



August 25, 2025

Planning and Zoning
City of Hallandale Beach
400 South Federal Highway
Hallandale Beach, FL 33009

RE: Hallandale Central Park
113-125 SE 5th Street. Hallandale Beach, FL 33009.

As the Architect of record for the above referenced project, we are requesting approval from the City for Major Development, Variances, and Redevelopment Area Modifications.

The Owner of the property located north of SE 5th Street, and east of SE 1st Avenue is Hallandale Central Park, LLC. Said property is currently composed of 4 multi-family buildings with 11 existing units.

The Owner proposes to develop the property as an eight story multi-family residential building with commercial area on the ground floor to cater to both the City of Hallandale Beach Residents and Visitors.

The applicant is proposing 812 S.F. of commercial space, and 2 residential units (1-bedroom with mezzanine) on the ground floor; 13 residential units (4 1-bedroom + den, 4 1-bedroom, and 5 studio) with building amenities on the third floor; and 75 residential units on typical floors above (20 1-bedroom + den, 20 1-bedroom, and 35 studio); for a total of 90 residential units and a building gross floor area of 91,020 S.F. along with associated parking and landscaping to meet city and code regulations.

A proposed density of 120 du/ac including bonus units (83 units/ 0.6932 acres) is proposed as per the following density calculation:

Central RAC Transit Core Subdistrict:

0.69-acre x 50 units/acre (14 units with 500 SF x 0.5 = 7 units) + (27 units)	= 34 units
Bonus Units Proposed per Broward County Land Use Plan	= 49 units***
<hr/>	
Total units for density calculation	= 83 units
0.5 units with 500 SF not counted for density per sec. 32-194 (e) (1)	= 7 units
<hr/>	
	= 90 units**

** Requires a total of 14 "moderate" (120% AMI) units (15%) as per City of Hallandale Beach Zoning & Land Development Code Sec. 32-196 (d) (4) b.

*** Requires 7 "moderate" (120% AMI) units (1 moderate/ 6 bonus market rate) = 7 moderate/ 42 market rate as per Broward County Land Use Plan policy 2.16.3. These 7 "moderate" (120% AMI) units are included in the total 14 "moderate" (120% AMI) units described above. A City Commission approval is requested to utilize said Broward County Bonus units pursuant to County Policy 2.16.3 and to permit the proposed density to exceed the allowable

density of the Zoning District.

The property is currently zoned Transit Core Sub-district. The lot has an approximate area of 33,500 square feet (0.77 acres). The zoning and land use are both currently appropriate for the proposed development.

Should you have any questions regarding the above, do not hesitate to contact me.

Respectfully,



Jose Saye.
Manager/ Vice-President.

November 05, 2025

Planning and Zoning
City of Hallandale Beach
400 South Federal Highway
Hallandale Beach, FL 33009

RE: **Hallandale Central Park.**
113-125 SE. 5th Street. Hallandale Beach, FL 33009.

As the Architect of record for the above referenced project, we are requesting approval from the City for Major Development, Variances, and Redevelopment Area Modifications.

The new Development consists of a proposed Site Plan for an eight story Multi-Family Residential Building that caters to the City of Hallandale Beach Residents and Visitors. It includes a ground floor commercial use and a total of 90 residential units (Studios, and 1-bedrooms) along with associated parking and landscaping to meet City and code regulations.

Also, the new Development will be an asset to the City and the Community and will engage urban character consistent with the Master Plan for the Central Regional Activity Center.

The following are a list of requested Redevelopment Area Modifications and Variances:

Transit Core Sub-District RAM list:

1. Off-Street Parking Access and Access Ways.

Requirement: Section 32-453(i)(4) single or double loaded parking corridors in excess of four abutting parking spaces shall be designed to permit vehicle entry and exit in one continuous forward motion without using a vacant space to turn around. This shall be accomplished by either a direct connection to an adjacent corridor or by the inclusion of a cul-de-sac at the end of such corridor.

Modification: The 2nd floor double loaded south drive isle is proposed with a three-point turn at the end of the parking corridor.

Reason: Providing a cul-de-sac or a direct corridor connection on the proposed second floor of the structured parking garage would require additional square footage, impacting the structural efficiency and increasing construction costs. Given the constraints of the parking garage, a three-point turn provides a practical alternative that optimizes space utilization while maintaining maneuverability. The three-point turn design ensures that vehicles can safely and effectively exit the parking aisle without using a vacant space for turning, aligning with the intent of the code. Many structured parking garages utilize a similar three-point turn configuration in areas where a cul-de-sac or a direct corridor connection is impractical. This approach has been successfully implemented in other developments, demonstrating its effectiveness and compliance with overall safety and operational goals. Given the site constraints, structural feasibility, and demonstrated maneuverability, a three-point turn is a reasonable and functional alternative to a cul-de-sac or a direct corridor connection, warranting approval of this modification.

Transit Core Sub-District Variance list:

1. Primary Street Setback Requirements

Requirement: Table 32-196 (a): 10 ft. min./ 15 ft. max.

Modification: Proposed primary street setback has been reduced to 5.67 feet to the building and 3 feet to balconies.

1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the project is promoting new architecture along SE 5th Street right-of-way with significant neighborhood structural improvement efforts.
2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the setback variance provides parity for the proposed residential project.
4. The existing 10-foot min. street setback would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
5. The requested 5'-8" setback to the building and 3'-0" to balconies is the minimum necessary to achieve a practical and functional building footprint while maintaining compliance with other zoning regulations. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.

2. Street Setback Above 5th Story Requirements.

Requirement: Table 32-196 (a): 20 ft. min.

Modification: Proposed street setback above 5th story has been reduced to 8 feet to the building and 3 feet to balconies.

1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the project is promoting new architecture along SE 5th Street right-of-way with significant neighborhood structural improvement efforts.
2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the setback variance provides parity for the proposed residential project.
4. The existing 20-foot min. street setback above the 5th story would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
5. The requested 8'-0" setback to the building and 3'-0" to balconies is the minimum necessary to achieve a practical and functional building footprint while maintaining compliance with other zoning regulations. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.

3. Side Setback Above 5th Story Requirements.

Requirement: Table 32-196 (a): 30 ft. min.

Modification: Proposed side setback above 5th story has been reduced to 5'-5" feet on west side and 5'-2" feet on east side.

1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the project is promoting new architecture along SE 5th Street right-of-way with significant neighborhood structural improvement efforts.
2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the setback variance provides parity for the proposed residential project.
4. The existing 30-foot min. side setback above the 5th story would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
5. The requested 5'-5" and 5'-2" side setbacks are the minimum necessary to achieve a practical and functional building footprint while maintaining compliance with other zoning regulations. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.

4. Rear Setback Requirements.

Requirement: Table 32-196 (a): 10 ft. min.

Modification: Proposed rear setback has been reduced to 5'-0".

1. As to the land, the subject property has unique characteristics that are not generally applicable to other properties in the zoning district. Its adjacent to SE 5th Street right of way. This road is a local collector corridor that requires improvements and land dedication to satisfy the City's trafficways plan. Note the proposed 5'-0" building setback has its least height impact to the north adjacent property as the main building residential space has a 56'-2" setback along the subject property's property line to the north.
2. The need for the variance arises due to the inherent characteristics of the property, not due to any actions taken by the applicant. While the property is currently undeveloped, the constraints for required dedications necessitate the requested variance to allow for practical and functional development.
3. Approving the variance would not grant the applicant any special privilege beyond what is reasonably permitted in similar circumstances. Other properties with comparable constraints have similar setbacks, ensuring equitable treatment within the zoning district. Therefore, no special privilege is being requested. Specifically, the granting of the height variance provides parity for the proposed residential project.
4. The existing 10-foot min. rear setback would create unnecessary hardship by limiting the reasonable use of the property. This could result in reduced functional space, inefficient site design, or an inability to develop the property in a manner consistent with neighboring properties. said limit is an "unnecessary and undue hardship" for the applicant and the proposed residential project.
5. The requested 5-foot setback is the minimum necessary to allow for reasonable use of the property while still maintaining an appropriate buffer from adjacent residential areas. A greater setback reduction is not requested, ensuring that the variance is limited to what is essential.
6. The granted variance will be in harmony with the general intent and purpose of the code, which aims to balance development needs with neighborhood compatibility. The reduced setback maintains reasonable separation while allowing for efficient site utilization. Further, the use of landscaping, building screening and attractive architecture promotes the harmony with City regulations to encourage well-designed residential development along the SE 5th Street right of way.
7. The granting of the requested variance will add value to the neighboring properties. The proposed setback will not be injurious to the surrounding area or detrimental to public welfare. The design ensures that adequate buffering, landscaping, and screening measures will be in place to mitigate potential impacts on adjacent residential properties. Additionally, similar setbacks may exist in the vicinity, maintaining overall neighborhood character. The proposed new residential development appropriately scaled to the existing context of the neighborhood will be an asset to the community. The public welfare will be immensely improved with the addition of this project to the neighborhood.

5. Arcade/ Colonnade Depth Requirements.

Requirement: Table 32-201 (g): 10 ft. min. 20 ft. max.

Modification: Proposed arcade/ colonnade depth has been reduced to 6'-9".

1. The subject property faces physical site constraints and required right-of-way dedications along SE 5th Street, limiting the building footprint and the ability to accommodate a compliant arcade depth without compromising overall site design. These conditions are unique and not generally applicable to other properties in the zoning district.
2. The need for a reduced arcade depth is directly tied to right-of-way and urban design requirements, and not the result of any actions by the applicant. These external constraints restrict the available buildable area and dictate a more compact footprint to meet other development requirements, including sidewalk width and landscaping.
3. Granting the variance does not provide a special privilege to the applicant, as other similarly constrained properties may receive comparable considerations. The arcade remains present and functional at 6'-9", continuing to provide pedestrian shelter and activation of the street frontage in keeping with the intent of the code.
4. Strict compliance with the 10-foot minimum would require disproportionate building recessions that compromise interior space planning and overall feasibility. The reduced arcade depth represents a modest adjustment necessary for practical site utilization.
5. The request is limited to the minimum extent necessary. The 6'-9" depth still achieves architectural articulation and pedestrian accommodation without seeking an excessive deviation from the standard.
6. The proposed design aligns with the general goals of the code by fostering active street edges and providing visual interest and shade for pedestrians. The variation still supports high-quality architectural frontage and complements the streetscape design.
7. The reduced arcade depth will not be detrimental to adjacent properties or public welfare. On the contrary, the development enhances the streetscape with new residential character, landscaping, and active ground-level features. The adjustment improves site efficiency while maintaining pedestrian-friendly design.

6. Civic Open Space.

Requirement: Table 32-196 (a): Sites exceeding base density or base height limit: 7.5%

Modification: 0% of Civic Open space provided.

1. The subject property is uniquely situated directly adjacent to Bluesten Park, a large, well-designed, and recently redeveloped public recreational facility that provides extensive open space, community gathering areas, athletic fields, pedestrian amenities, and park programming. Because Bluesten Park is located immediately in front of the project site and functions as a readily accessible public open space resource serving the surrounding neighborhood, the intent of providing civic open space is already fulfilled on-site in practical terms. This condition is unique to the subject parcel and is not generally applicable to other parcels in the zoning district that are not located directly adjacent to or integrated with an existing major public park.

2. The special circumstances described above are inherent to the physical location of the site and existing public park infrastructure. The adjacency to Bluesten Park predated the applicant's involvement with the property. The need for the variance does not arise from any actions taken by the applicant.
3. Approval of this variance will not grant a special privilege unavailable to other property owners. The request is based on a unique contextual relationship to a public amenity that already provides the intended open space benefit. Other properties similarly situated immediately adjacent to significant existing public civic open spaces would be eligible to request similar consideration on the same basis.
4. Strict enforcement of the 7.5% civic open space requirement would require duplicative open space immediately adjacent to Bluesten Park, resulting in inefficient and unnecessary use of developable land. Such duplication would not provide additional public benefit, yet would significantly reduce the reasonable development potential of the site. This represents an undue hardship not shared by other properties that do not abut a major public park.
5. The requested variance is the minimum relief necessary to allow the site to be developed in a reasonable and functional manner. The project design maintains public accessibility and community benefit by promoting pedestrian and visual connectivity to Bluesten Park, while accommodating viable site planning, building layout, and circulation.
6. The purpose of the civic open space requirement is to ensure accessible public environments, enhance community interaction, and provide relief from built form. These purposes are already met by the presence of Bluesten Park, which serves the site and the community more effectively than any small-scale open space provided within the subject property itself. Therefore, the variance maintains the spirit and intent of the Code.
7. The requested variance will not be injurious to surrounding properties nor detrimental to the public welfare. To the contrary, the integration of the development with an existing major public park supports active public use, walkability, and neighborhood cohesion. The public will continue to enjoy open space access equal to or greater than what would otherwise be provided on the project site.

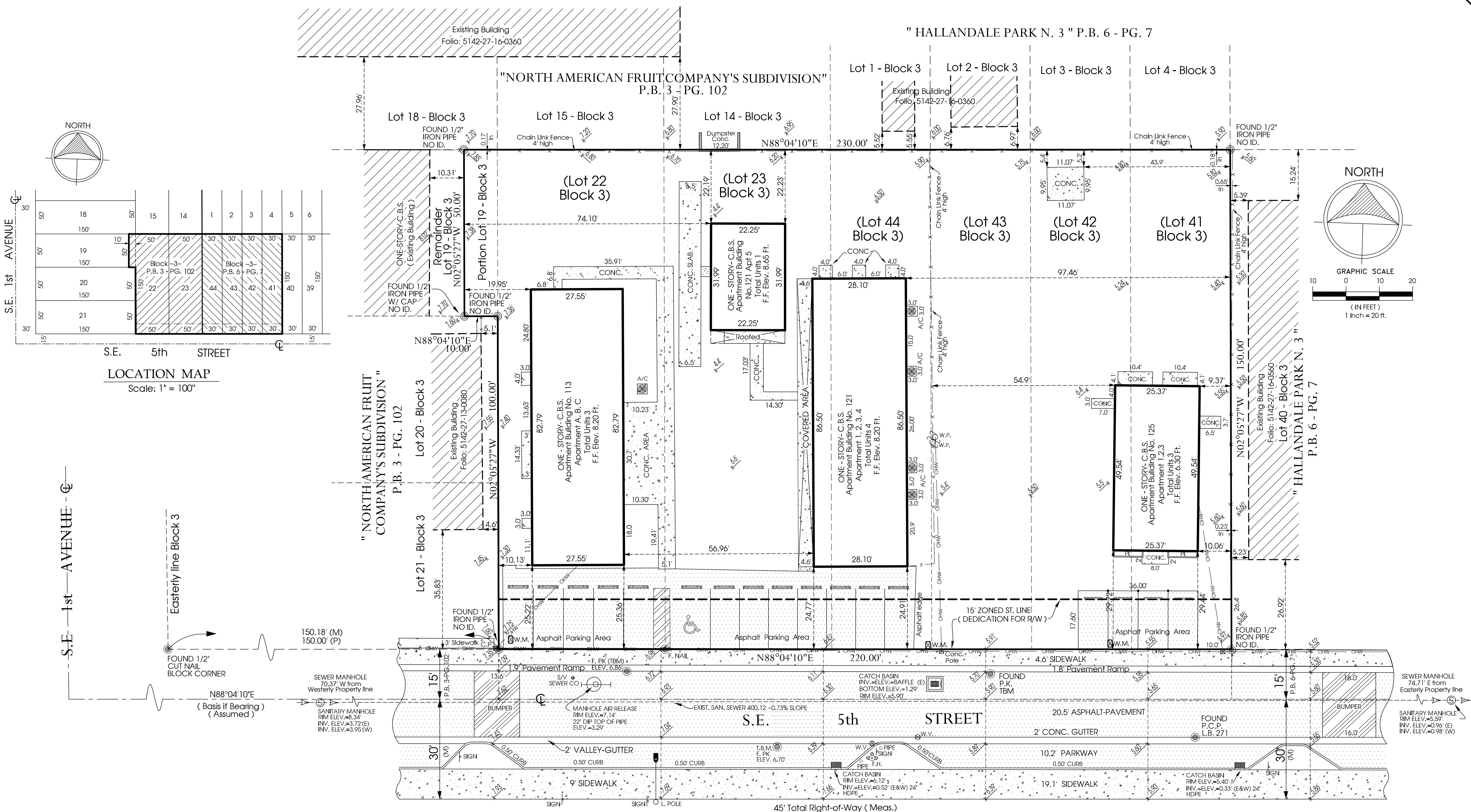
Should you have any questions regarding the above, do not hesitate to contact me.

Respectfully,



Jose Saye.
Manager/ Vice-President.

[illegible]



LEGAL DESCRIPTION:

FOLIO: 5142-27-13-0090
LOT 44, BLOCK 3, " HALLANDALE PARK No. 3 ", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 7, OF THE PUBLIC RECORDS, OF BROWARD COUNTY, FLORIDA.
AND: LOT 23, BLOCK 3 " NORTH AMERICAN FRUIT COMPANY'S SUBDIVISION ", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 102, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LANDS SITUATED, LYING AND BEING IN BROWARD COUNTY, FLORIDA, AND : THE EAST 10 FEET OF LOT 19, ALL OF LOT 22, BLOCK 3, " NORTH AMERICAN FRUIT COMPANY'S SUBDIVISION ", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, AT PAGE 102, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LANDS SITUATED, LYING AND BEING IN BROWARD COUNTY, FLORIDA.
AND:
FOLIOS: 5142-27-16-0590 & 5142-27-16-0600
PARCEL 1: LOTS 41 AND 42, IN BLOCK 3, " HALLANDALE PARK No. 3 ", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
PARCEL 2: LOT 43 IN BLOCK 3, " HALLANDALE PARK No. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:

113 - 125 S.E. 5th STREET, HALLANDALE BEACH, FLORIDA 33009

CERTIFIED TO:

HALLANDALE CENTRAL PARK, LLC

FLOOD ZONE INFORMATION:

FLOOD ZONE: "X" COMMUNITY: 125110 PANEL: 0732
DATE OF FIRM: 07-31-2024 SUFFIX: J ELEVATION: N/A

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS.
- EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- UNDERGROUND PORTION OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE ON ABOVE GROUND ENCROACHMENTS LOCATED.
- WALL TIES ARE THE FACE OF THE WALL.
- FENCE OWNERSHIP NOT DETERMINED.
- BEARINGS REFERENCED TO LINE NOTED AS B.R.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NOT VALID UNLESS SEALED WITH THE SIGNINGS SURVEYORS EMBOSSED SEAL.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.A.V.D. 1988 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARE FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- SUBJECT PARCEL AREA: 33, 500 Sq. Ft. or 0.77 Ac. +/- (GROSS)
30, 203 Sq. Ft. or 0.69 Ac. +/- (NET) (AFTER 15' R/W DEDICATION
- NUMBER OF APARTMENT UNITS: 11

CERTIFICATION:

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

SIGNED: JOSEPH L. MARTIN

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSEPH L. MARTIN, PLS. MAKE SURE OF THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ABBREVIATIONS AND LEGEND:	
CONC. =	DENOTES CONCRETE
R/W =	DENOTES RIGHT - OF - WAY
CL =	DENOTES CENTERLINE
P.B. =	DENOTES PLAT BOOK
PG. =	DENOTES PAGE
WM =	DENOTES WATER METER
OW =	DENOTES WOOD POWER POLE
OH =	DENOTES OVERHEAD WIRES
LP =	DENOTES LIGHT POLE
GV =	DENOTES GAS VALVE
GM =	DENOTES GREASE MANHOLE
FD =	DENOTES FIRE HYDRANT
WV =	DENOTES WATER VALVE
DR =	DENOTES DRAIN
DS =	DENOTES DRAIN SIGN
MS =	DENOTES SAN. SEWER MANHOLE
FM =	DENOTES F.P.L. MANHOLE
CB =	DENOTES CATCH BASIN
EM =	DENOTES ELECTRIC METER

MAP OF SURVEY

NOTE:
NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

Scale: 1" = 20'

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURE UNLESS OTHERWISE NOTED.

