE BEACH. "COUNTY" IN THESE NOTES REFERS TO BROWARD COUNTY. 3. "STATE" IN THESE NOTES REFERS TO THE STATE OF FLORIDA.

PERMIT FOR WHICH THE DEPARTMENT RECEIVED A COMPLETE

IIII. INTENT OF DRAWINGS & SPECIFACTIONS

APPLICATION BEFORE AUGUST 28, 2003. "

- 1. INTENT OF SPECIFICATIONS AND DRAWINGS IS TO COVER AN INSTALLATION COMPLETE IN EVERY ASPECT. IT IS NOT INTENDED TO GIVE EVERY DETAIL ON DRAWINGS AND SPECIFICATIONS, OWNER WILL NOT BE RESPONSIBLE FOR ABSENCE OF ANY DETAIL WHICH CONTRACTOR MAY REQUIRE. NOR FOR ANY SPECIAL CONSTRUCTION WHICH MAY BE FOUND NECESSARY AS WORK PROGRESSES. IF AN ITEM IS EITHER INDICATED OR SPECIFIED, IT SHALL BE CONSIDERED SUFFICIENT FOR INCLUSION OF SAID ITEM IN CONTRACT. CONTRACTOR SHALL FURNISH AND INSTALL MATERIALS AND EQUIPMENT USUALLY FURNISHED WITH SUCH SYSTEMS, AND AS NEEDED TO COMPLETE AN OPERATING INSTALLATION, WHETHER MENTIONED OR NOT, WHICH ARE CUSTOMARY TO ITS
- 2 INCIDENTAL ACCESSORIES NOT USUALLY SHOWN OR SPECIFIED BUT WHICH ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION SHALL BE INCLUDED IN WORK WITHOUT ADDITIONAL COST TO THE OWNER, THE SAME AS
- MENTIONED IN THE SPECIFICATIONS, OR VICE-VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY FOR OPERATION, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER. 4. DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF

SYSTEMS AND WORK INDICATED (DO NOT SCALE THE DRAWINGS). CONSULT THE

3. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON BUT

- ENGINEER FOR EXACT LOCATIONS OF ITEMS WHICH ARE NOT DEFINITELY LOCATED ON THE DRAWINGS. 5. ENGINEER'S INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SHALL BE
- FINAL AND BINDING UPON CONTRACTOR. 6. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID, AND THOROUGHLY INVESTIGATE AND VERIFY ALL CONDITIONS UNDER SHICH WORK SHALL BE

THE CONSTRUCTED PROJECT.

7. IF A DISCREPANCY OCCURS BETWEEN A DETAIL, PLAN OR SPECIFICAITONS, THE

MOST RESTRICTIVE DETAIL TAKES PRECEDENCE & SHALL BE IMPLEMENTED IN

- BROWARD COUNTY TRAFFIC ENGINEERING **COMMUNICATION NOTES:**
- ALL PARTIES SHALL BE AWARE THAT DIRECTIONAL BORES, UTILITY CONNECTIONS, THE PLACEMENT OF MOT AND ADVANCE SIGNAGE MAY, BY THEIR PLACEMENT, DAMAGE/DESTROY THE COMMUNICATIONS CABLE/CONDUIT LOCATED INSIDE/OUTSIDE THE PROJECT AREA. ADDITIONALLY, CURB/GUTTER/SIDEWALK REMOVAL/PLACEMENT, RELOCATION OF TREES, LANDSCAPING ACTIVITIES AND IRRIGATION ACTIVITIES ARE POTENTIAL CAUSES FOR DAMAGE TO BCTED'S COMMUNICATIONS CABLE/CONDUIT. ALL PARTIES SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY TO THE COMMUNICATIONS CABLE/CONDUIT. ANY WORK, INCIDENTAL TO THE PROJECT WHICH DAMAGES OR IMPACTS THE COMMUNICATIONS CABLE/CONDUIT SHALL BE SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED WITHIN THE PLAN SET UNDER "COMMUNICATION NOTES" AND BCTED'S "STANDARDS AND SPECIFICATIONS -COMMUNICATION INFRASTRUCTURE" DOCUMENT.
- THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED). ALL SYSTEM COMMUNICATIONS EQUIPMENT, CABLING AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF MINIMUM STANDARDS AS EXPRESSED IN THE "STANDARDS AND SPECIFICATIONS - COMMUNICATION INFRASTRUCTURE" DOCUMENT. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS AND SPECIFICATIONS. FOR A COPY OF THESE STANDARDS REFER TO THE BROWARD COUNTY WEB SITE AT WWW.BROWARD.ORG/TRAFFIC OR CONTACT ROBERT BLOUNT, COMMUNICATIONS MANAGER AT RBLOUNT@BROWARD.ORG.