COUNTY-WIDE LAND SURVEYING INC.
LAND SURVEYORS PLANNERS
15358 S.W. 140 STREET, MIAMI, FLORIDA 33196
PHONE: (305) 772-0766

L.B. No. 6480

BOUNDARY SURVEY

Original Date: 02/20/2025	Field date: 02/16/2025	Revision Date: 06/30/2025	Drawn by: M. Ibarra	Job No. S-0539 & 665
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TRANSIT CORE / DESIGN SUBDISTRICT REQUIREMENTS TABLE 32-196(a)		
	REQUIRED / ALLOWED	PROVIDED
LOT WIDTH	50' MIN.	220'-0"
LOT AREA	5,000 S.F. MIN./ 100,000 S.F. MAX.	30,200 S.F. (AFTER DEDICATION)
LOT COVERAGE	95% MAX.	86.87 % (BUILDING + WALKS + V.U.A.)
LANDSCAPE AREA	5% MIN.	13.13 %
PRIMARY STREET SETBACK	10' MIN. / 15' MAX.	5'-8" TO BUILDING 3'-0" TO BALCONIES (R.A.M.)
SECONDARY STREET SETBACK	10' MIN.	N/A
STREET SETBACK ABOVE 5TH STORY	20' MIN	8'-0" TO BUILDING 3'-0" TO BALCONIES (R.A.M.)
INTERIOR SIDE SETBACK	0' MIN.	EAST 5'-2", WEST 5'-5"
SIDE SETBACK ABOVE 5TH STORY	30' MIN	EAST 5'-2", WEST 5'-5" (R.A.M.)
REAR SETBACK	10' MIN.	5'-0" (R.A.M.)
REAR SETBACK ABOVE 5TH STORY	20' MIN.	56'-2"
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN.	SE. 5TH ST. 95.15%
MIN. HEIGHT PRIMARY STREETS	2 STORIES OR 1 STORY 20' HIGH	8 STORIES
MAX. HEIGHT LIMIT	8 STORIES	8 STORIES
MAX. DENSITY	50 DU/AC	50 DU/AC (REFER TO DENSITY CHART)
CIVIC OPEN SPACE: SITES EXCEEDING BASE DENSITY OR BASE HEIGHT LIMIT	7.5%	0% (R.A.M.)

TRANSIT CORE SUB-DISTRICT VARIANCE LIST:

1. PRIMARY STREET SETBACK REQUIREMENTS.
REQUIREMENT: TABLE 32-196 (a): 10 FT. MIN./ 15 FT. MAX.
MODIFICATION: PROPOSED PRIMARY STREET SETBACK HAS BEEN REDUCED TO 5'-8".

2. STREET SETBACK ABOVE 5TH STORY REQUIREMENTS.
REQUIREMENT: TABLE 32-196 (a): 20 FT. MIN.
MODIFICATION: PROPOSED STREET SETBACK ABOVE 5TH STORY HAS BEEN REDUCED TO 8 FEET.

3. SIDE SETBACK ABOVE 5TH STORY REQUIREMENTS.
REQUIREMENT: TABLE 32-196 (a): 30 FT. MIN.
MODIFICATION: PROPOSED SIDE SETBACK ABOVE 5TH STORY HAS BEEN REDUCED TO 5'-5" ON WEST SIDE AND 5'-2" ON EAST SIDE.

4. REAR SETBACK REQUIREMENTS.
REQUIREMENT: TABLE 32-196 (a): 10 FT. MIN.
MODIFICATION: PROPOSED REAR SETBACK HAS BEEN REDUCED TO 5'-0".

5. ARCADE/ COLONNADE DEPTH REQUIREMENTS.
REQUIREMENT: TABLE 32-201 (g): 10 FT. MIN. 20 FT. MAX.
MODIFICATION: PROPOSED ARCADE/ COLONNADE DEPTH HAS BEEN REDUCED TO 6'-9".

6. CIVIC OPEN SPACE.
REQUIREMENT: SITES EXCEEDING BASE DENSITY OR BASE HEIGHT LIMIT: 7.5%
MODIFICATION: 0% OF CIVIC OPEN SPACE PROVIDED.

TRANSIT CORE SUB-DISTRICT RAM LIST:

1. OFF-STREET PARKING ACCESS AND ACCESS WAYS.
REQUIREMENT: SECTION 32-453(I)(4) SINGLE OR DOUBLE LOADED PARKING CORRIDORS IN EXCESS OF FOUR ABUTTING PARKING SPACES SHALL BE DESIGNED TO PERMIT VEHICLE ENTRY AND EXIT IN ONE CONTINUOUS FORWARD MOTION WITHOUT USING A VACANT SPACE TO TURN AROUND. THIS SHALL BE ACCOMPLISHED BY EITHER A DIRECT CONNECTION TO AN ADJACENT CORRIDOR OR BY THE INCLUSION OF A CUL-DE-SAC AT THE END OF SUCH CORRIDOR.
MODIFICATION: THE 2ND FLOOR DOUBLE LOADED SOUTH DRIVE ISLE IS PROPOSED WITH A THREE POINT TURN AT THE END OF THE PARKING CORRIDOR.

NOTE:
ALL BUILDINGS MUST BE DESIGNED TO MAINTAIN/ PROVIDE MINIMUM RADIO SIGNAL STRENGTH". A C.O. WILL NOT BE ISSUED UNTIL THE AHJ DETERMINES THAT THE BUILDING IS IN COMPLIANCE WITH NFPA 111.0.1 CONCERNING FIRE DEPARTMENT COMMUNICATIONS, NFPA 72 24.5.2.1.2.

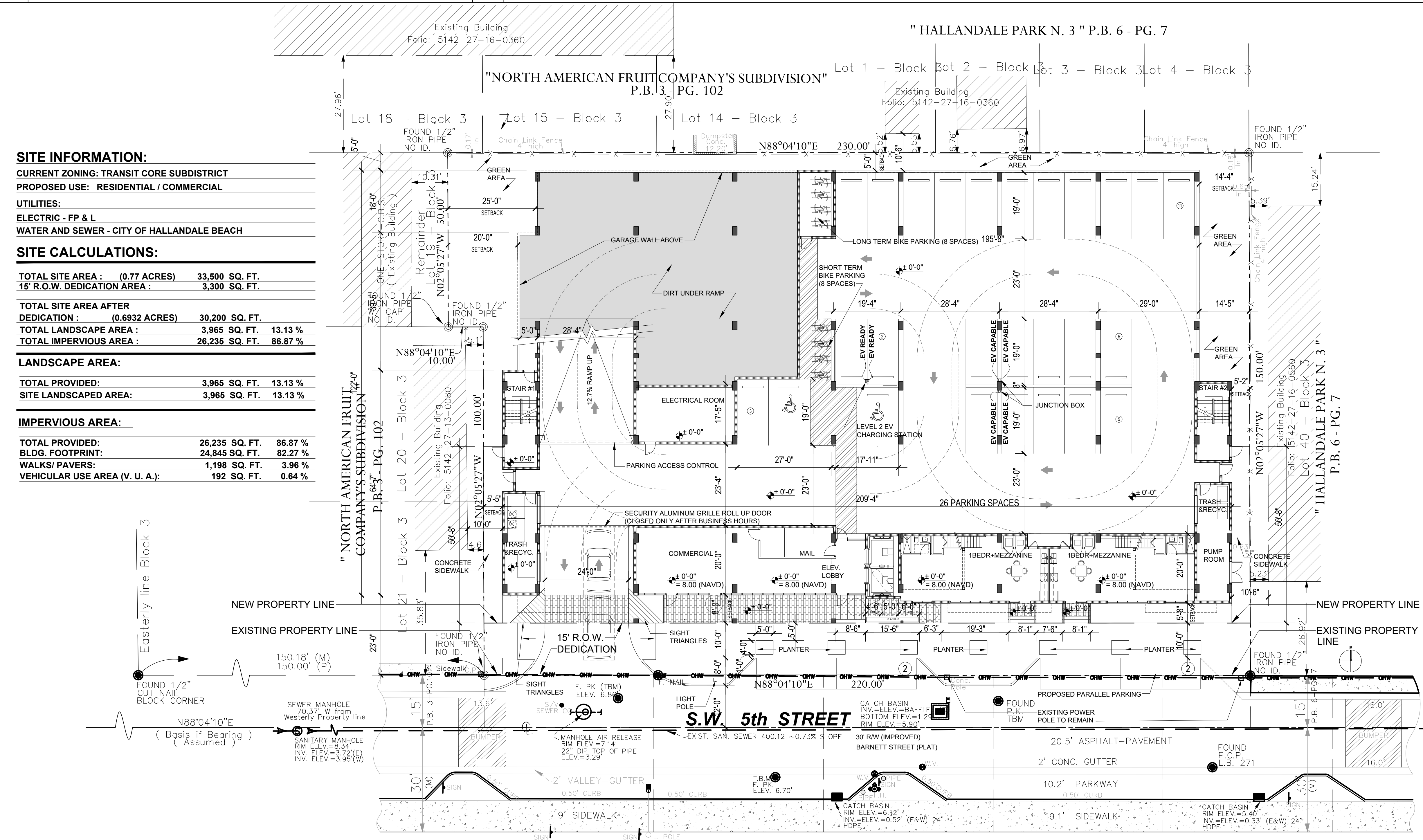
DENSITY CHART PROPOSED DENSITY CHART		
UNITS PROPOSED		90 UNITS
DENSITY ALLOWED BY CODE: 50 DU/AC	0.69 ACRE X 50 DU/AC= 34 UNITS 14 UNITS WITH 500 SF. OR LESS: 14/2= 7 UNITS 27 UNITS MORE THAN 500SF /EA: 27/1= 27 UNITS TOTAL UNITS BY CODE= 34 UNITS	
*BONUS ALLOWED BY BROWARD LAND USE (TOTAL)-(34 BY CODE + 7 WITH 500 SF. OR LESS) 90 - 41 = 49 UNITS	49 UNITS (6 BONUS/1 MODERATE) MARKET MODERATE HOUSING 42 UNITS 7 UNITS	
**DENSITY ALLOWED BY COHB 41 MARKET UNITS X 15% = 7 MODERATE UNITS	MODERATE HOUSING PROPOSED 7 UNITS	
7 MODERATE HOUSING UNITS REQUIRED (BROWARD LAND USE) 7 MODERATE HOUSING UNITS REQUIRED (15% COHB)		
14 MODERATE HOUSING UNITS PROPOSED 76 MARKET UNITS PROPOSED		
TOTAL UNITS PROVIDED		90 UNITS
*REQUIRES 7 MODERATE UNITS (6 BONUS/1 MODERATE) AS PER BROWARD COUNTY LAND USE PLAN POLICY 2.16.3		
**REQUIRES 7 MODERATE UNITS (15%) AS PER COHB LAND DEVELOPMENT CODE SEC. 32-196 (d) (4) b.		
DENSITY CALCULATION INCLUDING BONUS UNITS: 83 UNITS (34 BY CODE + 49 BY BROWARD COUNTY LAND USE)/ 0.6932 ACRES = 120 DU/AC		

3 DENSITY CALCULATIONS

CENTRAL RAC DISTRICT REQUIREMENTS TABLE 32-194 (b) MINIMUM FLOOR AREA FOR MULTI-FAMILY DWELLING UNITS		
	REQUIRED	PROVIDED
MINIMUM PER UNIT (S.F.)	350 S.F. MIN.	500 S.F. (SMALLEST) / 1,024 S.F. (LARGEST)
MINIMUM AVERAGE (S.F.)	750 S.F. MIN.	755 S.F. (REFER TO UNIT BREAKDOWN ON SHEET A-102)
GROUND FLOOR = 2 UNITS THIRD FLOOR = 13 UNITS TYPICAL FLOOR (FOURTH TO EIGHTH) 15x5 = 75 UNITS		
TOTAL RESIDENTIAL UNITS	=	90 UNITS
1 BEDROOM WITH MEZZANINE = (2 UNITS) STUDIO (14 UNITS) LARGE STUDIO (26 UNITS) 1 BR-1 BATH (24 UNITS) 1 BR-2 BATH WITH DEN (24 UNITS) TOTAL (90 UNITS)	=	
GROUND FLOOR / GARAGE LEVEL 1A GROSS FLOOR AREA : 19,335 SF MEZZANINE / GARAGE LEVEL 1B GROSS FLOOR AREA : 22,621 SF SECOND FLOOR / GARAGE LEVEL 2 GROSS FLOOR AREA : 24,797 SF THIRD FLOOR GROSS FLOOR AREA : 13,674 SF FOURTH TO EIGHTH GROSS FLOOR AREA 5X13,783 SF : 68,915 SF		
TOTAL GROSS BUILDING AREA (EXCLUDING ROOF LEVEL)		:149,342 SF

4 BUILDING DATA/ AREA CALCULATIONS/ DWELLING UNIT REQUIREMENTS

BUILDING DATA							
BUILDING/ STORY	BUILDING USE	GROSS BUILDING AREA	COVERED/ OPEN EXTERIOR AREA	GARAGE PARKING AREA	NET AREA FOR PARKING CALCULATIONS	# OF UNITS (500 S.F. OR LESS) FOR PARKING CALCULATIONS	# OF UNITS (501 S.F. OR GREATER) FOR PARKING CALCULATIONS
GARAGE LEVEL 1A	COMMERCIAL	812 S.F.	N/A	N/A	701 S.F. (GFA)	N/A	N/A
	COMMON AREA	2,434 S.F.	620 S.F.	N/A	N/A	N/A	N/A
	RESIDENTIAL	1,575 S.F.	N/A	N/A	N/A	N/A	2
GARAGE LEVEL 2	GARAGE	N/A	N/A	14,514 S.F.	N/A	N/A	N/A
	COMMON AREA	1,208 S.F.	N/A	N/A	N/A	N/A	N/A
	RES. MEZZANINE	470 S.F.	N/A	N/A	N/A	N/A	N/A
THIRD FLOOR	GARAGE	N/A	N/A	20,943 S.F.	N/A	N/A	N/A
	STORAGE	503 S.F.	N/A	N/A	N/A	N/A	N/A
	COMMON AREA	1,429 S.F.	N/A	N/A	N/A	N/A	N/A
FOURTH FLOOR	GARAGE	N/A	N/A	22,865 S.F.	N/A	N/A	N/A
	RESIDENTIAL	10,067 S.F.	N/A	N/A	N/A	4	9
	COMMON AREA	3,607 S.F.	11,072 S.F.	N/A	N/A	N/A	N/A
FIFTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
SIXTH FLOOR	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
SEVENTH FLOOR	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
EIGHTH FLOOR	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
	RESIDENTIAL	11,242 S.F.	N/A	N/A	N/A	2	13
	COMMON AREA	2,541 S.F.	N/A	N/A	N/A	N/A	N/A
TOTAL		91,020 S.F.	11,692 S.F.	58,322 S.F.	701 S.F. (GFA)	14	76



1 DESIGN REQUIREMENTS / VARIANCE & RAM LIST

2 ARCHITECTURAL SITE PLAN / SITE CALCULATIONS

SRS

A Zyscovich Company

ARCHITECTURE, PLANNING, INTERIOR DESIGN.

1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316

T 954.961.6806
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Merrill Ann Romanik
AR 0015810
Seal

STATE OF FLORIDA

MERRILL ANN ROMANIK

ARCHITECT

AR0015810

HALLANDALE CENTRAL PARK

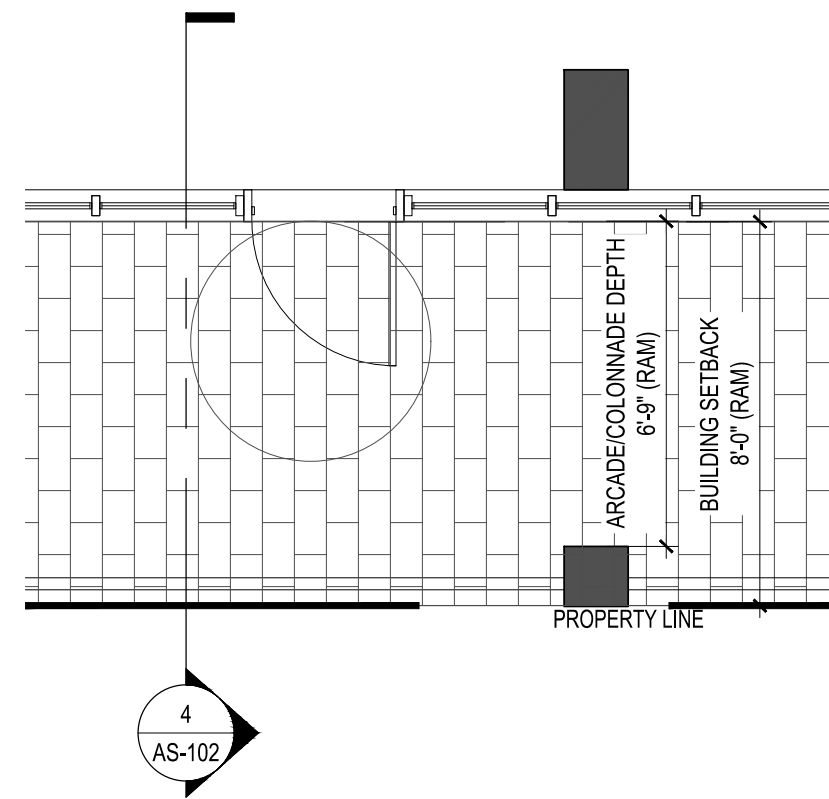
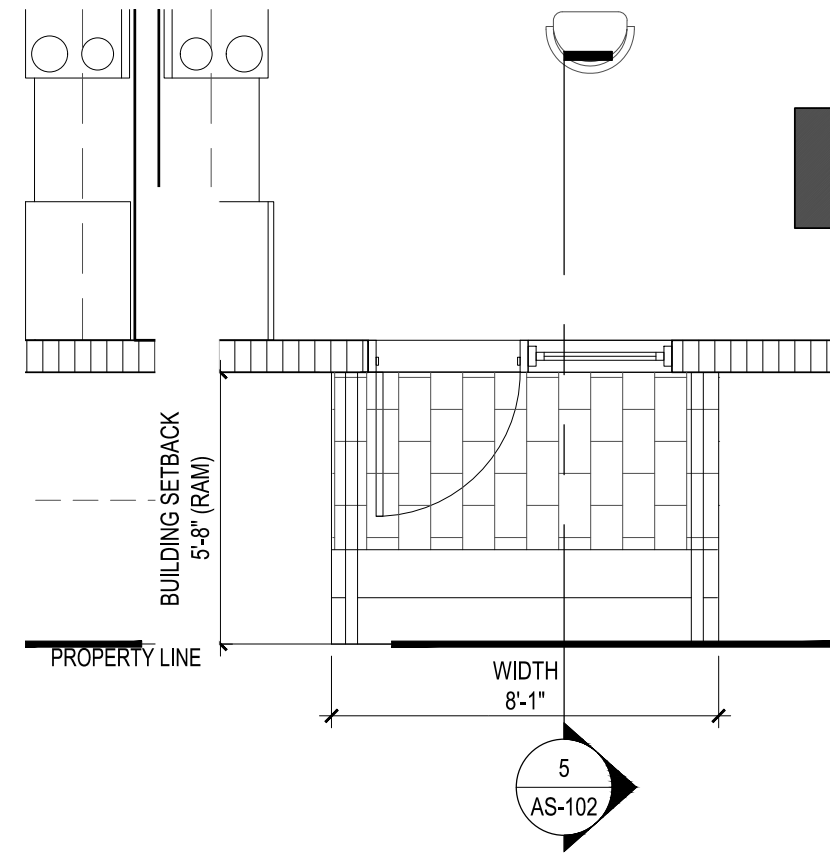
113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA, 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