THE CONTRACTOR SHALL MAINTAIN ONLINE COMMUNICATIONS OF EXISTING OR TEMPORARY SIGNALIZATION VIA INTERCONNECT COMMUNICATIONS CABLE OR TELCO PHONE LINES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY LINES AND CONNECTIONS AS NECESSARY. A TIME-BASED-COORDINATION (TBC) SYSTEM IS TO BE UTILIZED ONLY IF PROVISION OF THE TEMPORARY LINES AND CONNECTIONS AS NECESSARY. A TIME-BASED-COORDINATION (TBC) SYSTEM IS TO BE UTILIZED ONLY IF PROVISION OF THE TEMPORARY LINES IS NOT FEASIBLE. THE DEVELOPMENT AND IMPLEMENTATION OF THE TBC PROGRAM IS TO BE PERFORMED BY THE CONTRACTOR WITH OVERSIGHT BY A TRAFFIC ENGINEER REGISTERED IN THE STATES OF FLORIDA. COST OF MAINTAINING COMMUNICATIONS WITH THE CENTRAL SITE, INCLUDING TEMPORARY LINES AND CONNECTIONS, SHALL BE PAID FOR UNDER THE MAINTENANCE OF TRAFFIC. ALL REPORTED MALFUNCTIONS OF THE COMMUNICATIONS SYSTEM SHALL BE RESPONDED TO BY THE CONTRACTOR WITHIN TWO HOURS AND SHALL BE REPAIRED WITHIN TWENTY-FOUR HOURS.

THE CONTRACTOR SHALL BE AWARE THAT BELLSOUTH TELEPHONE DROPS AND SYSTEM COMMUNICATIONS INTERCONNECT MAY EXTEND THROUGHOUT THE PROJECT. CABLE RUNS AND/OR CONDUIT. TELEPHONE INTERFACE EQUIPMENT. PULL/JUNCTION BOXES AND ANY OTHER SIGNAL OR OTHER SYSTEMS EQUIPMENT DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. DAMAGED COMMUNICATIONS CABLE SHALL BE REPLACED AS AN ENTIRE RUN, FROM JUNCTION POINT TO JUNCTION POINT AND SHALL BE TERMINATED IN JUNCTION BOXES. THE CONTRACTOR SHALL OBTAIN SYSTEMS COMMUNICATIONS INFORMATION FROM THE APPLICABLE MAINTAINING AGENCY.

ANY MATERIAL FURNISHED FOR THE PURPOSES OF: NEW INSTALLATION, REPLACEMENT OR REPAIR OF THE EXISTING COMMUNICATIONS INFRASTRUCTURE SHALL MEET THE STANDARDS AND SPECIFICATIONS OF BCTED; ANY SUPPLIED CONTROLLER CABINET. CONTROLLER. TELEMETRY UNIT. COMMUNICATIONS CABLE PULL BOX. CONDUIT. TERMINATION DEVICE. JUNCTION BOX AND COMMUNICATIONS INTERFACE PANEL SHALL COMPLY WITH THE LATEST REQUIREMENTS AS STATED BY BCTED AND SHALL PROVIDE FOR FULL FUNCTIONALLY WITH THE EXISTING BCTED'S UTCS OPERATION.

PROCEDURE FOR NOTIFICATION OF COMMUNICATION DISRUPTION:

WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE AN ADVANCE TWO-DAY NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC MAIL (EMAIL) TO THE COMMUNICATION'S MANAGER AT RBLOUNT@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION SHALL LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE AT OFF PEAK HOURS BEGINNING AT 9:00AM AND ENDING AT 3:00PM.

ALL BCTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED A MINIMUM OF 48 HOURS IN ADVANCE.

CENS No 56159 STATE OF ZORIDA.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DENNIS R. SHULTZ, P.E. ON Aug 08, 2025