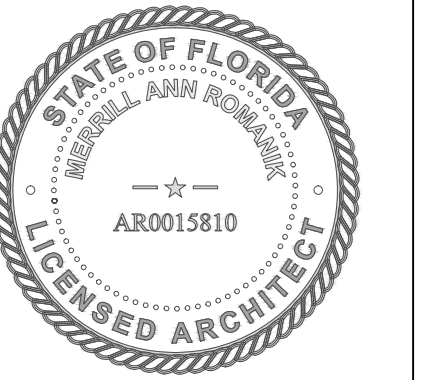
DESIGN DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 12-20-2024

PROJECT NUMBER: 1729-230311
DRAWN BY: MC & CD
CHECKED BY: JS
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SHEET TITLE:
ARCHITECTURAL
SITE PLAN

SHEET NUMBER:
AS-101



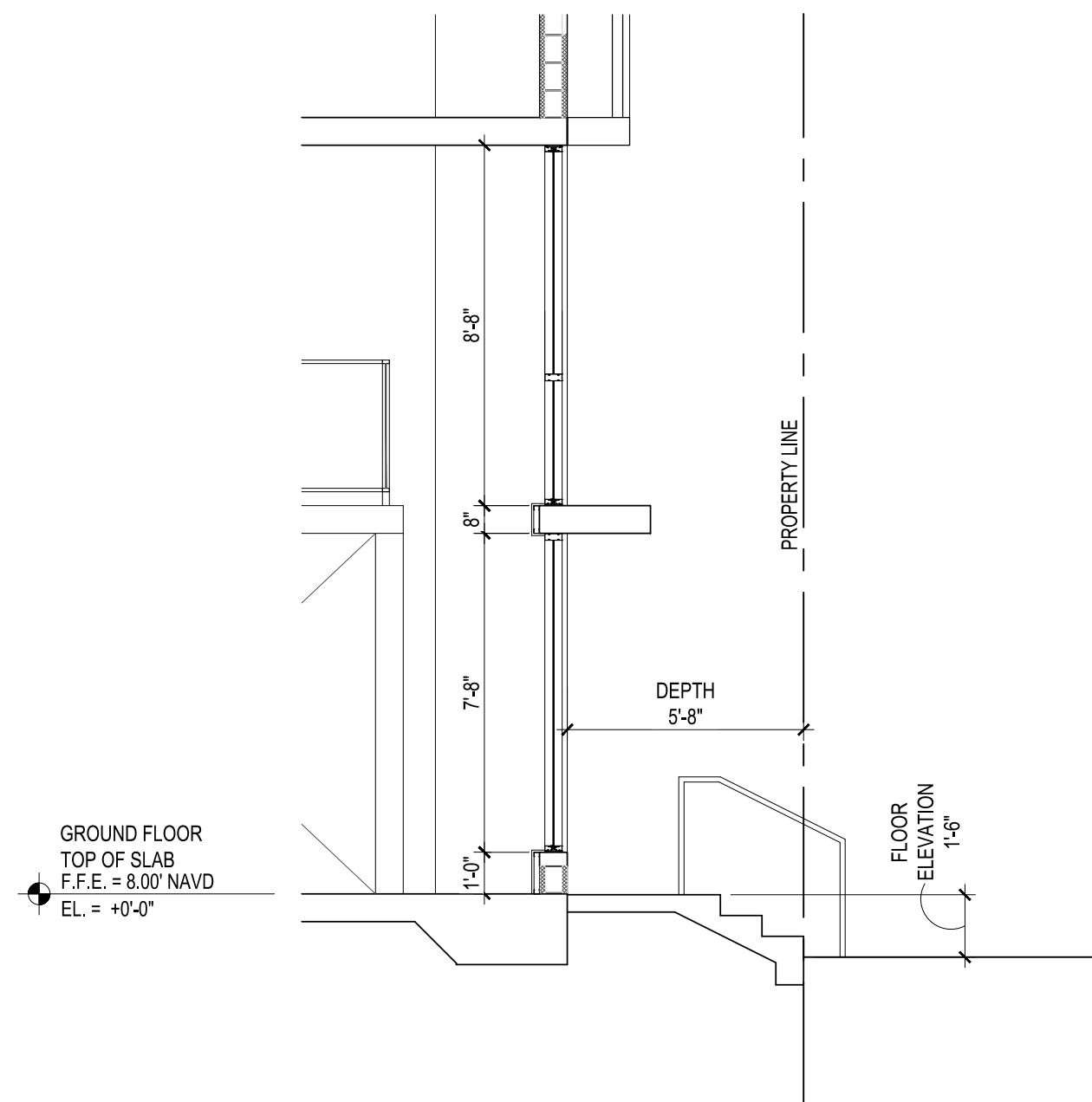
PARKING CALCULATIONS																			
BUILDING	USE	NET AREA FOR PARKING CALCULATIONS	# OF UNITS FOR PARKING CALCULATIONS	PARKING RATIO	OFF-STREET PARKING REQUIRED	OFF-STREET PARKING PROVIDED	ON-STREET PARKING PROVIDED	ADA PARKING		EV READY PARKING		EV UNIVERSAL PARKING		EV CAPABLE PARKING		ST BICYCLE PARKING		LT BICYCLE PARKING	
								REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
COMMERCIAL		812 S.F. (NET)	N/A	1/300 S.F	3 SPACES	3 SPACES	FBC ACCESSIBILITY TABLE 208.2												
RESIDENTIAL UNITS (500 S.F. OR LESS)		N/A	14	0.75/UNIT	11 SPACES	122 SPACES													
RESIDENTIAL UNITS (501 S.F. OR GREATER)		N/A	76	1.25/UNIT	95 SPACES														
RESIDENTIAL (GUEST)		N/A	N/A	10% OF 106 SPACES REQUIRED FOR ALL UNITS	11 SPACES	11 SPACES													
TOTAL		812 S.F. (NET)	90		120 SPACES	136 SPACES	4 SPACES	5 SPACES	5 SPACES	6 SPACES	6 SPACES	1 SPACE	1 SPACE	12 SPACES	12 SPACES	4 SPACES	8 SPACES	4 SPACES	8 SPACES



3 ENLARGED FLOOR PLAN DIAGRAM FOR STOOPS

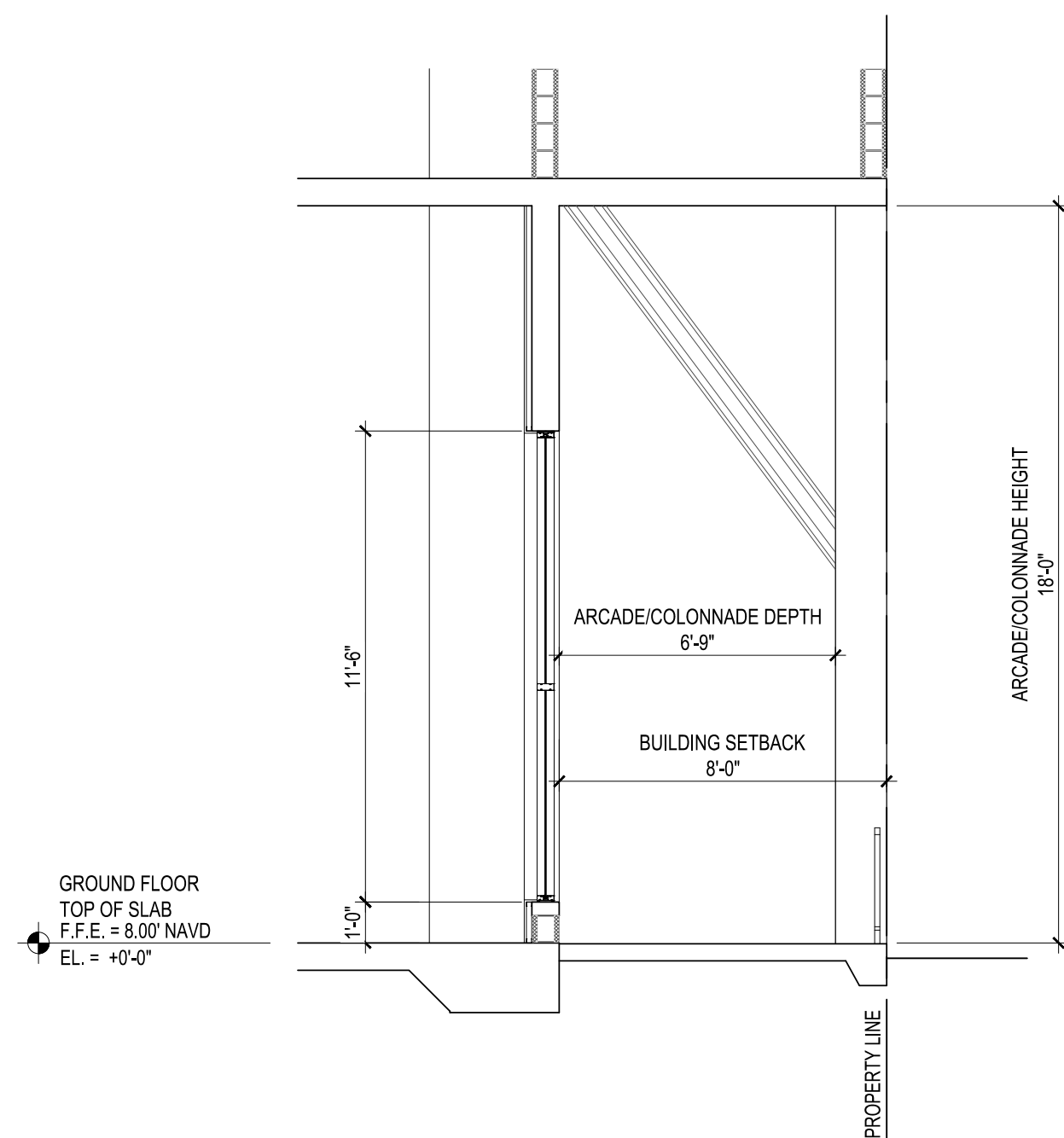
2 ENLARGED FLOOR PLAN DIAGRAM FOR ARCADE/COLONNADES

2 PARKING DATA



DIMENSIONAL REQUIREMENTS FOR STOOPS - TABLE 32-201 (c)		
	REQUIRED	PROVIDED
BUILDING SETBACK	VARIES BY SUBDISTRICT	5'-8" TO BLDG. (R.A.M.) 3'-9" TO ENTRANCE CANOPY
DEPTH	5 FEET MIN / 8 FEET MAX	5'-8"
WIDTH	4 FEET MIN / NO MAX	8'-1"
FLOOR ELEVATION	1 FEET MIN / 4 FEET MAX	1'-6"
MAXIMUM SETBACK ENCROACHMENT	5 FEET MAX	5'-8" (R.A.M.)

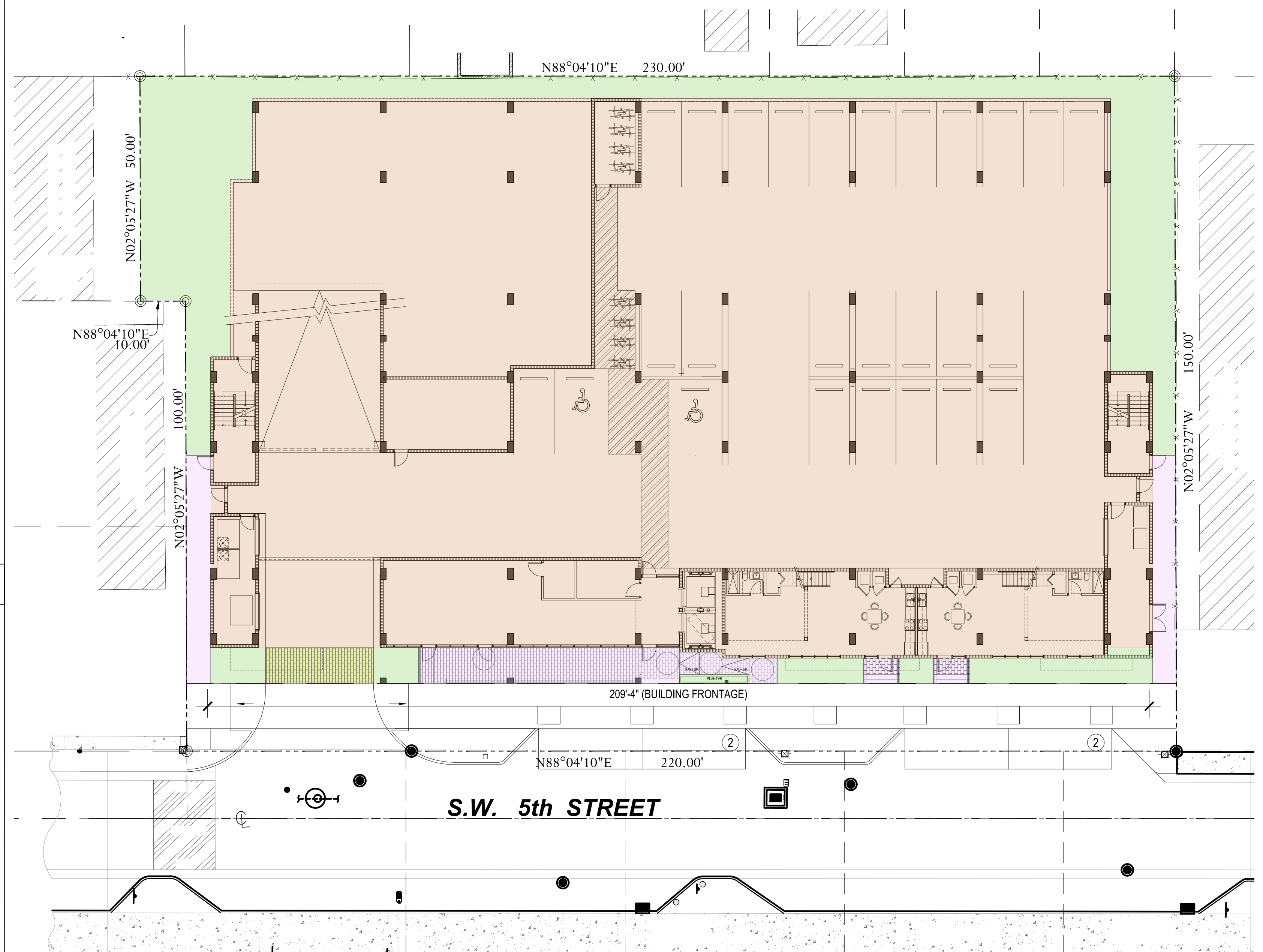
5 SECTION DIAGRAM/ DIMENSIONAL REQUIREMENTS FOR STOOPS



DIMENSIONAL REQUIREMENTS FOR ARCADE/COLONNADES - TABLE 32-201 (g)		
	REQUIRED	PROVIDED
BUILDING SETBACK	VARIES BY SUBDISTRICT	8'-0" (R.A.M.)
ARCADE/COLONNADE DEPTH	10 FEET	6'-9"(R.A.M.)
ARCADE/COLONNADE HEIGHT	12 FEET MIN / N/A MAX	18 FEET FROM BLDG GROUND FLOOR LEVEL
COLUMN/PILLAR TO FACE OF CURB	2 FEET MIN / 4FEET MAX	N/A
ALLOWABLE SETBACK ENCROACHMENT OF ELEMENTS		
ARCADE/COLONNADE	VARIES BY STREET	8'-0"
PEDESTRIAN BLADE SIGN PROJECTION	N/A / 4 FEET MAX	N/A

4 SECTION DIAGRAM/ DIMENSIONAL REQUIREMENTS FOR ARCADE/COLONNADES
SCALE: 1/4"=1'-0"

1 SITE CALCULATIONS DIAGRAM



LEGEND:

	SITE LANDSCAPED AREA:	3,965 SQ. FT.	13.13 %
	BLDG. FOOTPRINT:	24,845 SQ. FT.	82.27%
	WALKS/ PAVERS:	1,198 SQ. FT.	3.96 %
	VEHICULAR USE AREA (V. U. A.):	192 SQ. FT.	0.64 %
	TOTAL SITE AREA:	30,200 SQ. FT.	100 %

BUILDING FRONTAGE ON PRIMARY STREET:

209'-4" (BUILDING FRONTAGE) / 220'-0" (LOT WIDTH) = 95.15 %

[illegible]

DESIGN
DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 12-20-2024

PROJECT NUMBER: 1729-230311
DRAWN BY: CD
CHECKED BY: JS

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SHEET TITLE:
**SITE CALCULATIONS,
FLOOR AND SECTIONS
DIAGRAMS**

SHEET NUMBER:

AS-102

HALLANDALE CENTRAL PARK

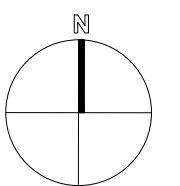
113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA, 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

CLIENT: HALLANDALE CENTRAL PARK, LLC

**PROPOSED SECOND
FLOOR PLAN /
GARAGE LEVEL 2**

A-103



CLIENT: HALLANDALE CENTRAL PARK, LLC

[illegible]

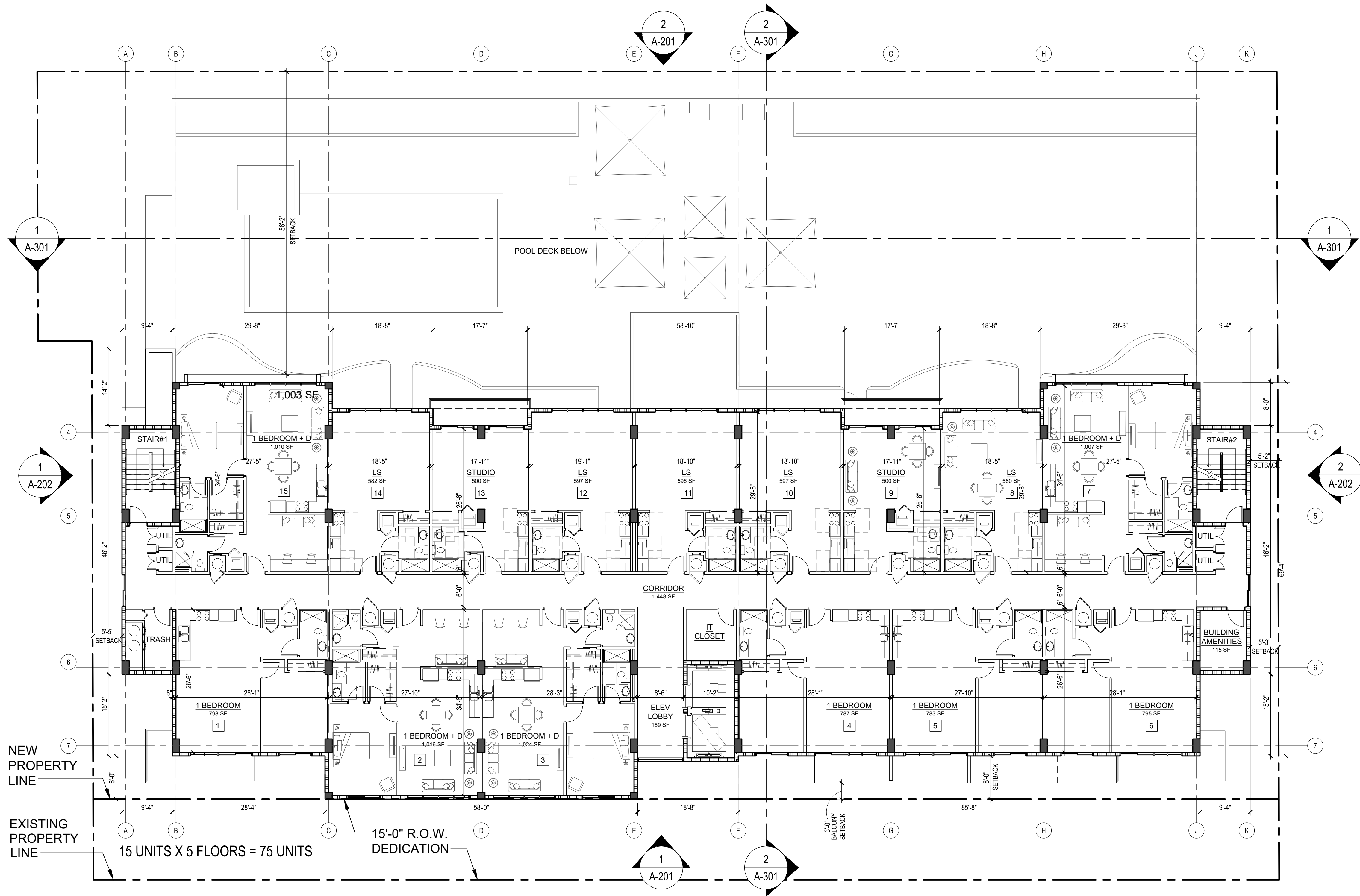
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CLIENT: HALLANDALE CENTINALE PARK, LLC