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

NOT ECIFICA

Revisions

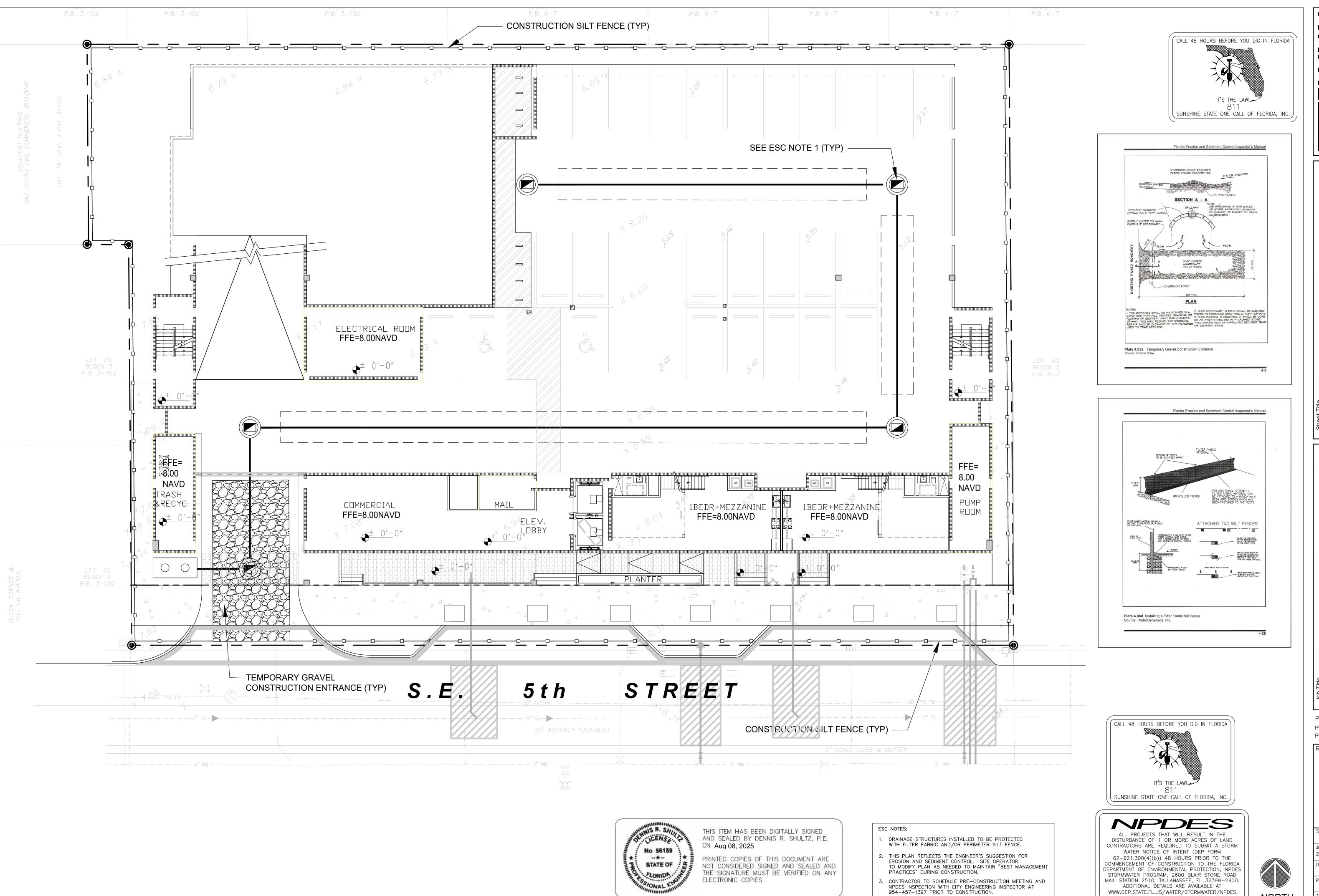
Phase:

PLANS

PERMITTING

NTS 08/08/2 Plot Date 23-1762.00 | 08/08/2 Drawn by Proj. Engr. DRS

Appr. by DRS



Phase: PERMITTING

PLANS

Revisions

1"=20.0' 08/08/23 Plot Date 23-1762.01 08/08/23 Sheet No.

7 of 7

Drawn by AJS Proj. Engr. DRS Appr. by

DRS

NORTH

ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES





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NET DESCRIPTION	REV	DATE	DESCRIPTION	
	KLY	DATE	DESCRIPTION	

DESIGN SCHEMATIC DELIVERABLE: **DRAWINGS** ISSUE DATE: 10/01/2024

PROJECT NUMBER: 1729-230311

DRAWN BY: nbb CHECKED BY: nbb

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LANDSCAPE

NOTES

LANDSCAPE GENERAL NOTES

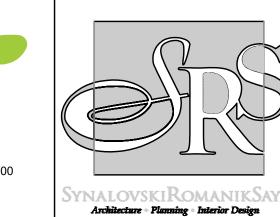
- 1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- 2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK
- 3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS". CURRENT EDITION RESPECTIVELY.
- 4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- 5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (I YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.

8. ALL TREES TO HAVE A 2 ½" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.

- 6. ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID, UNLESS OTHERWISE NOTED.
- 7. ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH/ FLORIMULCH, & SHALL BE A MIN. OF 1'- 0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)
- 9. ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
- 10. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS. TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
- 11. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- 12. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- 13. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- 14. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- 15. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- 16. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- 17. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- 18. THE LANDSCAPE CONTRACTOR SHALL LAY OUT THEIR WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- 19. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- 20. PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS), OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD), HVY (INDICATED HEAVY), MIN (INDICATES MINIMUM).
- 21. SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- 22. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- 23. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS NO DEEPER THAN THE FINAL GRADE SURROUNDING THE PLANTING AREA.
- 24. DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST
- 25. COMMERCIAL FERTILIZER FOR TREES, SHRUBS AND GROUND COVER COMMERCIAL FERTILIZER SHALL BE NUTRI PAK® 3 YR. TIME RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT-ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED NUTRI PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES EG. TREES, SHRUBS, FLOWERING PLANTS, POTTED PLANTS AND PALMS. NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES ON CENTER. PERENNIALS: PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS: MATURE PLANTINGS: TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION, TAP HOLE CLOSED WITH HEEL OF YOUR FOOT. SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD. GENERAL SLOW-RELEASE FERTILIZERS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS SUCH AS A 13-0-13 LOW PHOSPHORUS SHALL MEAN 2% OR LESS. APPLICATION RATES SHALL BE ADHERED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.
- 26. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRLAMIDE COLOLYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES IT'S WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:
 - 1 PAC PER TREE 36" BALL SIZE
 - 2 PAC PER TREE -OVER 36" BALL SIZE

 - 0.5 PACS PER 7-10 GAL. CONTAINER
 - 0.25 PACS PER 3 GAL. CONTAINER 0.12 PACS PER 1GAL. CONTAINER
- 27. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY
- DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER. 28. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE. PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
- 29. WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER
- 30. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
- 31. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
- 32. MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS. SHALL BE REPAIRED PROMPTLY
- 33. (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES) TIE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION
- 34. MULCH. MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE-INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT
- 35. GRASS. AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PALMETTO AND SHALL BE IRRIGATED
- 36. EXCAVATION REQUIREMENT: REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW THE TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL. A MIN 2" OF TOPSOIL SHALL BE INSTALLED BELOW ALL SODDED AREAS.
- 37. A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSCAPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
- 38. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURAL ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
- MINIMUM SOIL DEPTH: REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
- ROOTBALL SOIL: REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
- NATIVE SOIL: REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.
- ARID PALMS: REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
- 39. USE OF ORGANIC MULCHES: A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL, AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
- 40. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
- 41. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS: ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS-OF WAY.
- 42. SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
- 43. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE No. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PROCEEDING IS ACHIEVED





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PLEASE SEE ARBORIST REPORT FOR THREE TREES (#1, 3,5) TREES ARE NOT SPECIMEN PER DEFINITION AND CONDITION RATING.

CANOPY REPLACEMENT

AREA (SF)