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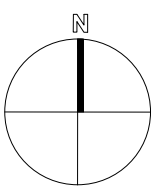


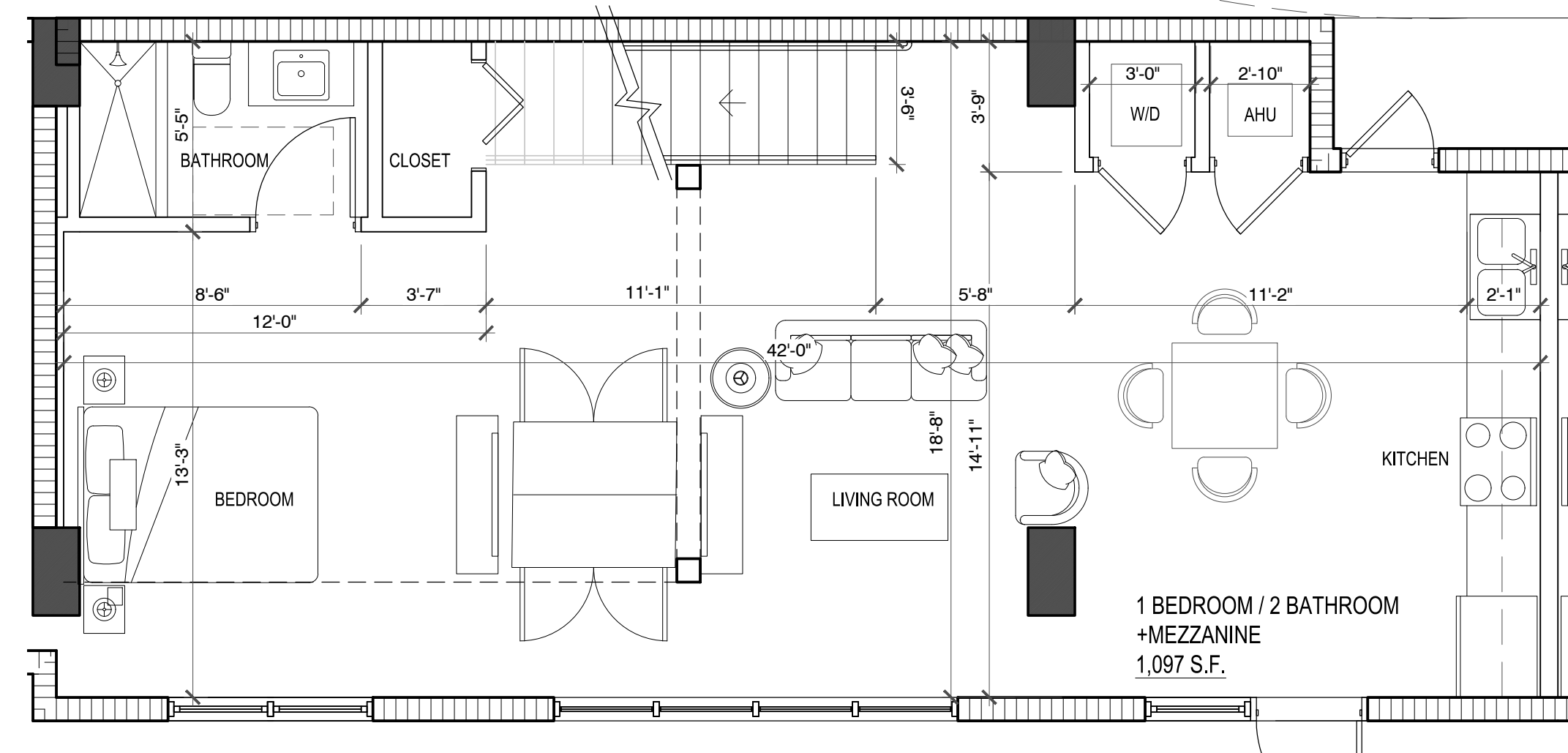
CLIENT: HALLANDALE CENTRAL PARK, LLC

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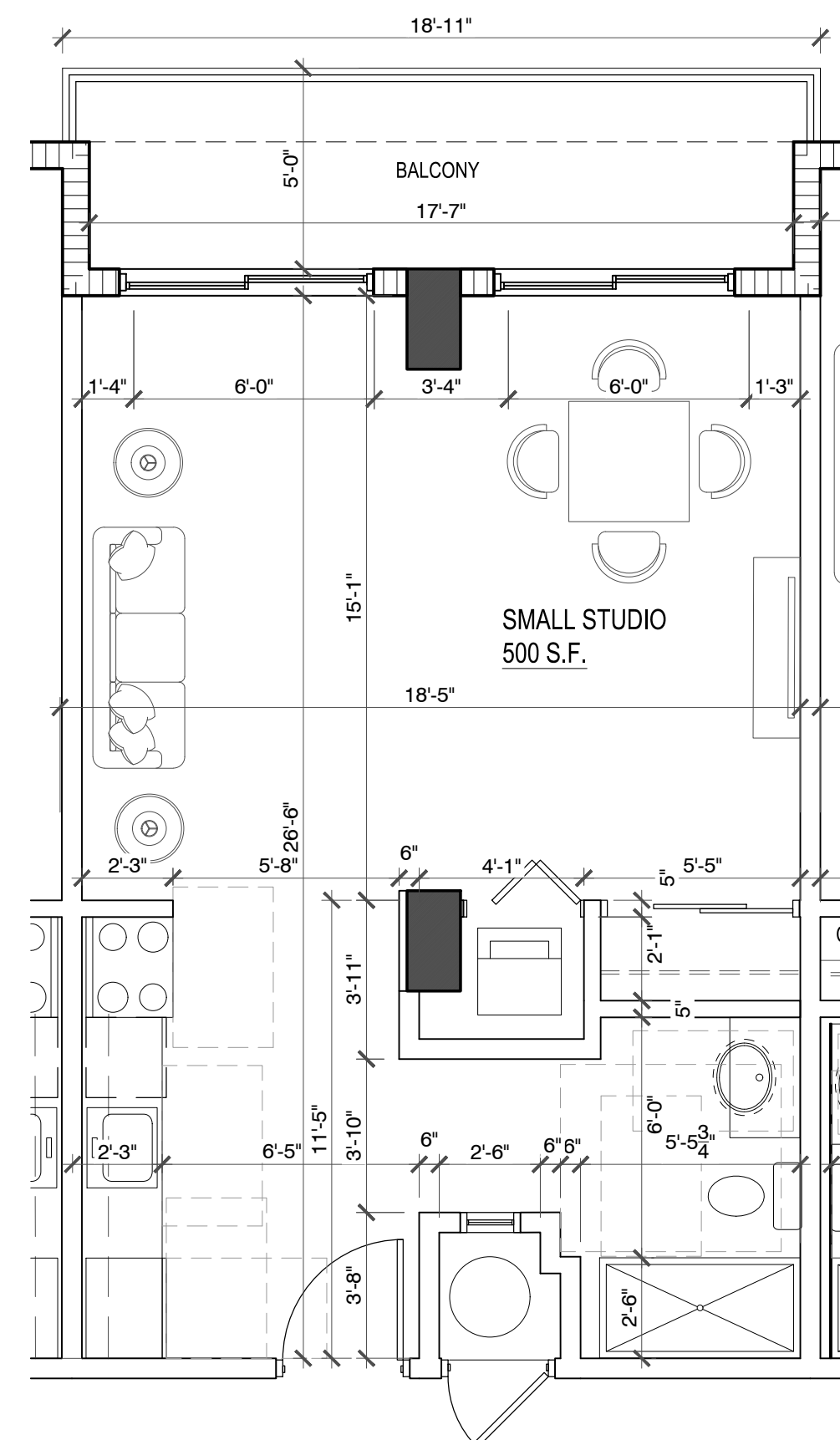
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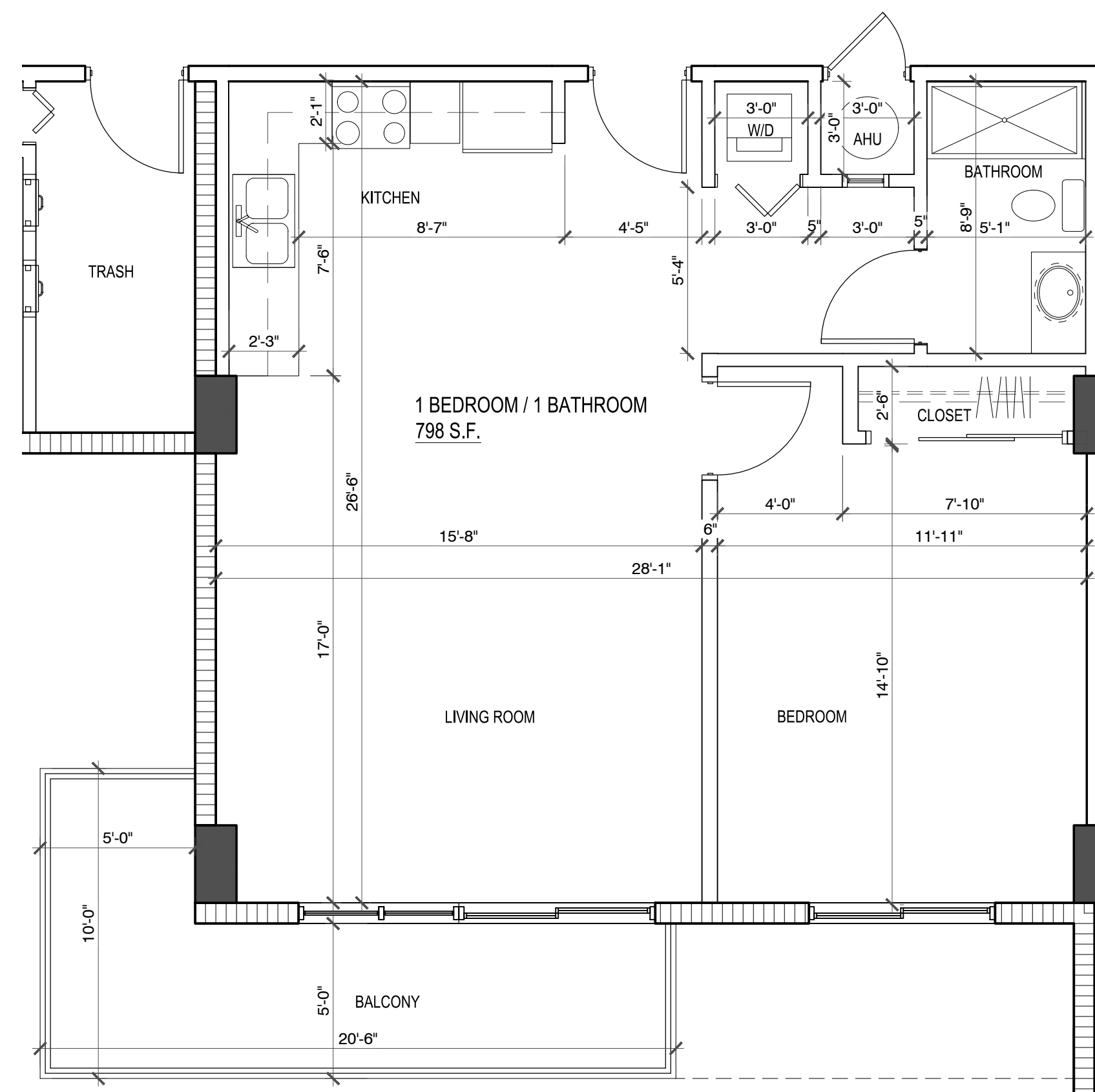




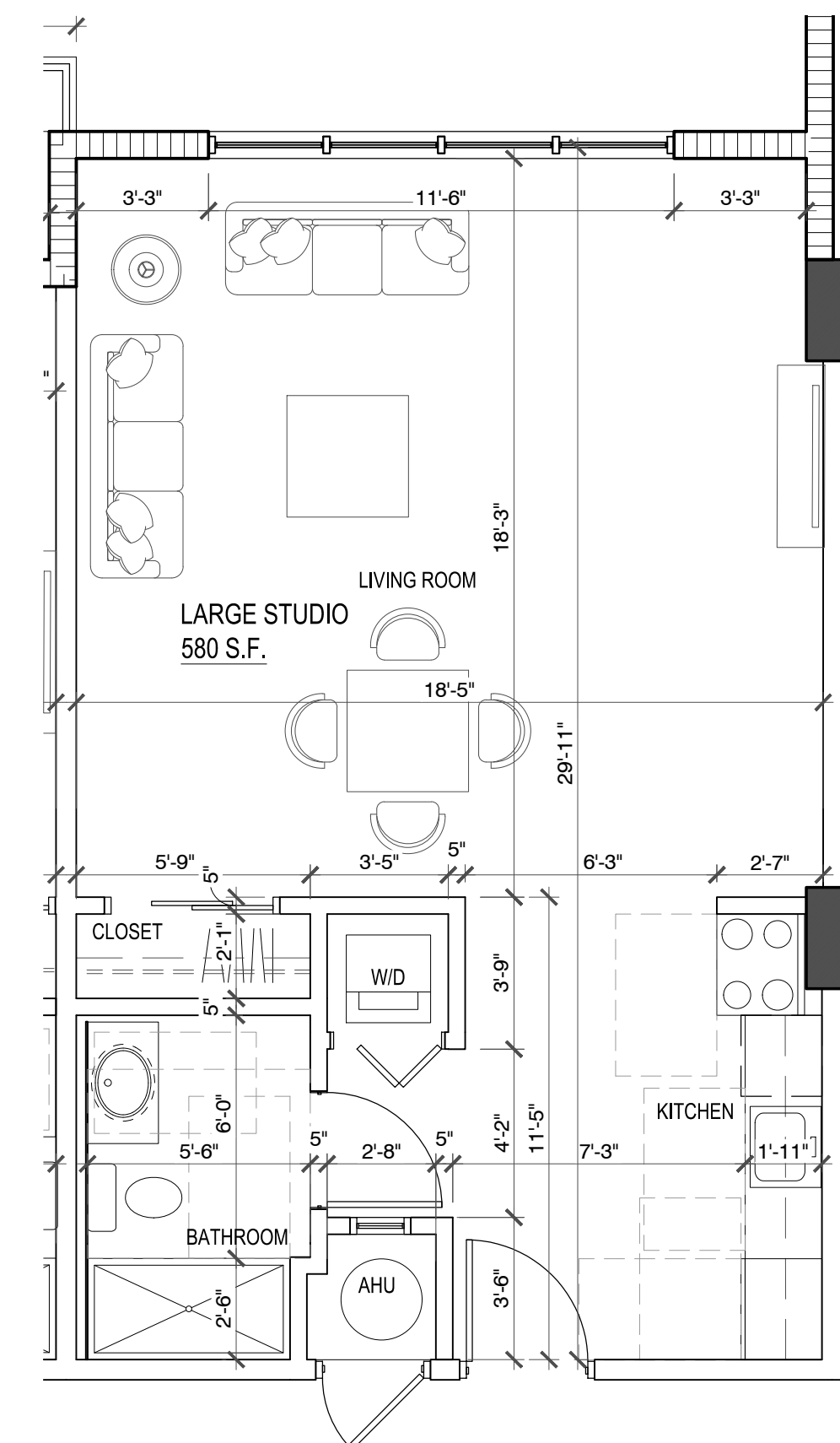
1 GROUND FLOOR UNIT WITH MEZZANINE
SCALE: 1/4" = 1'-0"



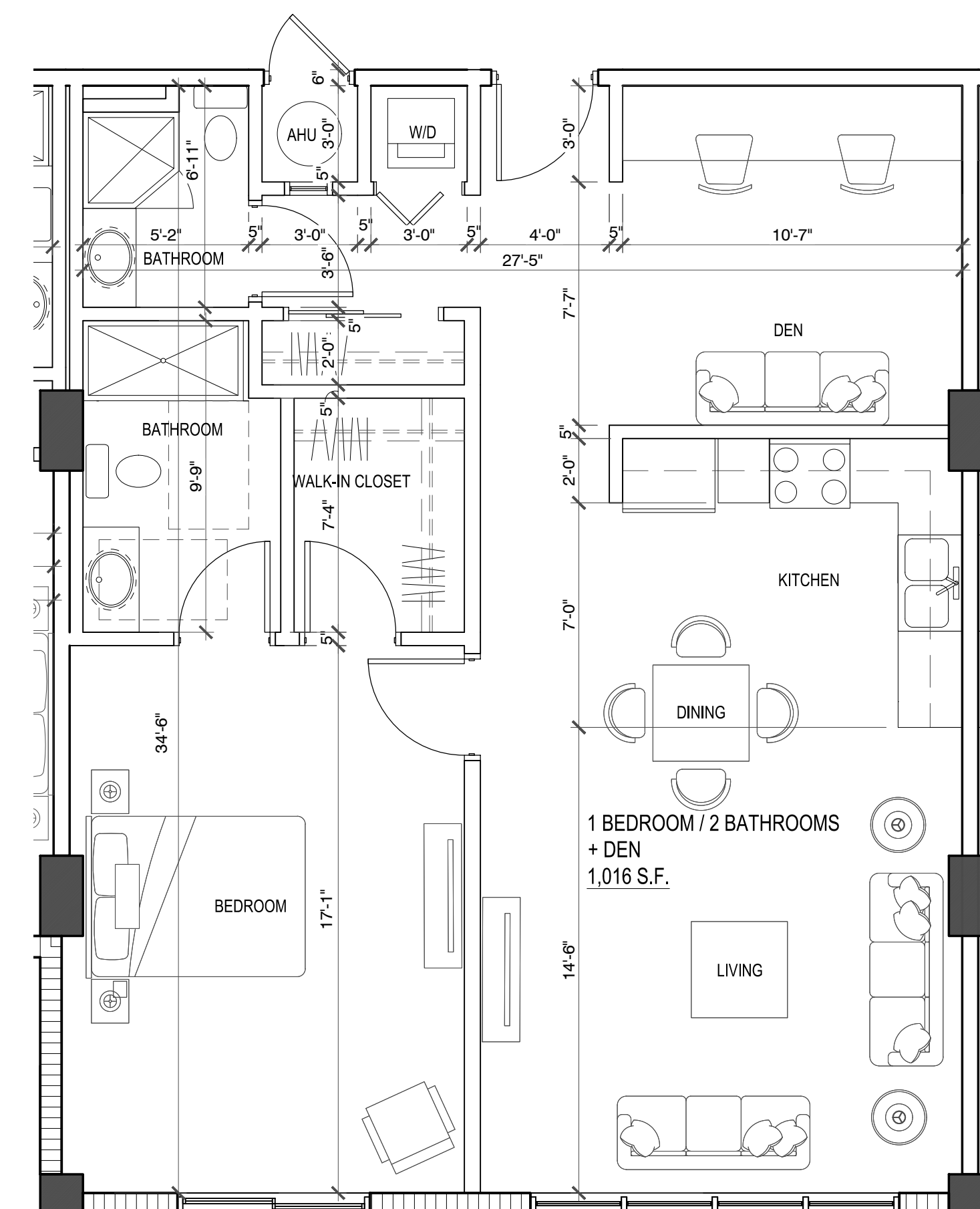
5 SMALL STUDIO
SCALE: 1/4" = 1'-0"