1256

700

1256

700

1256

700

700

700

700

315

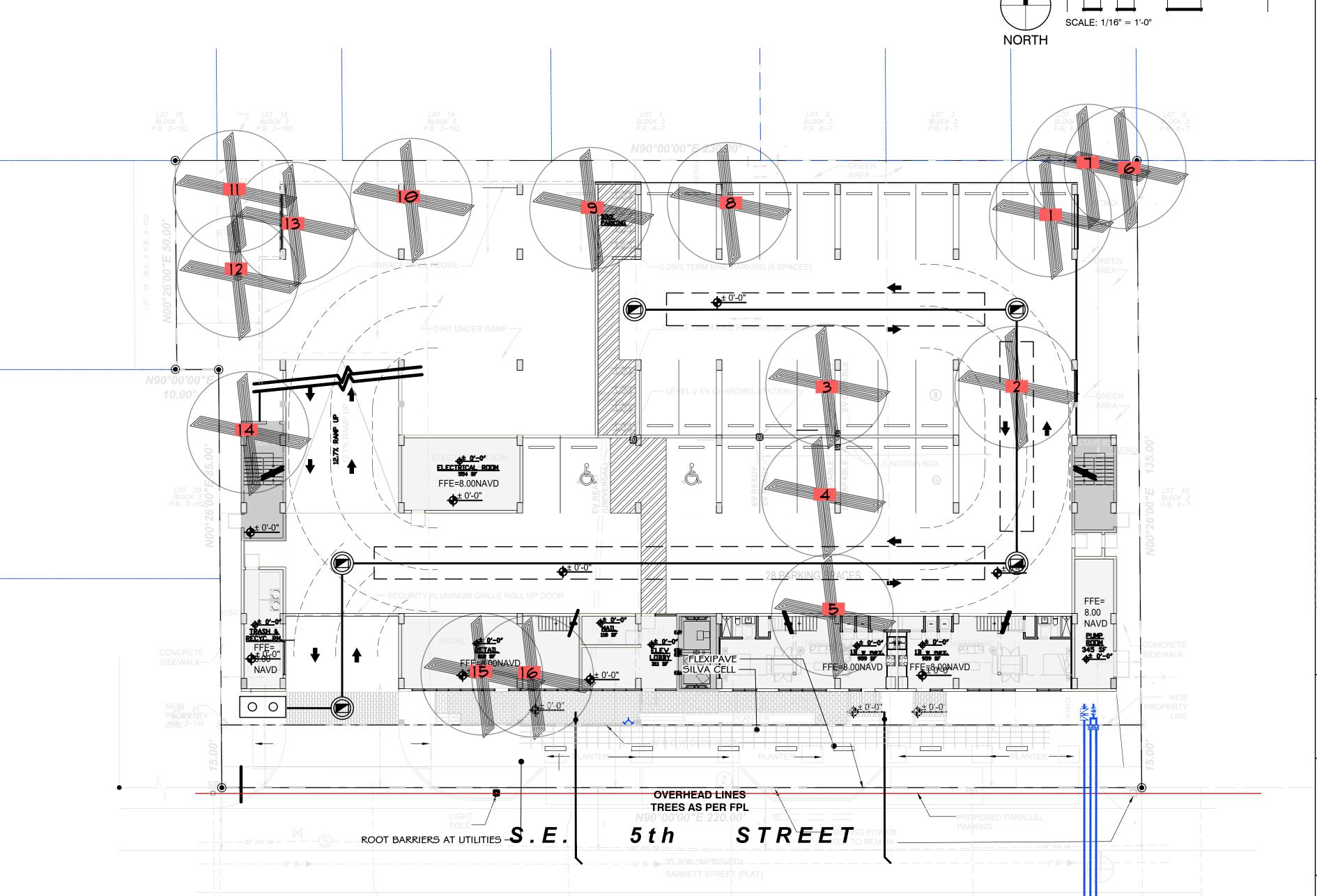
315

315

315

9228

10 shade tree



SPREAD

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40

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35

20

20

20

25

HEIGHT

40

22

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CONDITION

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COCONUT

SCHEFFLERA

FOXTAIL PALM

FOXTAIL PALM

FICUS BENJAMINA

FICUS BENJAMINA

BOTANICAL

Delonix regia

Delonix regia

Delonix regia

Cocos nucifera

Cocos nucifera

Cocos nucifera

11 Cocos nucifera

Mangifera indica

Azadirachta indica

Cupaniopsis anacardioides

Cupaniopsis anacardioides

Schefflera actinophylla

Wodyetia bifurcata

Wodyetia bifurcata

Ficus benjamina

Ficus benjamina

PARK CENTRAL ANDALE

REV DATE DESCRIPTION DESIGN SCHEMATIC DELIVERABLE: **DRAWINGS** ISSUE DATE: 10/01/2024

PROJECT NUMBER: 1729-230311

DRAWN BY: nbb CHECKED BY: nbb

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SHEET TITLE:

TREE **DISPOSITION**

L-1.0

Plant Sche	dule									
Trees On-site	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Note	# of Tree Credits
CD	4	Coccoloba diversifolia	Pigeon Plum	3 IN	FL#1 OR BETTER	15` STD	Х	Х		4
CE	9	Conocarpus erectus	Green Buttonwood	3 IN	FL#1 OR BETTER	16` h x 6-8` w, 5` CT	Χ	X		9
CS2	12	Conocarpus erectus `Sericeus`	Silver Buttonwood	2 IN	FL#1 OR BETTER	15` STD	Χ	X		12
LIA	2	Lagerstroemia indica	Crape Myrtle	3 IN	FL#1 OR BETTER	15` STD	X			2
Street Trees (Off	-site)									
CS2	4	Conocarpus erectus `Sericeus`	Silver Buttonwood	2 IN	FL#1 OR BETTER	15` STD	Х	Х	Fl-Friendly, FPL	4
LIA	3	Lagerstroemia indica	Crape Myrtle	3 IN	FL#1 OR BETTER	15` STD	Χ		FI-Friendly, FPL	3
Palms On-site	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Note	
Street Palms (Off	-site)									
Shrubs	Qty	Botanical name	Common Name	Size	Quality	Height at planting	Drought	Native	Note	Maintain
AD	16	Alternanthera dentata	Little Ruby	3gal	FL#1 or BETTER	6"	Χ		10" o.c.	12" x 18"
CH	98	Chrysobalanus icaco	Cocoplum	3gal	FL#1 or BETTER	24" x 24"		X	30" o.c.	20` x 20`
CG	193	Clusia guttifera	Small leaf Clusia	7gal	FL#1 or BETTER	30" x 30"	Χ	X	30" o.c.	Maintain as hedge
DE	11	Duranta erecta `Gold Mound`	Duranta	3gal	FL#1 or BETTER	16" x 16"	Χ	X	20" o.c.	Maintained 30"
EL	116	Ernodea littoralis	Golden Creeper	1 gal	FL#1 or BETTER	14"x14"	Χ	X	18" o.c.	18" x 18"
MC	6	Muhlenbergia capillaris	Pink Muhly	1 gal	FL#1 or BETTER	12" X 12"	Χ	X	24" o.c.	2-4` H
NE	281	Nephrolepis exalta	Boston Fern	3gal	FL#1 or BETTER	18" x 18"		X	30" o.c.	4`-6`
NO	28	Nerium oleander `Dwarf`	Dwarf Oleander	3gal	FL#1 or BETTER	24" x 24"	Χ		30" o.c.	4`-6`
Shrubs (Off-site)										
EL	197	Ernodea littoralis	Golden Creeper	1 gal	FL#1 or BETTER	14"x14"	X	X	18" o.c.	terminal hgt 18 inches
Ground Cover	Qty SqFt	Botanical name	Common Name							
SOD										
Ground Covert	f-site)									
Ground Cover(Of	,									