2 ONE BEDROOM CORNER UNIT
SCALE: 1/4" = 1'-0"

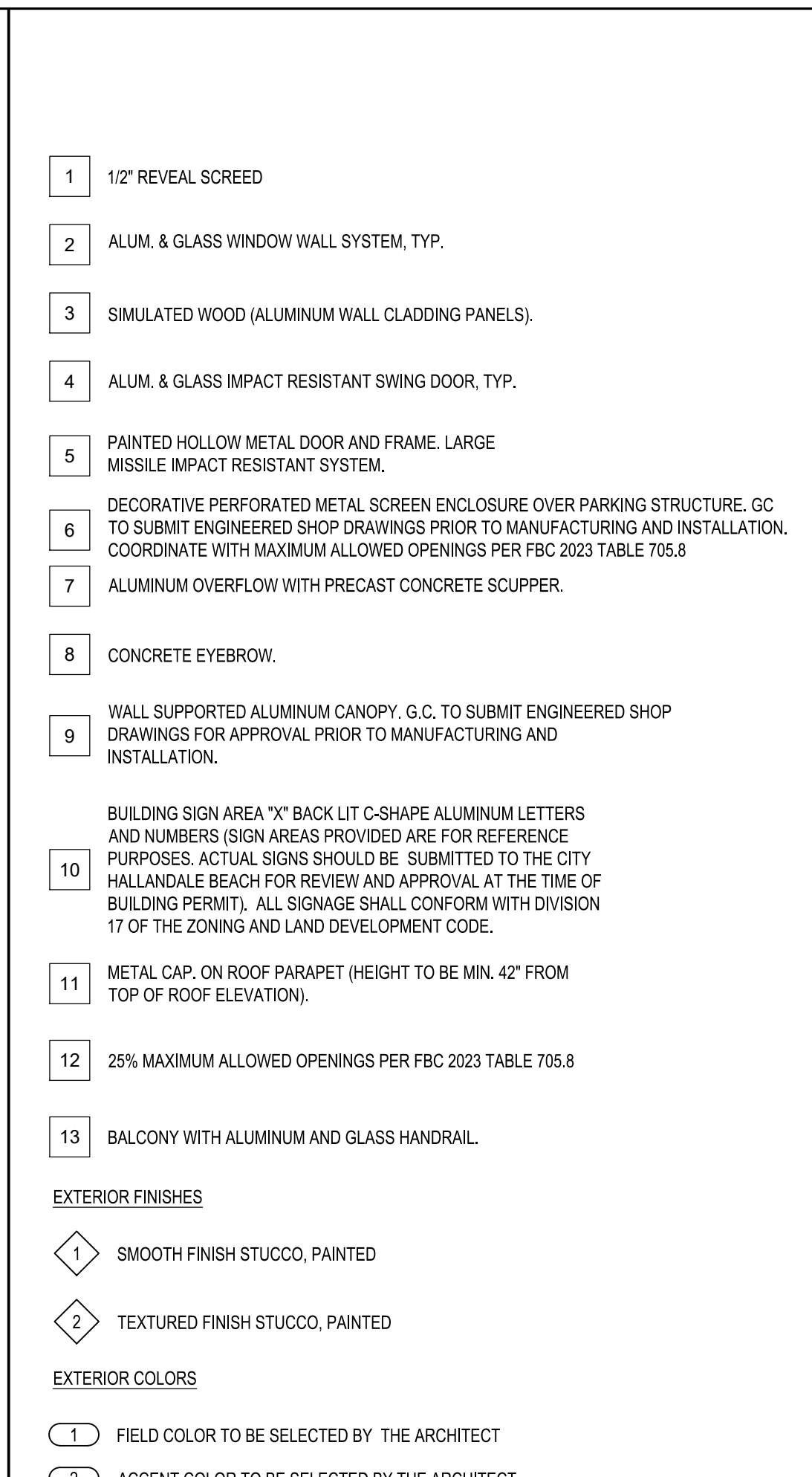


4	LARGE STUDIO SCALE: 1/4" = 1'-0"
----------	--

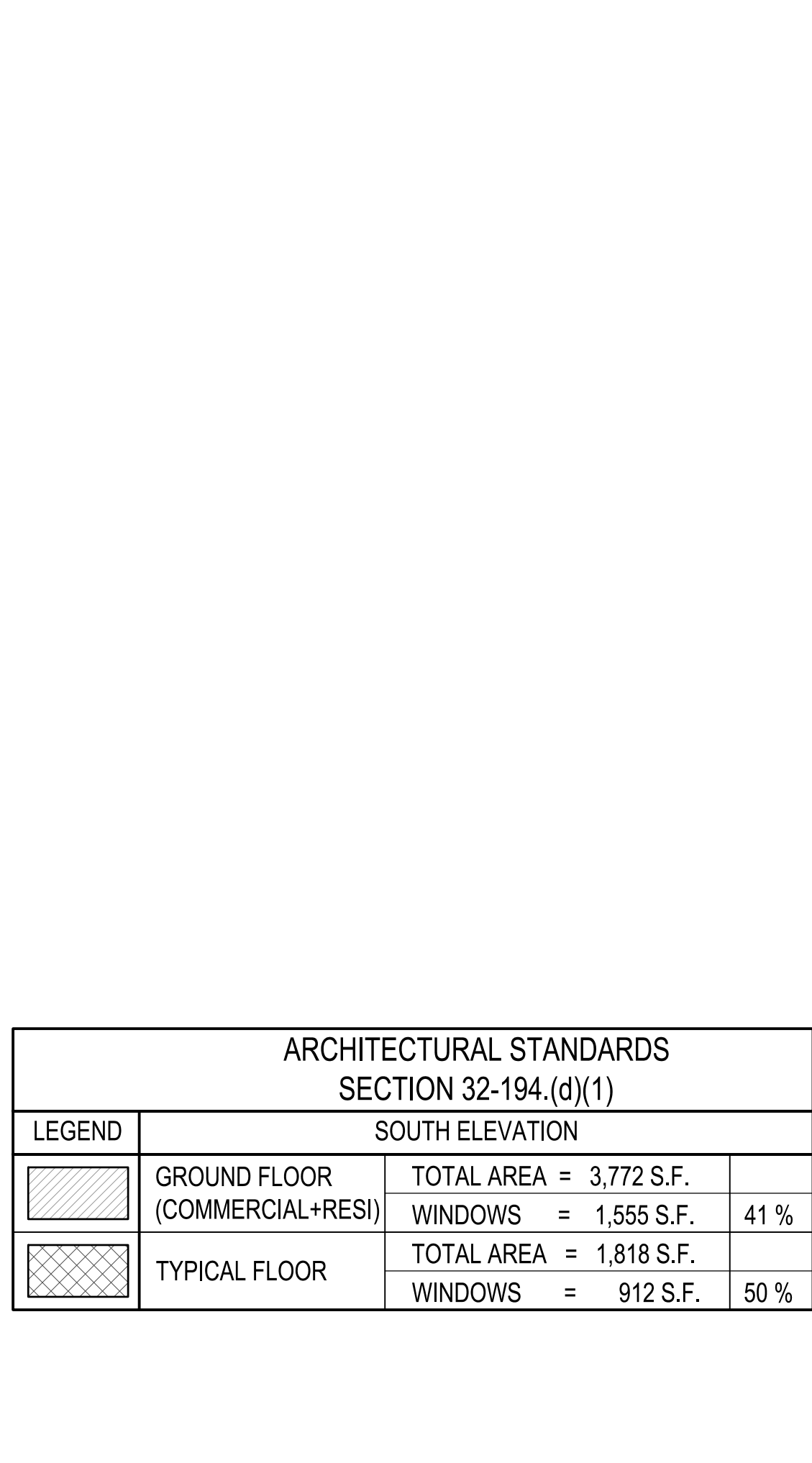


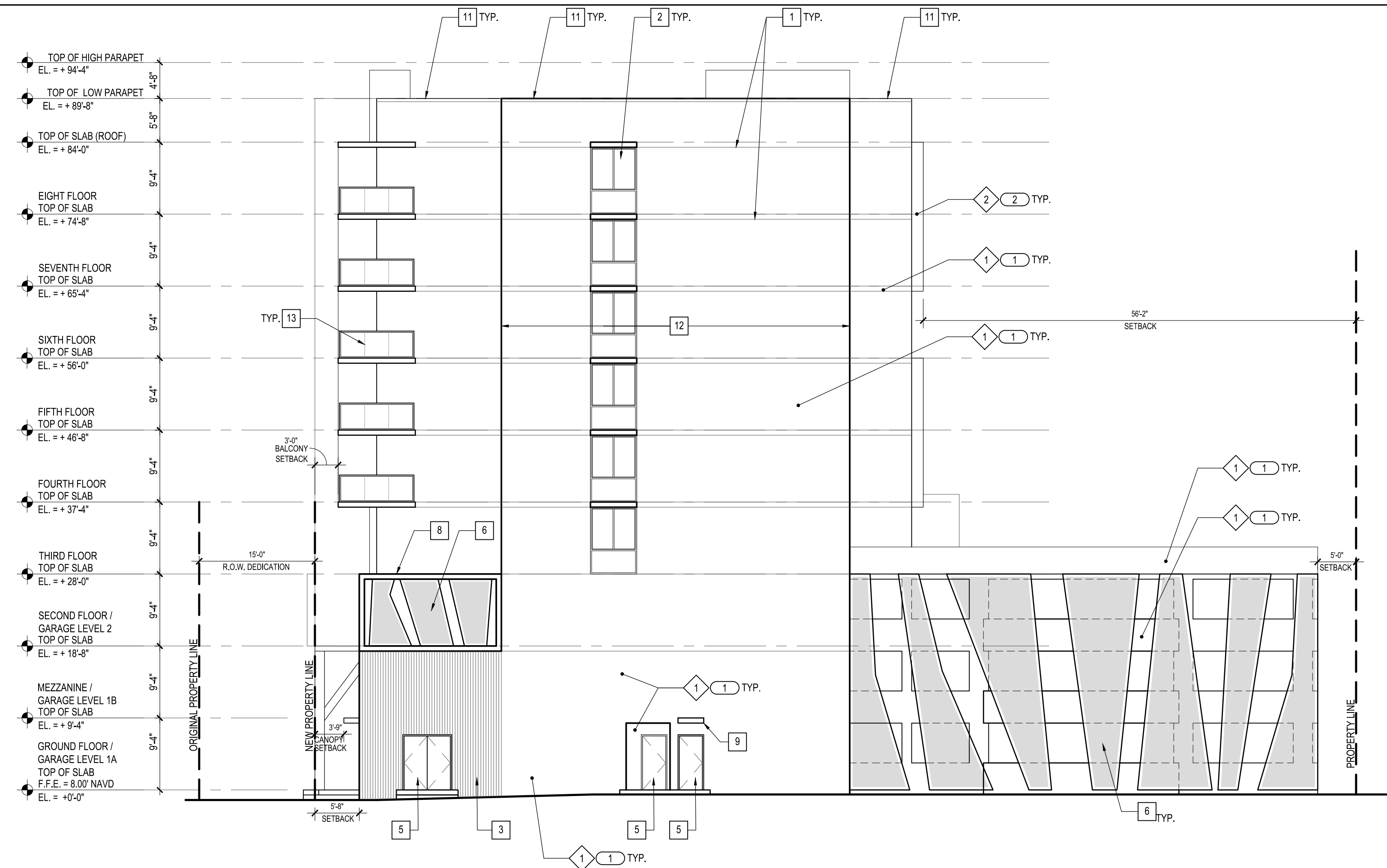
3	ONE BEDROOM WITH DEN SCALE: 1/4" = 1'-0"
----------	---

[illegible]



3 LEGEND

[illegible]



- | | |
|---|---|
| 1 | 1/2" REVEAL SCREED |
| 2 | ALUM. & GLASS WINDOW WALL SYSTEM, TYP. |
| 3 | SIMULATED WOOD (ALUMINUM WALL CLADDING PANELS). |
| 4 | ALUM. & GLASS IMPACT RESISTANT SWING DOOR, TYP. |
| 5 | PAINTED HOLLOW METAL DOOR AND FRAME, LARGE
MISSILE IMPACT RESISTANT SYSTEM. |
| 6 | DECORATIVE PERFORATED METAL SCREEN ENCLOSURE OVER PARKING STRUCTURE, GC
TO SUBMIT ENGINEERED SHOP DRAWINGS PRIOR TO MANUFACTURING AND INSTALLATION.
COORDINATE WITH MAXIMUM ALLOWED OPENINGS PER FBC 2023 TABLE 705.6 |
| 7 | ALUMINUM OVERFLOW WITH PRECAST CONCRETE SCUPPER. |

- | | |
|----|---|
| 10 | BUILDING SIGN AREA "X" BACK LIT C-SHAPE ALUMINUM LETTERS AND NUMBERS (SIGN AREAS PROVIDED ARE FOR REFERENCE PURPOSES. ACTUAL SIGNS SHOULD BE SUBMITTED TO THE CITY HALL/DALE BEACH FOR REVIEW AND APPROVAL AT THE TIME OF BUILDING PERMIT). ALL SIGNAGE SHALL CONFORM WITH DIVISION 17 OF THE ZONING AND LAND DEVELOPMENT CODE. |
| 11 | METAL CAP ON ROOF PARAPET (HEIGHT TO BE MIN. 42" FROM TOP OF ROOF ELEVATION). |
| 12 | 25% MAXIMUM ALLOWED OPENINGS PER FBC 2023 TABLE 705.6 |
| 13 | BALCONY WITH ALUMINUM AND GLASS HANDRAIL. |

EXTERIOR FINISHES

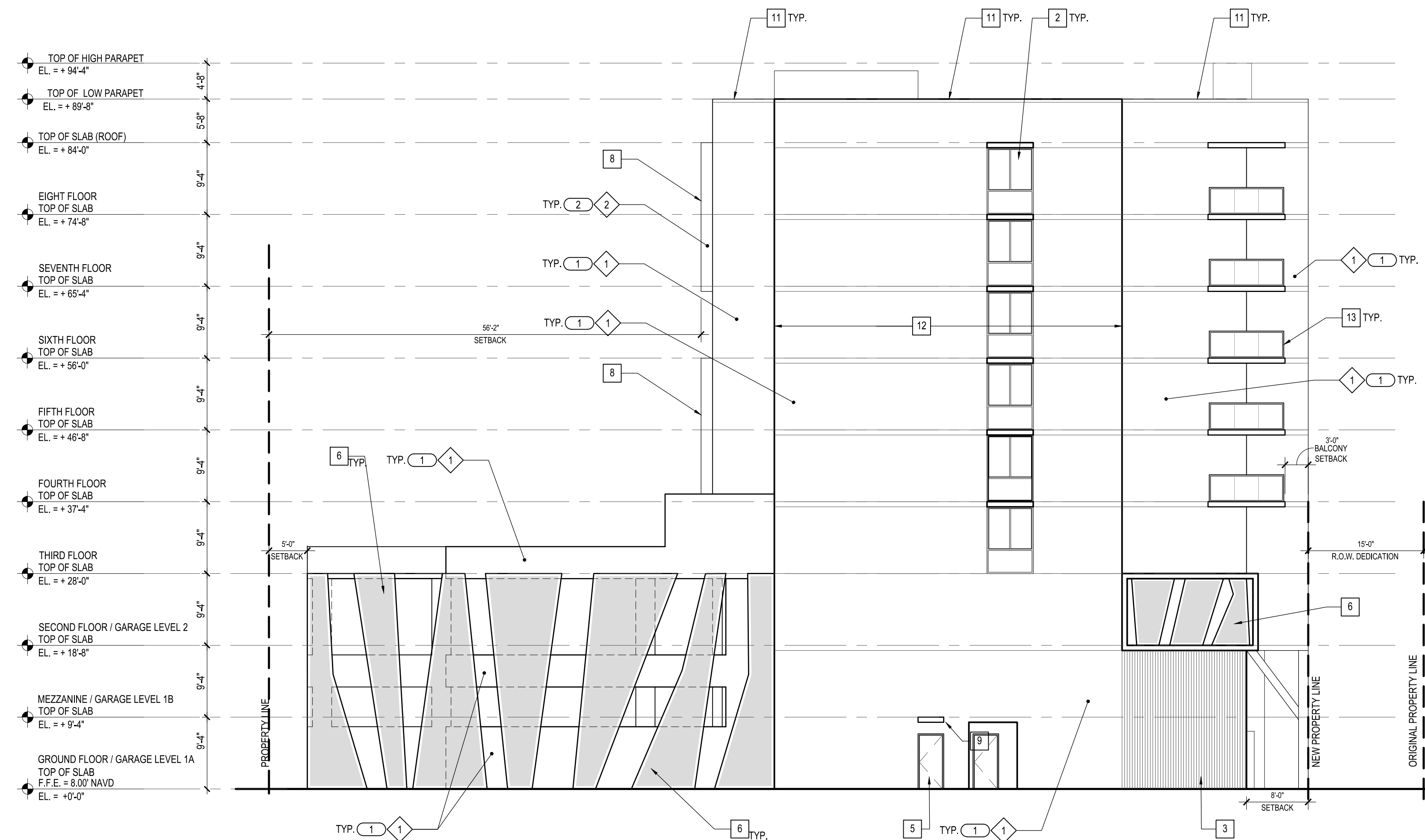
- 1 SMOOTH FINISH STUCCO, PAINTED
- 2 TEXTURED FINISH STUCCO, PAINTED

EXTERIOR COLORS

- 1 FIELD COLOR TO BE SELECTED BY THE ARCHITECT
- 2 ACCENT COLOR TO BE SELECTED BY THE ARCHITECT

2 EAST ELEVATION

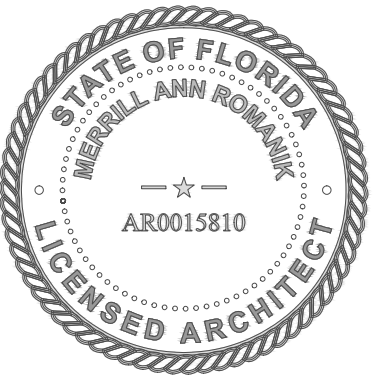
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



Merrill Ann Romanik
AR 0015810
Seal



HALLANDALE CENTRAL PARK

113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA, 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

[illegible]

DESIGN
DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 12-20-2024

PROJECT NUMBER: 1729-230311

DRAWN BY: CD
CHECKED BY: JS

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SHEET TITLE:

BUILDING ELEVATIONS

SHEET NUMBER:

A-202



3 BUILDING SOLAR STUDY (DECEMBER 5:00PM)
SCALE: N/A



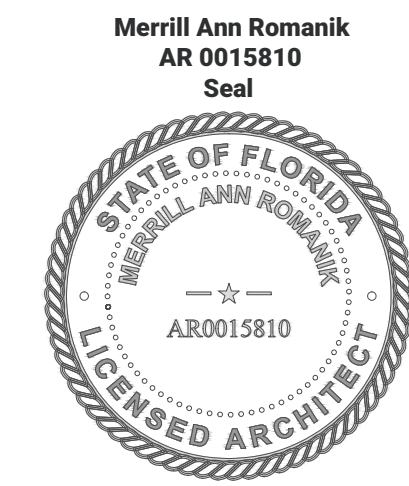
4 BUILDING SOLAR STUDY (DECEMBER 8:00AM)
SCALE: N/A



2 BUILDING SOLAR STUDY (JUNE 5:00PM)
SCALE: N/A



1	BUILDING SOLAR STUDY (JUNE 8:00AM) SCALE: N/A
---	--



HALLANDALE CENTRAL PARK

113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA, 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

[illegible]

DESIGN
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ISSUE DATE: 12-20-2024

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SHEET TITLE:

**BUILDING
SOLAR STUDY**

SHEET NUMBER:
A-203



1113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA, 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

DESIGN
DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 12-20-2024

PROJECT NUMBER: 1729-230311

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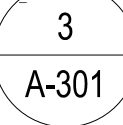
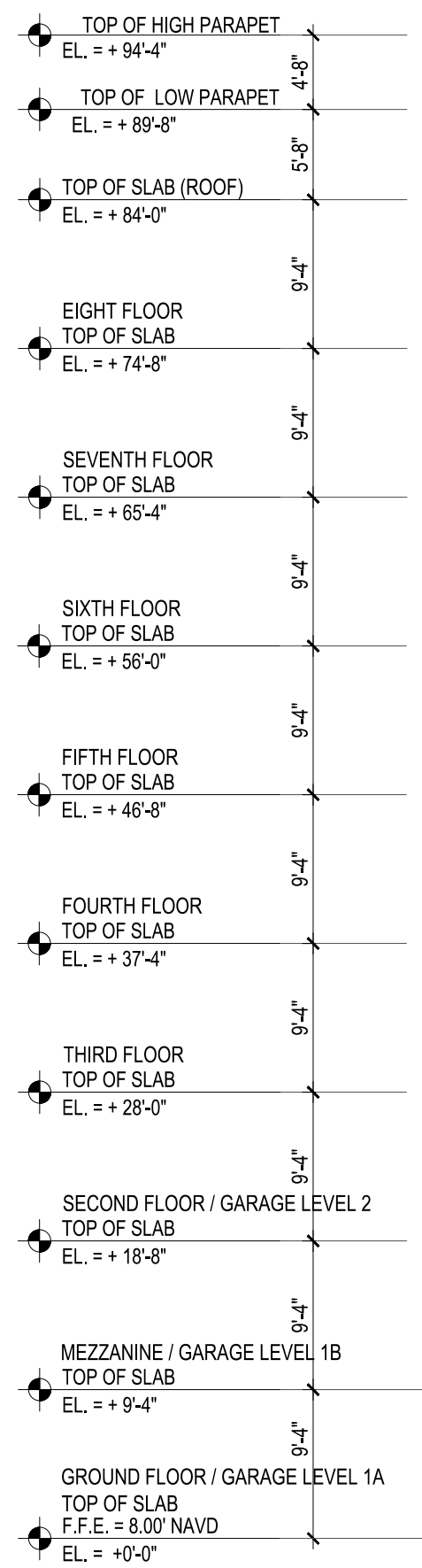
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SHEET TITLE:

BUILDING SECTIONS

SHEET NUMBER:

A-301



3 ENLARGED SECTION (UNIT 1 B WITH MEZZANINE)

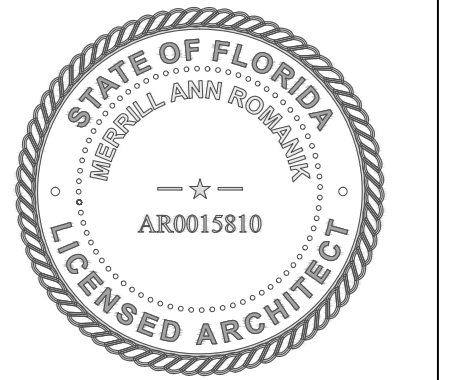
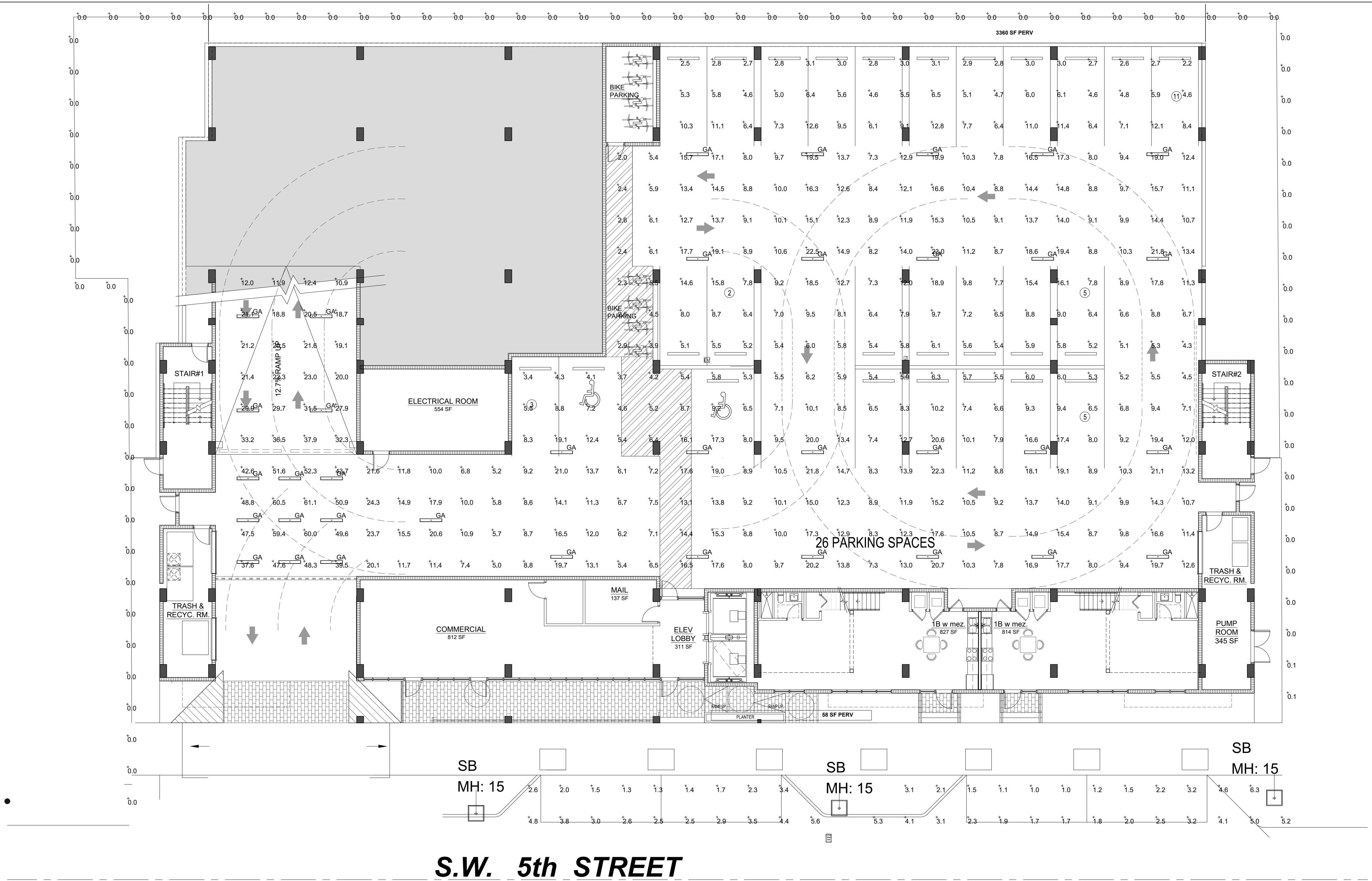
2 BUILDING SECTION

SCALE: 3/32" = 1'-0"



1 BUILDING SECTION

SCALE: 3/32" = 1'-0"

[illegible]

DESIGN
DELIVERABLE: DRC SUBMITTAL
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SHEET TITLE:


PHOTOMETRIC PLAN

SHEET NUMBER:

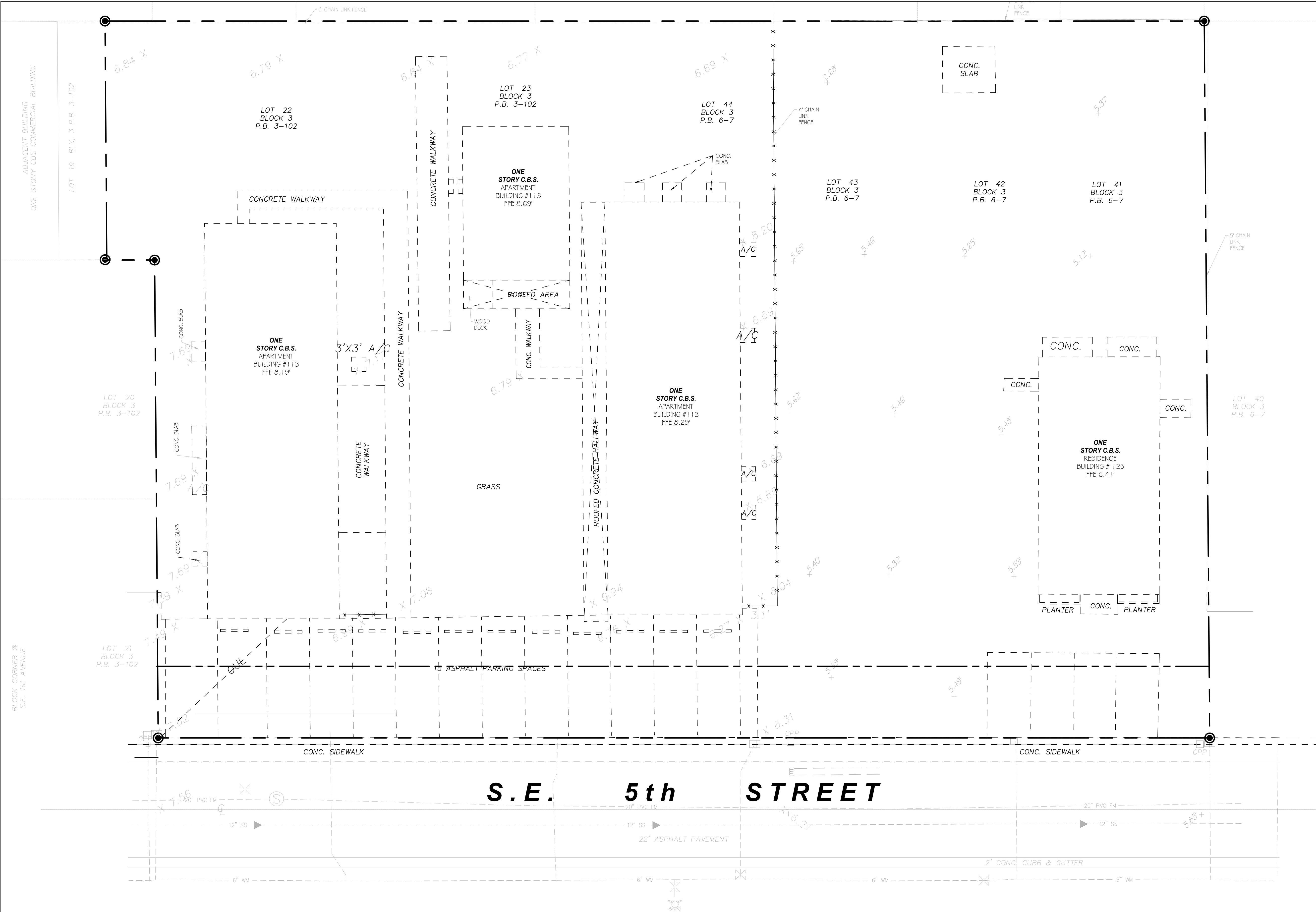
SITE AND LEVEL 1 GARAGE LIGHTING

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Watts	Lum. Lumens
	3	SB	GARDCO#: ECF-S-32L-530-NW-G2-2-HIS / MTD AT 15' AFG	0.900	55.7	5772

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FRONT PARKING AREAS	Illuminance	Fc	2.80	6.3	1.0	2.80	6.30
PROPERTY LINE	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Watts	Lum. Lumens
	36	GA	BEGHELLI#: BS100LEDPG4HTHOWT40120-277V / MTD AT 9' AFF	0.900	60	8152

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE AISLES	Illuminance	Fc	12.08	23.0	4.3	2.81	5.35
ENTRANCE AREA	Illuminance	Fc	50.06	61.1	37.6	1.33	1.63
PARKING AREAS	Illuminance	Fc	5.77	12.8	2.2	2.62	5.82
RAMP AREA	Illuminance	Fc	23.10	37.9	10.9	2.12	3.48



DEMOLITION NOTES

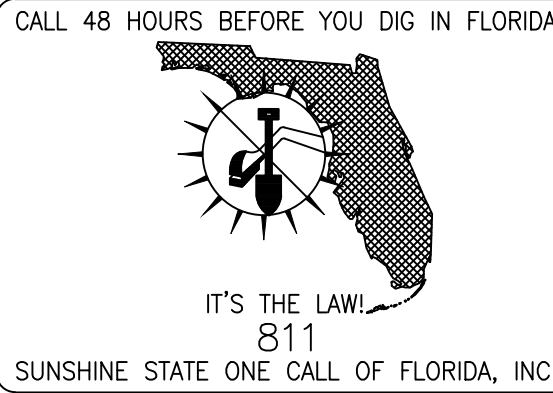
1. THE EXISTING BASE MATERIAL, REMOVED BY DEMOLITION WORK MAY NOT BE REUSED FOR NEW BASE MATERIAL.
2. CONTRACTOR SHALL REMOVE EXISTING PAVEMENT STRUCTURE BASED UPON FINAL FINISHED SURFACE (GRASS OR PAVEMENT) AS REQUIRED PER THE FOLLOWING PROPOSED IMPROVEMENTS

PAVEMENT: REMOVE ASPHALT/ CONCRETE SURFACE ONLY

GRASS: REMOVE ASPHALT / CONCRETE AND ROCK BASE AND REGRADE AS REQUIRED PER PLAN.
3. THE CONTRACTOR SHALL SAWCUT ALONG A NEAT STRAIGHT LINE, AT ALL POINTS OF CONNECTION WITH EXISTING PAVEMENT / SIDEWALK / CURB THAT ARE TO REMAIN.
4. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS ALONG DEMOLITION AREAS AND MAINTAIN IN PLACE A CITY APPROVED MAINTENANCE OF TRAFFIC PLAN.
5. ALL ON-SITE ABOVE AND BELOW GROUND ITEMS (INCLUDING CHAIN LINK FENCE, WALLS, BOLLARDS, SIGNS, LIGHT POLES, ETC.) SHALL BE REMOVED BY CONTRACTOR WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED TO REMAIN.
6. ALL UTILITY COMPANIES (FPL, ATT, GAS CO., ETC.) SHALL BE PRIOR TO BEGINNING OF DEMOLITION FOR REMOVAL AND/OR DISCONNECTION OF ON-SITE SERVICE LINES/ POLES. ANY REMNANTS LEFT BY UTILITY COMPANIES SHALL BE REMOVED BY CONTRACTOR.
7. PRIOR TO BUILDING DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE CITY OF HALLANDALE BEACH PUBLIC WORKS DEPARTMENT FOR REMOVAL OF ASSOCIATED WATER METERS.
8. ALL DEMOLITION DEBRIS NOT OTHERWISE NOTED ON THE PLANS OR IN THESE NOTES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY REQUIREMENTS.
9. ALL EXISTING ONSITE TREES/ BUSHES TO BE REMOVED/ RELOCATED AS NOTED ON LANDSCAPE PLANS. ALL SOO AND TOP SOIL SHALL BE STRIPPED SO SUBGRADE AND BASE ROCK CAN BE ADDED.
10. CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY DEWATERING AND/OR DRAINAGE REQUIRED DURING DEMOLITION.
11. ANY RELOCATION/REMOVAL OF ELECTRICAL POLES & OVERHEAD WIRES TO BE COORDINATED W/ FPL AS REQUIRED.
12. ON-SITE UNDERGROUND WATER AND SEWER MAINS SHALL BE REMOVED COMPLETELY WITHIN THE PROPERTY.
13. BACKFILL FOR ANY VOIDS LEFT BY REMOVAL OF UNDERGROUND UTILITIES SHALL BE AS NOTED IN BY GEOTECHNICAL ENGINEER RECOMMENDATIONS FOR SUCH BACKFILL.
14. CONTRACTOR SHALL COORDINATE W/ CITY THE REMOVAL/RELOCATION OF ANY WATER METERS.
15. CONTRACTOR SHALL COORDINATE W/ FPL FOR REMOVAL/RELOCATION OF ANY POWER POLES.

DEMOLITION LEGEND

----- ITEM TO BE DEMOLISHED



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NPDES
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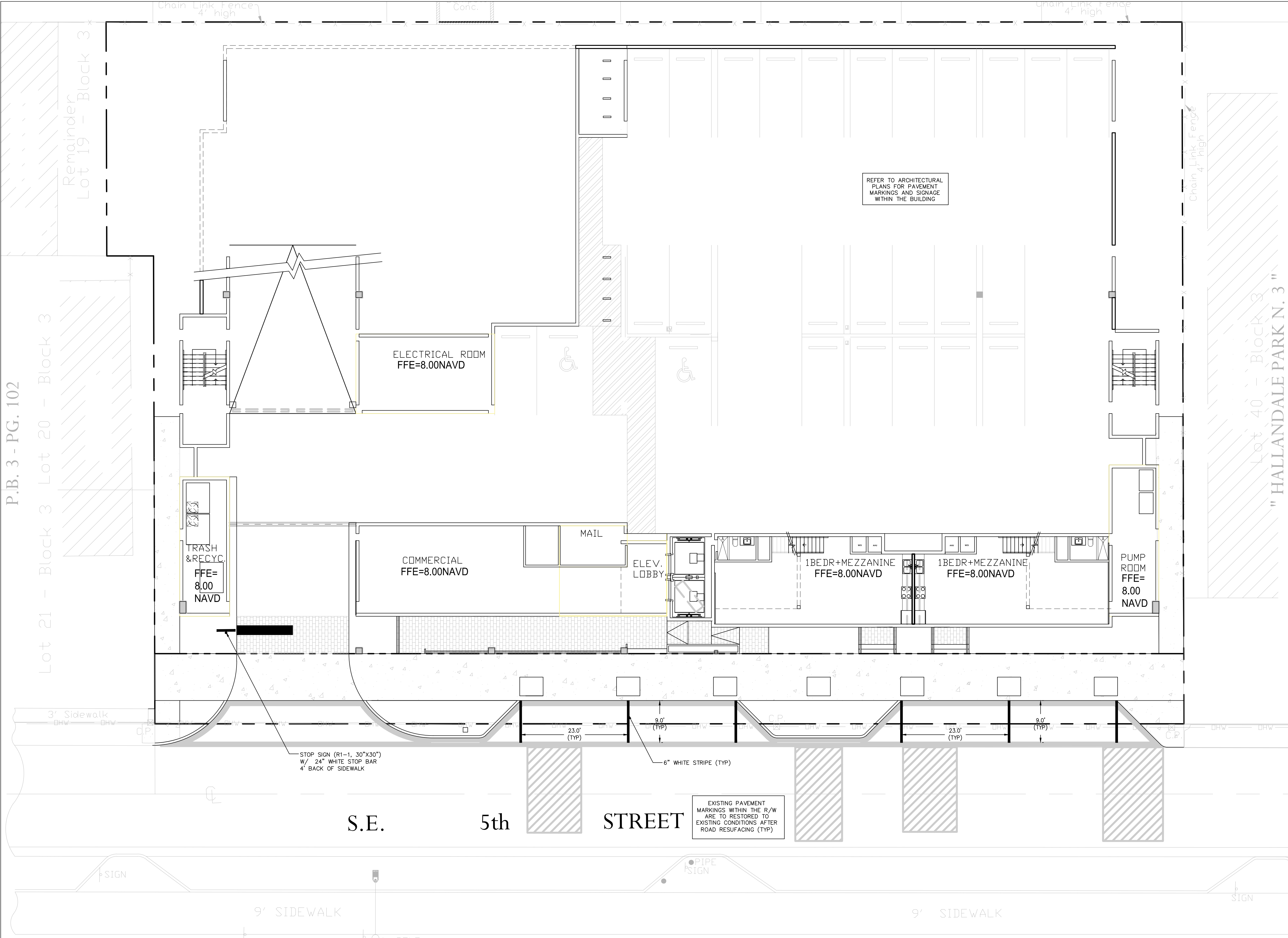
Sheet Title
SITE DEMO PLAN

Job Title
HALLANDALE CENTRAL PARK

Phase:
SITE APPROVAL

Revisions

Scale: 1"=10.0'	Date 08/08/23
Job No. 23-1762.00	Plot Date 07/10/25
Drawn by AJS	Sheet No. D1
Proj. Engr. DRS	
Appr. by DRS	0 of 7



- PAVEMENT MARKING & SIGNAGE NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT FOR PARKING STALL STRIPING.
 2. R1-1 SIGNS SHALL BE HIGH INTENSITY DIAMOND GRADE.
 3. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD).
 4. BLUE RPM'S REQUIRED IN THE CENTER OF THE NEAREST DRIVE ISLE ADJACENT TO FIRE HYDRANTS.
 5. SIGNS SHALL BE MOUNTED ON BCTD STANDARD SQUARE POSTS.