LANDSCAPE INSTALLATION AND MAINTENANCE. 3" OF CLEAN MULCH SHALL BE INSTALLED AROUND ALL NEW AND EXISTING TREES, PALMS AND THROUGHOUT PLANTING BEDS; MULCHED AREAS AROUND TREES SHALL HAVE A MINIMUM OF 4' RADIUS; MULCH SHALL BE KEPT 3" AWAY FROM THE TRUNKS AND STEMS OF PLANTS. PLEASE DO NOT USE CYPRESS OR RED MULCH (EUCALYPTUS, MELALEUCA, OR RECYCLED MULCH IS ACCEPTABLE).

ALL EXISTING PLANTING BEDS, PALMS, AND TREES ON THE PROPERTY SHALL BE FERTILIZED THREE TO FOUR TIMES PER YEAR. GENERAL USE FERTILIZER WITH AN ANALYSIS OF 8-2-12 OR A PALM SPECIAL/ORNAMENTAL TREE FERTILIZER WITH AN ANALYSIS OF 13-3-13 OR SIMILAR. FOLLOW MANUFACTURER RECOMMENDED RATES AND METHODS OF APPLICATION.

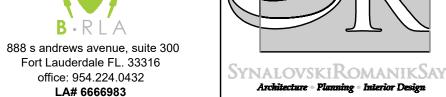
ALL PLANT MATERIAL WILL BE FLORIDA #1 OR BETTER.

PLANTING WILL MEET THE SPECIFICATION NOT CONTAINER SIZE.

ALL GROUND UTILITIES WILL BE SCREENED AT TIME OF PLANTING.

IRRIGATION WILL BE PROVIDED AT PERMIT PHASE ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY-OPERATING UNDERGROUND IRRIGATION SYSTEM; WITH A MINIMUM OF 100% COVERAGE, WITH 50% MINIMUM OVERLAP IN GROUND COVER AND SHRUB AREAS. THE RAIN SENSOR MUST BE INSTALLED AS WELL AS A RUST INHIBITOR IF APPLICABLE.





1800 Eller Drive, Suite 500 Fort Lauderdale, FL 33316 T 954.961.6806 F 954.961.6807

www.synalovski.com





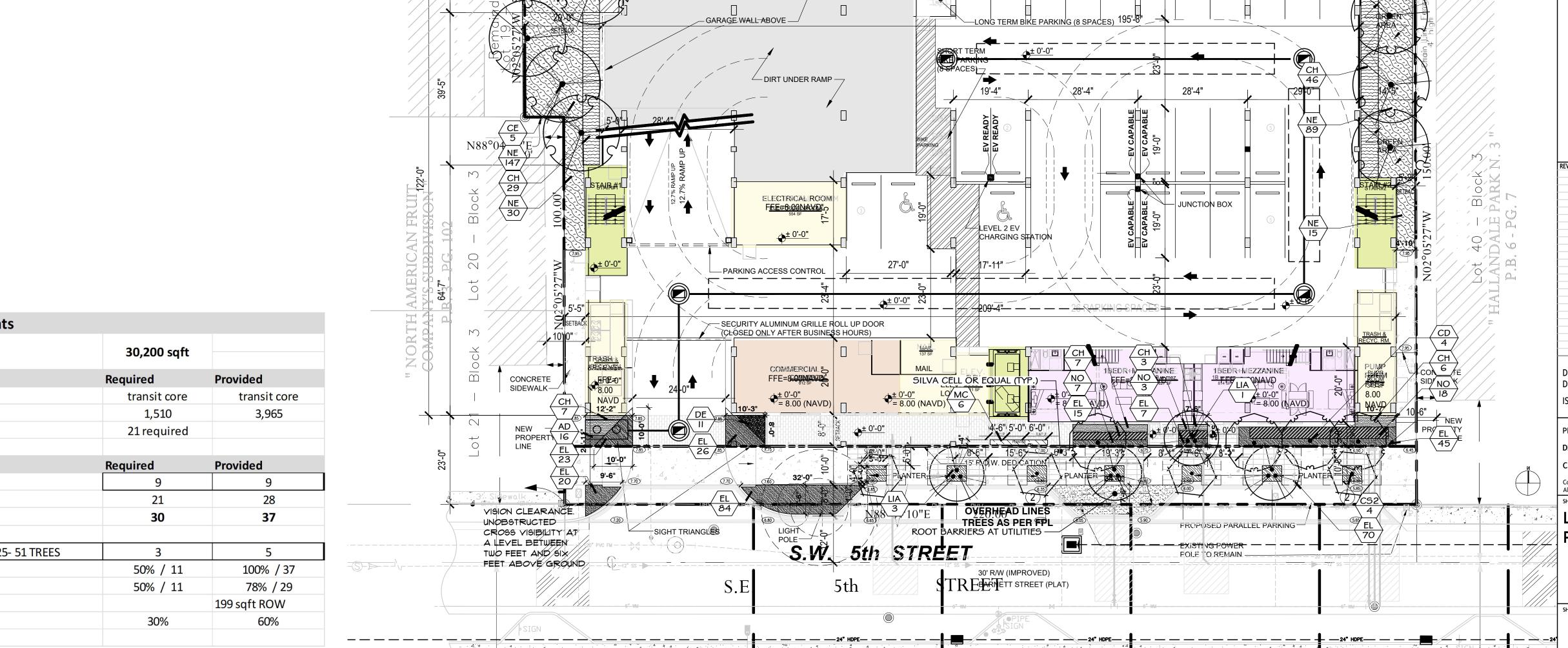
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ISSUE DATE: 10/01/2024

PROJECT NUMBER: 1729-230311 DRAWN BY: nbb CHECKED BY: nbb Copyright (c) by SYNALOVSKI ROMANIK SAYE, LLC All Rights Reserved.

LANDSCAPE

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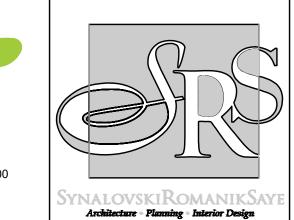


1.0.17 71 4. 104

| Lot 18 - Block 3

SITE AREA SubDistrict	30,200 sqft Required	
SubDistrict	Required	
SubDistrict		Provided
Subdistrict	transit core	transit cor
5 % of landscape	1,510	3,965
1 tree per 1500 sqft.	21 required	
Trees	Required	Provided
Street Trees	9	9
Site Trees	21	28
Total Site Trees (Site+street)	30	37
TREE DIVERSITY 25- 51 TREES	3	5
Drought tolerant trees	50% / 11	100% / 37
Native Trees	50% / 11	78% / 29
Turf Max	,	199 sqft ROW
Hedges/Plants Drought tolerant	30%	60%