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Sheet Title

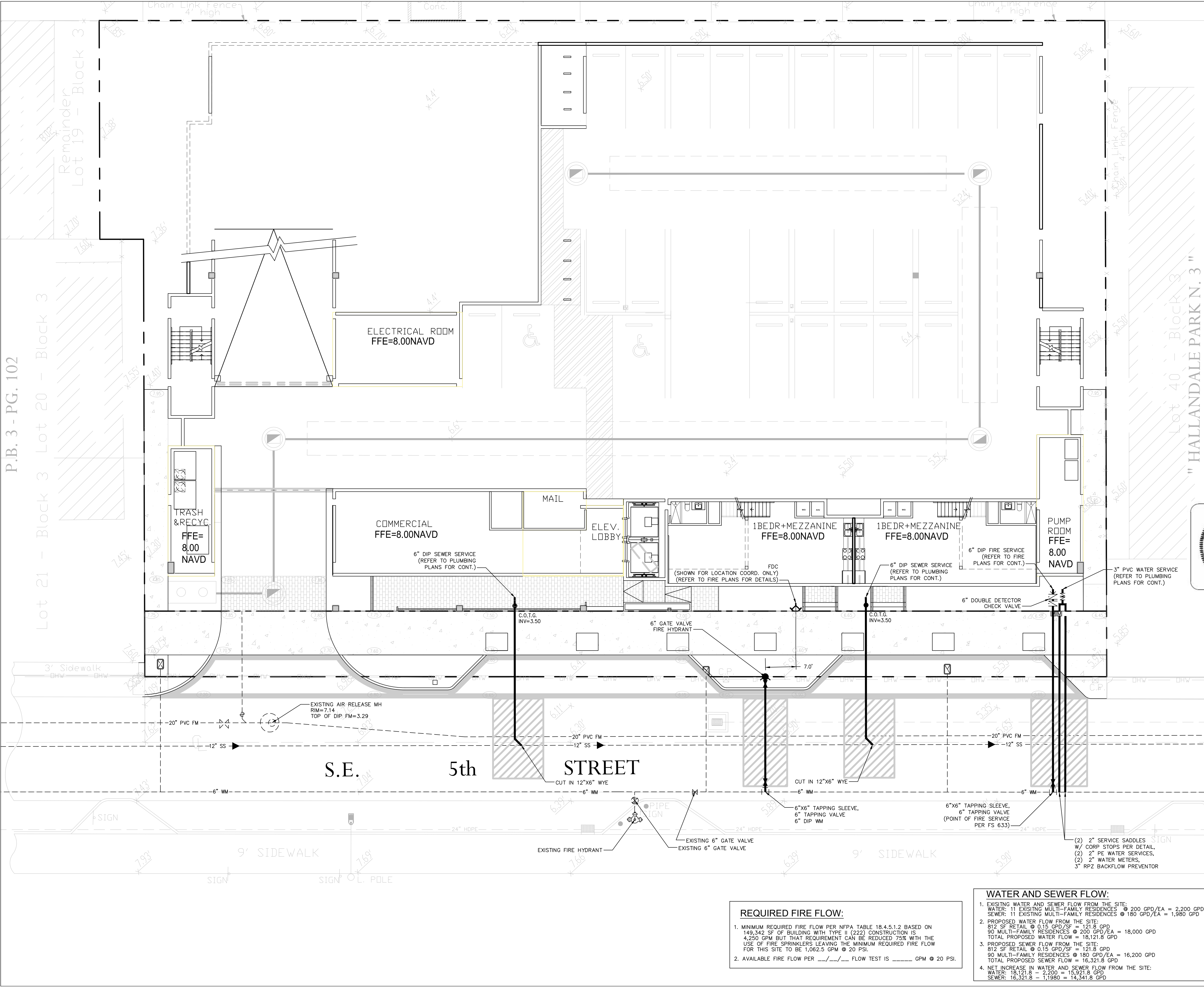
SIGNAGE AND MARKING PLAN

Job Title

HALLANDALE CENTRAL PARK

113-125 SE 5TH STREET
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

Phase:	
SITE APPROVAL	
Revisions	
Scale: 1"=10.0'	Date 08/08/23
Job No. 23-1762.00	Plot Date 08/08/25
Drawn by AJS	Sheet No. C1
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Appr. by DRS	1 of 7



VERTICAL DATUM CONVERSION
GRADING SHOWN UTILIZES N.A.V.D. 88

N.G.V.D. 29
1.51'
N.A.V.D. 88

N.A.V.D. 88 = N.G.V.D. 29 + 1.51'
N.G.V.D. 29 = N.A.V.D. 88 + 1.51'

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW!
811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

WATER NOTES:

1. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
2. WATER AND SEWER MAINS MINIMUM DEPTH OF COVER TO BE: 30" FOR DIP AND 36" FOR PVC MAINS.
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
4. W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS.
5. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
6. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
7. CONTRACTOR SHALL VERIFY EXISTING WATER/SEWER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
8. MINIMUM FIRE FLOW REQUIRED PER NFPA TABLE 18.4.5.1.2 BASED ON 45,915SF TYPE V(000) CONSTRUCTION REQUIRES 5,750 GPM BUT CAN BE REDUCED 75% WITH SPRINKLERS FOR 1437.5 GPM SO THE 1,500 GPM MINIMUM IS REQUIRED FOR THIS PROJECT.



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LEGEND:

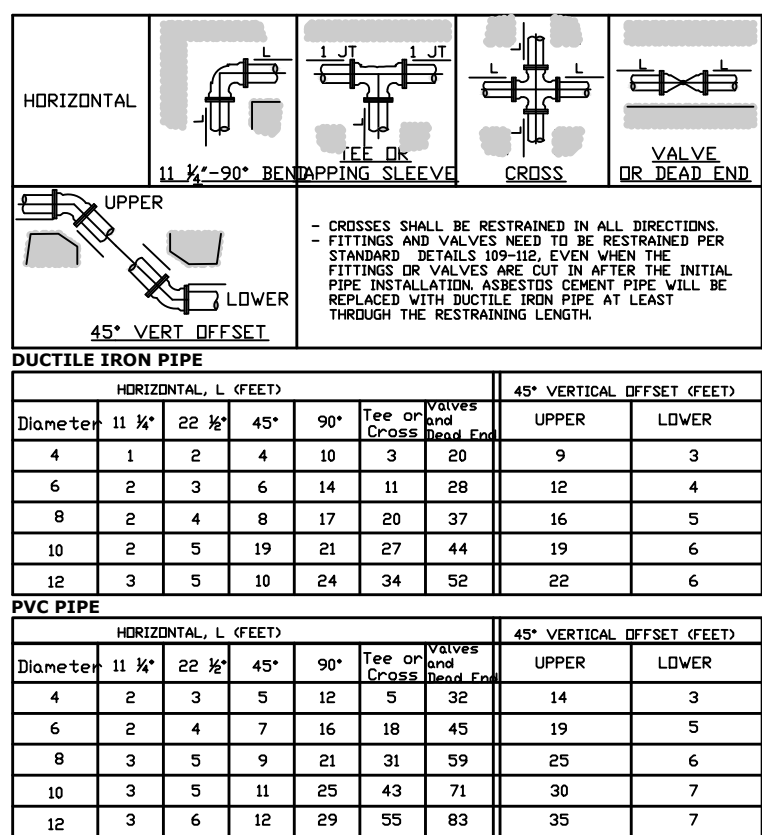
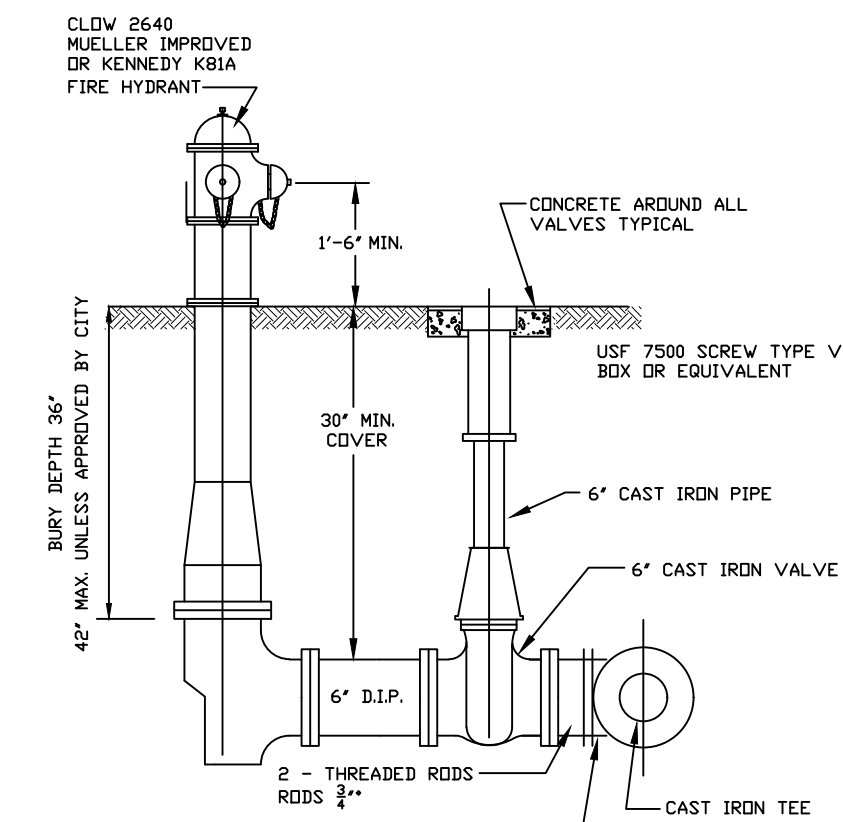
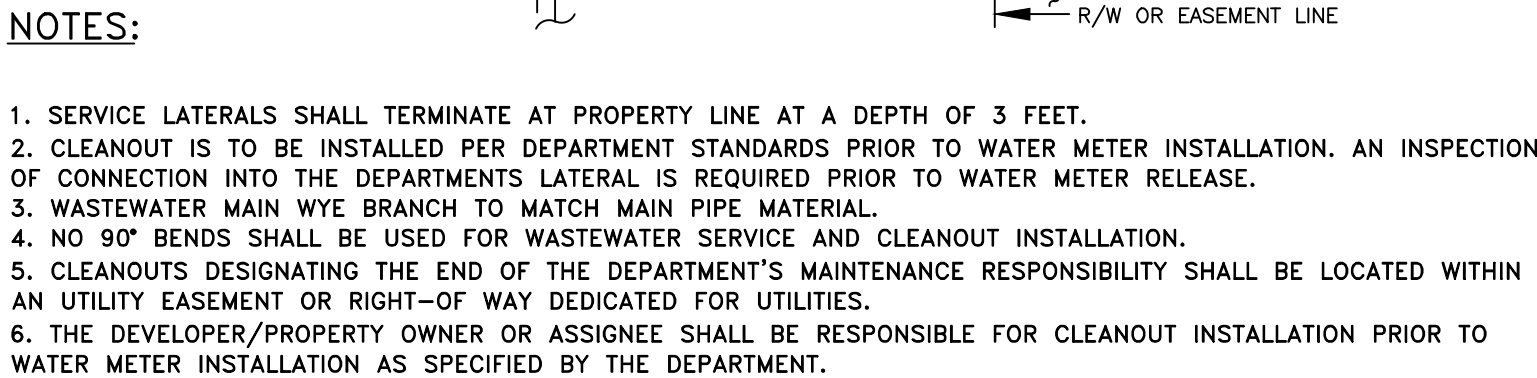
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED PLUG
- TEE
- WATER METER
- DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- VALVE
- FIRE HYDRANT
- SIAMESE CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE REMOVED

REQUIRED FIRE FLOW:

1. MINIMUM REQUIRED FIRE FLOW PER NFPA TABLE 18.4.5.1.2 BASED ON 149,342 SF OF BUILDING WITH TYPE II (222) CONSTRUCTION IS 4,250 GPM BUT THAT REQUIREMENT CAN BE REDUCED 75% WITH THE USE OF FIRE SPRINKLERS LEAVING THE MINIMUM REQUIRED FIRE FLOW FOR THIS SITE TO BE 1,062.5 GPM @ 20 PSI.
2. AVAILABLE FIRE FLOW PER _____ FLOW TEST IS _____ GPM @ 20 PSI.

WATER AND SEWER FLOW:

1. EXISTING WATER AND SEWER FLOW FROM THE SITE:
WATER: 11 EXISTING MULTI-FAMILY RESIDENCES @ 200 GPD/EA = 2,200 GPD
SEWER: 11 EXISTING MULTI-FAMILY RESIDENCES @ 180 GPD/EA = 1,980 GPD
2. PROPOSED WATER FLOW FROM THE SITE:
812 SF RETAIL @ 0.15 GPD/SF = 121.8 GPD
90 MULTI-FAMILY RESIDENCES @ 200 GPD/EA = 18,000 GPD
TOTAL PROPOSED WATER FLOW = 18,121.8 GPD
3. PROPOSED SEWER FLOW FROM THE SITE:
812 SF RETAIL @ 0.15 GPD/SF = 121.8 GPD
90 MULTI-FAMILY RESIDENCES @ 180 GPD/EA = 16,200 GPD
TOTAL PROPOSED SEWER FLOW = 16,321.8 GPD
4. NET INCREASE IN WATER AND SEWER FLOW FROM THE SITE:
WATER: 18,121.8 - 2,200 = 15,921.8 GPD
SEWER: 16,321.8 - 1,980 = 14,341.8 GPD



THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH THRUST RESTRAINT CALCULATOR V6.1 BY EBAA IRON WITH THE FOLLOWING ASSUMPTIONS:

SOIL CONDITIONS:	SAND (SW, SP, GW)
LAYING CONDITION:	4, SAND BEDDING, BACKFILL COMPACTED
MINIMUM COVER:	3.0 FT
SAFETY FACTOR:	1.5

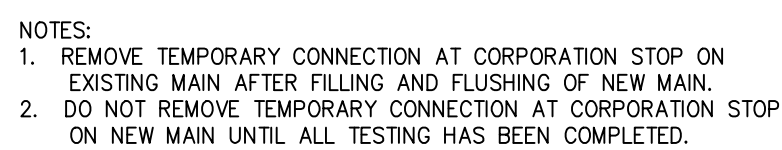
IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY ENGINEER.

SINGLE FITTING RESTRAINED JOINT
150 PSI TEST PRESSURE

RESTRAINED JOINT DETAIL
NT.2

NOTE:

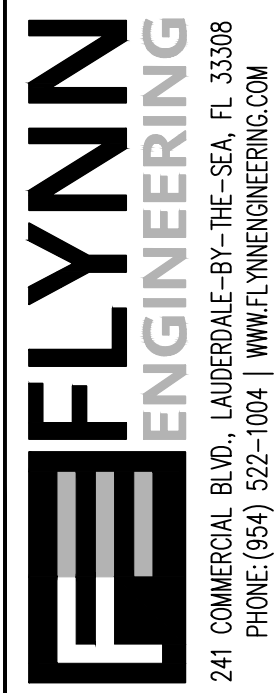
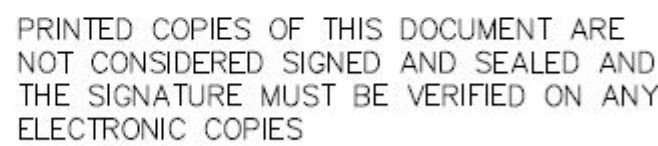
1. CONCRETE COLLAR IS NOT REQUIRED WHEN VALVE IS LOCATED WITHIN NEW PAVEMENT.



NTS



- NOTES:
1. ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
 2. ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.



Sheet Title

WATER AND SEWER DETAILS

Job Title
HALLANDALE CENTRAL PARK

Phase:
PERMITTING
PLANS

Revisions

Scale: NTS	Date 08/08/23
Job No. 23-1762.00	Plot Date 08/08/23
Drawn by AJS	Sheet No. C5
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Appr. by DRS	5 of 7