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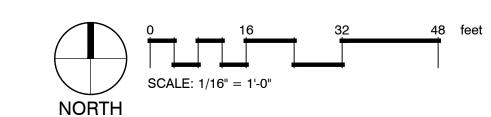
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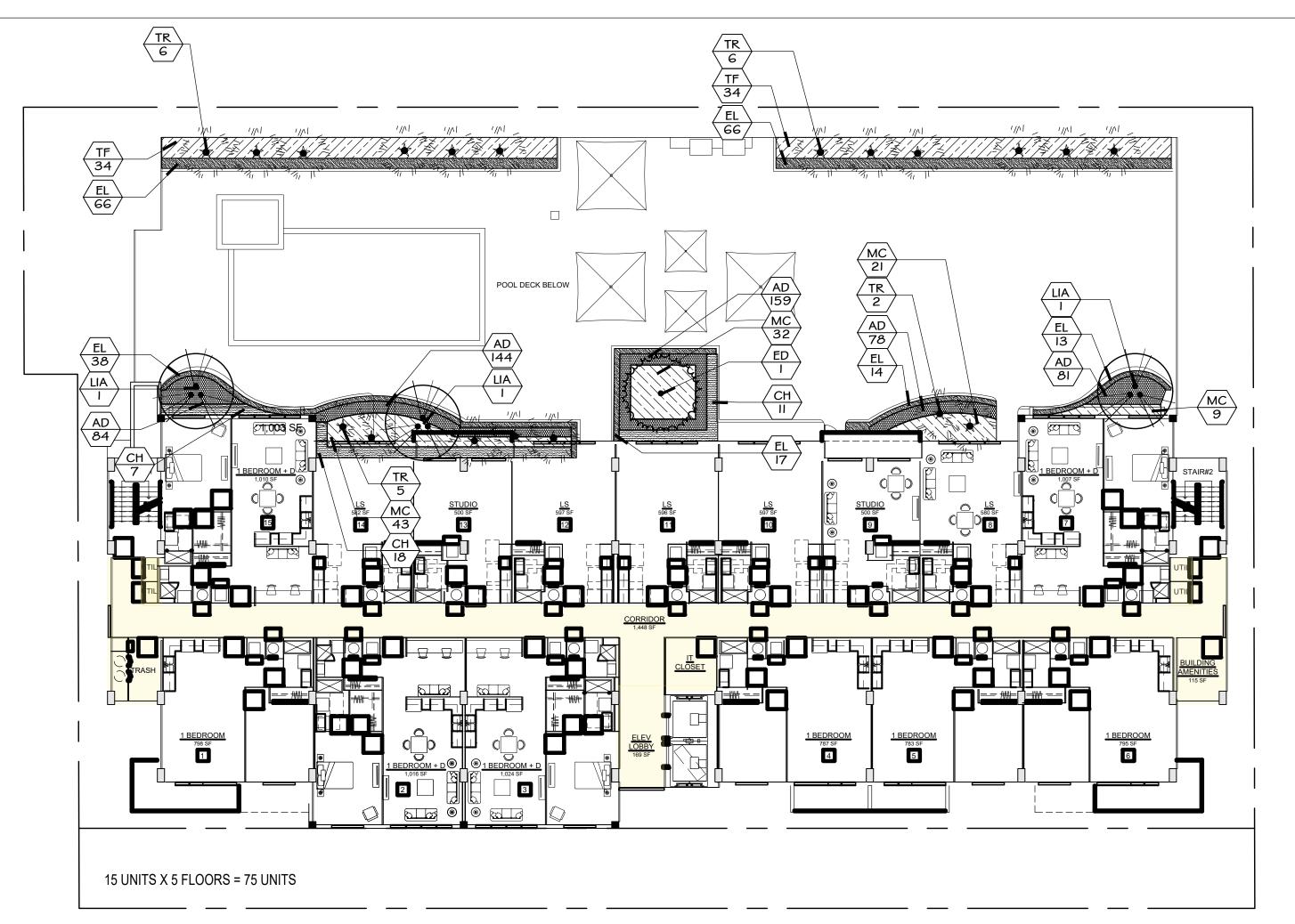
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OCTOBER 31, 2024

SRS A Zyscovich Company

PLAN

L3.0

LANDSCAPE

ROOF DECK

DESIGN SCHEMATIC DELIVERABLE: DRAWINGS

ISSUE DATE: 10/01/2024

PROJECT NUMBER: 1729-230311

of Tree Credits

Maintain

12" x 18"

20` x 20`

18" x 18"

2-4` H

2

Plant Schedule Roof Deck

ED

TR

AD

CH

TF

Palms ROOF

Shrubs ROOF

2 Elaeocarpus decipiens TM

Lagerstroemia indica

Qty Botanical name

19 Thrinax radiata

Qty Botanical name

214 Ernodea littoralis

546 Alternanthera dentata

36 Chrysobalanus icaco

105 Muhlenbergia capillaris

68 Tripsacum dactyloides

Common Name

Crape Myrtle

Common Name

Common Name

Golden Creeper

Little Ruby

Cocoplum

Pink Muhly

Fakahatchee

Japanese Blueberry

Florida Thatch Palm

Quality

Quality

Quality

FL #1 OR BETTER

FL#1 or BETTER

FL#1 or BETTER

FL#1 or BETTER

FL #1 OR BETTER 15` STD

FL #1 OR BETTER 15` STD

FL#1 or BETTER 24" x 24"

FL#1 or BETTER 24" x 24"

6"

14"x14"

12" X 12"

3 IN

3 IN

Cal

3 IN

Size

3gal

1 gal

| Height at planting | Drought | Native | Note

| Height at planting | Drought | Native | Note

Height at planting | Drought | Native | Note

X

X

X

X

10" o.c.

X 30" o.c.

X 18" o.c.

X 24" o.c.

X 36" o.c.