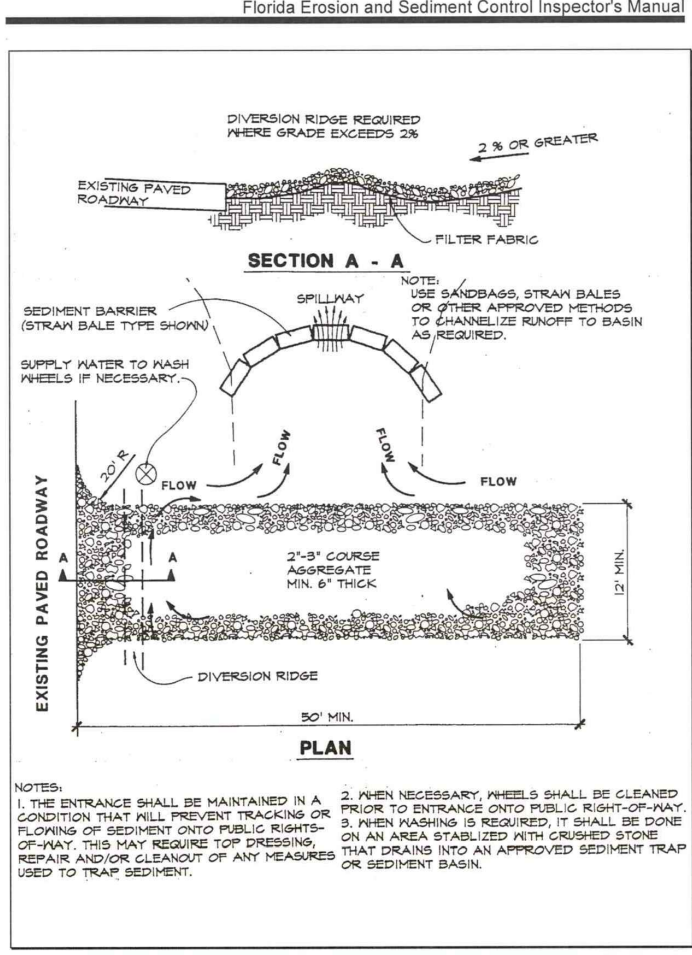
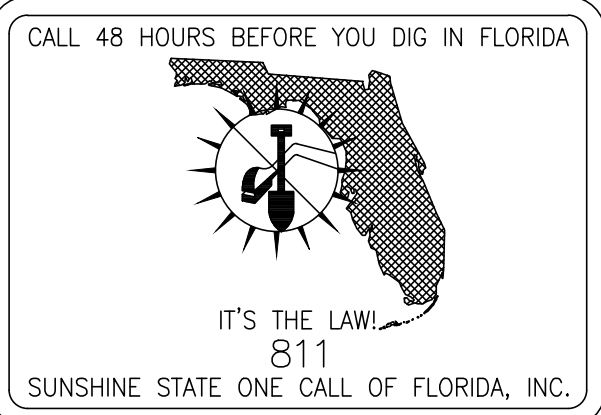
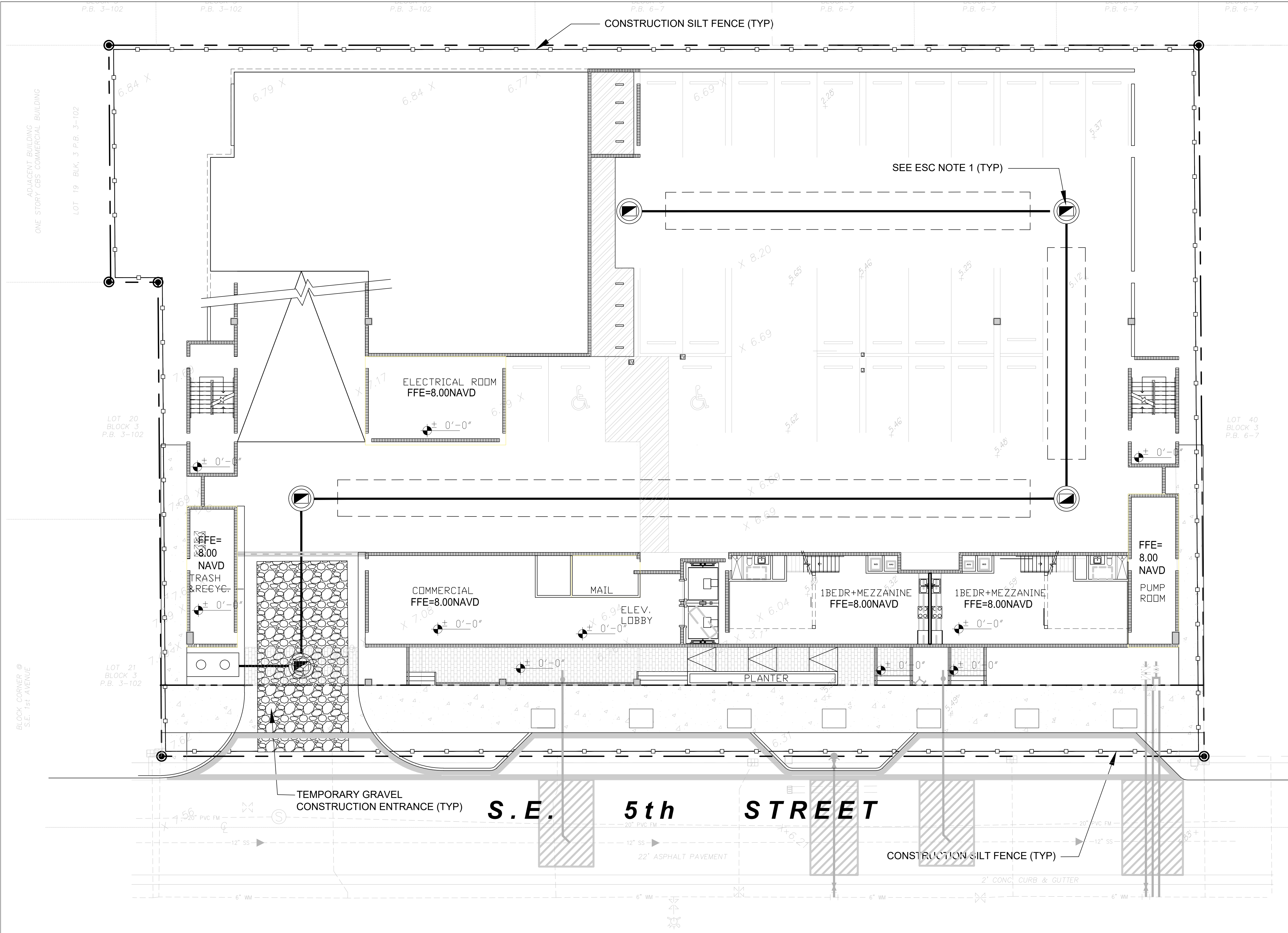


Plate 4.03a: Temporary Gravel Construction Entrance
Source: Erosion Draw

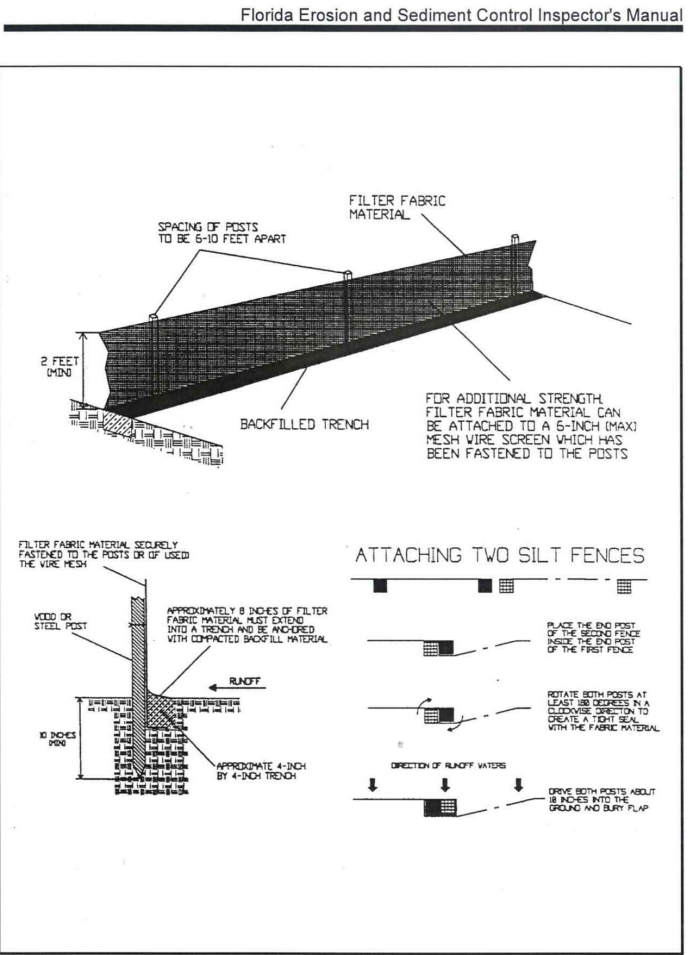
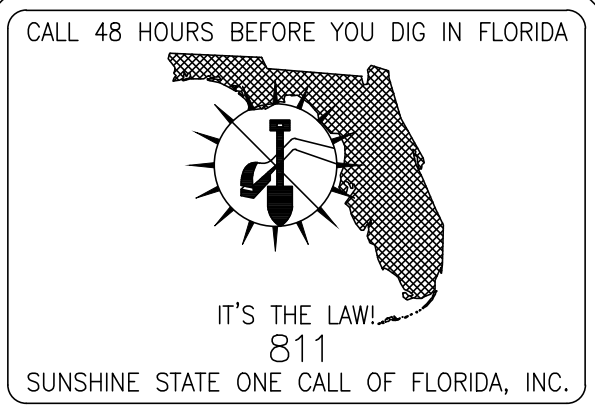


Plate 4.03b: Installing a Filter Fabric Silt Fence
Source: HydroDynamics, Inc.



NPDES

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- ESC NOTES:
1. DRAINAGE STRUCTURES INSTALLED TO BE PROTECTED WITH FILTER FABRIC AND/OR PERIMETER SILT FENCE.
 2. THIS PLAN REFLECTS THE ENGINEER'S SUGGESTION FOR EROSION AND SEDIMENT CONTROL. SITE OPERATOR TO MODIFY PLAN AS NEEDED TO MAINTAIN "BEST MANAGEMENT PRACTICES" DURING CONSTRUCTION.
 3. CONTRACTOR TO SCHEDULE PRE-CONSTRUCTION MEETING AND NPDES INSPECTION WITH CITY ENGINEERING INSPECTOR AT 954-457-1397 PRIOR TO CONSTRUCTION.

FLYNN ENGINEERING

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EFL 6576

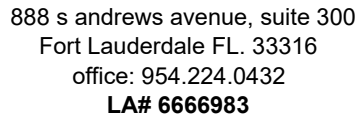
Sheet Title
EROSION & SEDIMENT CONTROL PLAN

Job Title
HALLANDALE CENTRAL PARK

Phase:
PERMITTING PLANS

Revisions

Scale: 1"=20.0'	Date: 08/08/23
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1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807



113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

[illegible]

DESIGN	SCHEMATIC
DELIVERABLE:	DRAWINGS
ISSUE DATE:	10/01/2024

PROJECT NUMBER: 1729-230311

DRAWN BY: nbb
CHECKED BY: nbb

SHEET TITLE:

**LANDSCAPE
NOTES**

SHEET NUMBER:

LANDSCAPE GENERAL NOTES

- CONTRACTOR MAKE THEIR OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK
3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS". CURRENT EDITION RESPECTIVELY.
4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
6. ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID, UNLESS OTHERWISE NOTED.
7. ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH/ FLORIMULCH, & SHALL BE A MIN. OF 1" - 0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)
8. ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
9. ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
10. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS. TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
11. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
12. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
13. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
14. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
15. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
16. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
17. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
18. THE LANDSCAPE CONTRACTOR SHALL LAY OUT THEIR WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
19. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
20. PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS), OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD), HVY (INDICATED HEAVY), MIN (INDICATES MINIMUM).
21. SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
22. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
23. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS NO DEEPER THAN THE FINAL GRADE SURROUNDING THE PLANTING AREA.
24. DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST
25. COMMERCIAL FERTILIZER FOR TREES, SHRUBS AND GROUND COVER COMMERCIAL FERTILIZER SHALL BE NUTRI PAK® 3 YR. TIME RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT-ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED NUTRI PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES EG. TREES, SHRUBS, FLOWERING PLANTS, POTTED PLANTS AND PALMS. NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES OR LESS. PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS: MATURE PLANTINGS: TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION, TAP HOLE CLOSED WITH HEEL OF YOUR FOOT. SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD. GENERAL SLOW-RELEASE FERTILIZERS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS AS A 13-0-13 LOW PHOSPHORUS SHALL MEAN 2% OR LESS. APPLICATION RATES SHALL BE ADHERED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.
26. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COLONYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:
- 1 PAC PER TREE - 36" BALL SIZE
 - 2 PAC PER TREE - OVER 36" BALL SIZE
 - 1 PAC PER 20 GAL. CONTAINER
 - 0.5 PACS PER 7-10 GAL. CONTAINER
 - 0.25 PACS PER 3 GAL. CONTAINER
 - 0.12 PACS PER 1GAL. CONTAINER
27. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
28. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE. PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
29. WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER
30. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
31. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
32. MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS. SHALL BE REPAIRED PROMPTLY
33. (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES) THE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION
34. MULCH: MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE-INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL.
35. GRASS. AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OR ST. AUGUSTINE FLORATAM OR PALMETTO AND SHALL BE IRRIGATED
36. EXCAVATION REQUIREMENT: REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW THE TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL. A MIN 2" OF TOPSOIL SHALL BE INSTALLED BELOW ALL SODDED AREAS.
37. A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSCAPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN HEIGHT WILL BE APPROVED IN SWALE AREAS.
38. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURAL ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
- MINIMUM SOIL DEPTH: REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
 - ROOTBALL SOIL: REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
 - NATIVE SOIL: REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.
 - ARID PALMS: REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
39. USE OF ORGANIC MULCHES: A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL, AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPED AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
40. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
41. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS: ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS-OF WAY.
42. SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
43. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE NO. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PRECEEDING IS ACHIEVED



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HALLANDALE CENTRAL PARK

1113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

DESIGN SCHEMATIC
DELIVERABLE: DRAWINGS
ISSUE DATE: 10/01/2024

PROJECT NUMBER: 1729-230311
DRAWN BY: nbb
CHECKED BY: nbb

CHECKED BY: nbb

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SHEET TITLE:

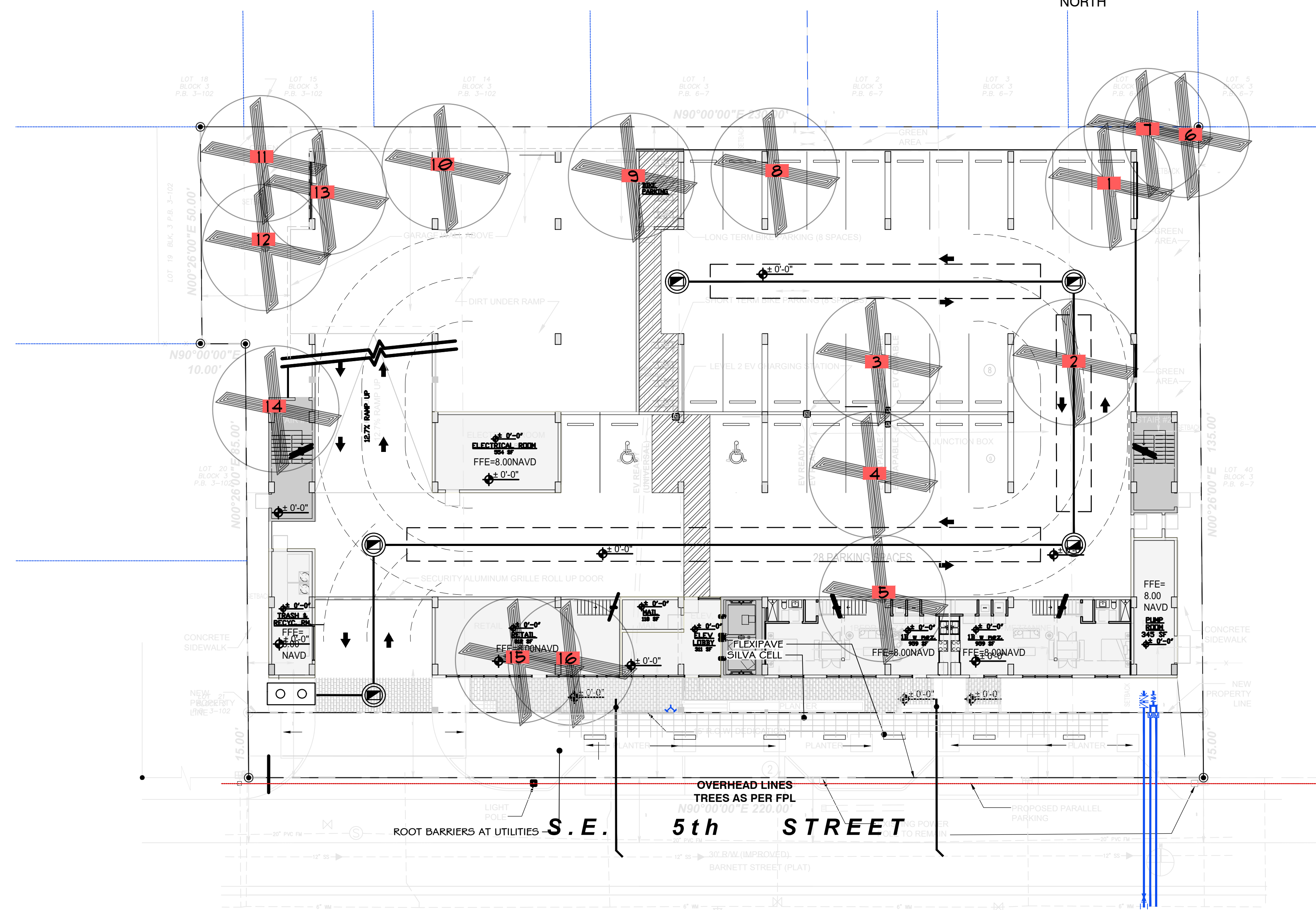
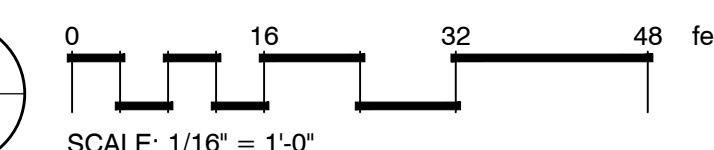
TREE DISPOSITION PLAN

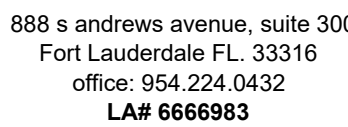
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L-1.0

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PLEASE SEE ARBORIST REPORT FOR
THREE TREES (#1, 3,5) TREES ARE NO
SPECIMEN PER DEFINITION AND
CONDITION RATING.





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113-125 SE 5TH STREET
HALLANDALE BEACH, FLORIDA 33009

CLIENT: HALLANDALE CENTRAL PARK, LLC

[illegible]

DESIGN	SCHEMATIC
DELIVERABLE:	DRAWINGS
ISSUE DATE:	10/01/2024

PROJECT NUMBER: 1729-230311

DRAWN BY: nbb
CHECKED BY: nbb

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SHEET TITLE:

**LANDSCAPE
PLAN**

SHEET NUMBER:

L-2.0

Trees On-site	Qty	Botanical name	Common Name	Cal	Quality	Height at planting	Drought	Native	Note	# of Tree Credits
CD	4	<i>Coccoloba diversifolia</i>	Pigeon Plum	3 IN	FL #1 OR BETTER	15' STD	X	X		4
CE	9	<i>Conocarpus erectus</i>	Green Buttonwood	3 IN	FL #1 OR BETTER	16' h x 6-8" w, 5' CT	X	X		9
CS2	12	<i>Conocarpus erectus</i> 'Sericeus'	Silver Buttonwood	2 IN	FL #1 OR BETTER	15' STD	X	X		12
LIA	2	<i>Lagerstroemia indica</i>	Crape Myrtle	3 IN	FL #1 OR BETTER	15' STD	X			2

CS2	4	<i>Conocarpus erectus</i> 'Sericeus'	Silver Buttonwood	2 IN	FL #1 OR BETTER	15' STD	X	X	FI-Friendly, FPL	4
LIA	3	<i>Lagerstroemia indica</i>	Crape Myrtle	3 IN	FL #1 OR BETTER	15' STD	X		FI-Friendly, FPL	3

[illegible]

Shrubs	Qty	Botanical name	Common Name	Size	Quality	Height at planting	Drought	Native	Note	Maintain
AD	16	<i>Alternanthera dentata</i>	Little Ruby	3gal	FL#1 or BETTER	6"	X		10" o.c.	12" x 18"
CH	98	<i>Chrysobalanus icaco</i>	Cocoplum	3gal	FL#1 or BETTER	24" x 24"		X	30" o.c.	20" x 20"
CG	193	<i>Clusia guttifera</i>	Small leaf Clusia	7gal	FL#1 or BETTER	30" x 30"	X	X	30" o.c.	Maintain as hedge
DE	11	<i>Duranta erecta 'Gold Mound'</i>	Duranta	3gal	FL#1 or BETTER	16" x 16"	X	X	20" o.c.	Maintained 30"
EL	116	<i>Ernodea littoralis</i>	Golden Creeper	1 gal	FL#1 or BETTER	14"x14"	X	X	18" o.c.	18" x 18"
MC	6	<i>Muhlenbergia capillaris</i>	Pink Muhly	1 gal	FL#1 or BETTER	12" X 12"	X	X	24" o.c.	2-4' H
NE	281	<i>Nephrolepis exalta</i>	Boston Fern	3gal	FL#1 or BETTER	18" x 18"		X	30" o.c.	4'-6'
NO	28	<i>Nerium oleander 'Dwarf'</i>	Dwarf Oleander	3gal	FL#1 or BETTER	24" x 24"	X		30" o.c.	4'-6'

EL	197	<i>Ernodea littoralis</i>	Golden Creeper	1 gal	FL#1 or BETTER	14"x14"	X	X	18" o.c.	terminal hgt 18 inches
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[illegible][illegible]

LANDSCAPE INSTALLATION AND MAINTENANCE. 3" OF CLEAN MULCH SHALL BE INSTALLED AROUND ALL NEW AND EXISTING TREES, PALMS AND THROUGHOUT PLANTING BEDS; MULCHED AREAS AROUND TREES SHALL HAVE A MINIMUM OF 4' RADIUS; MULCH SHALL BE KEPT 3" AWAY FROM THE TRUNKS AND STEMS OF PLANTS. PLEASE DO NOT USE CYPRRESS OR RED MULCH (EUCALYPTUS, MELALEUCA, OR RECYCLED MULCH IS ACCEPTABLE).

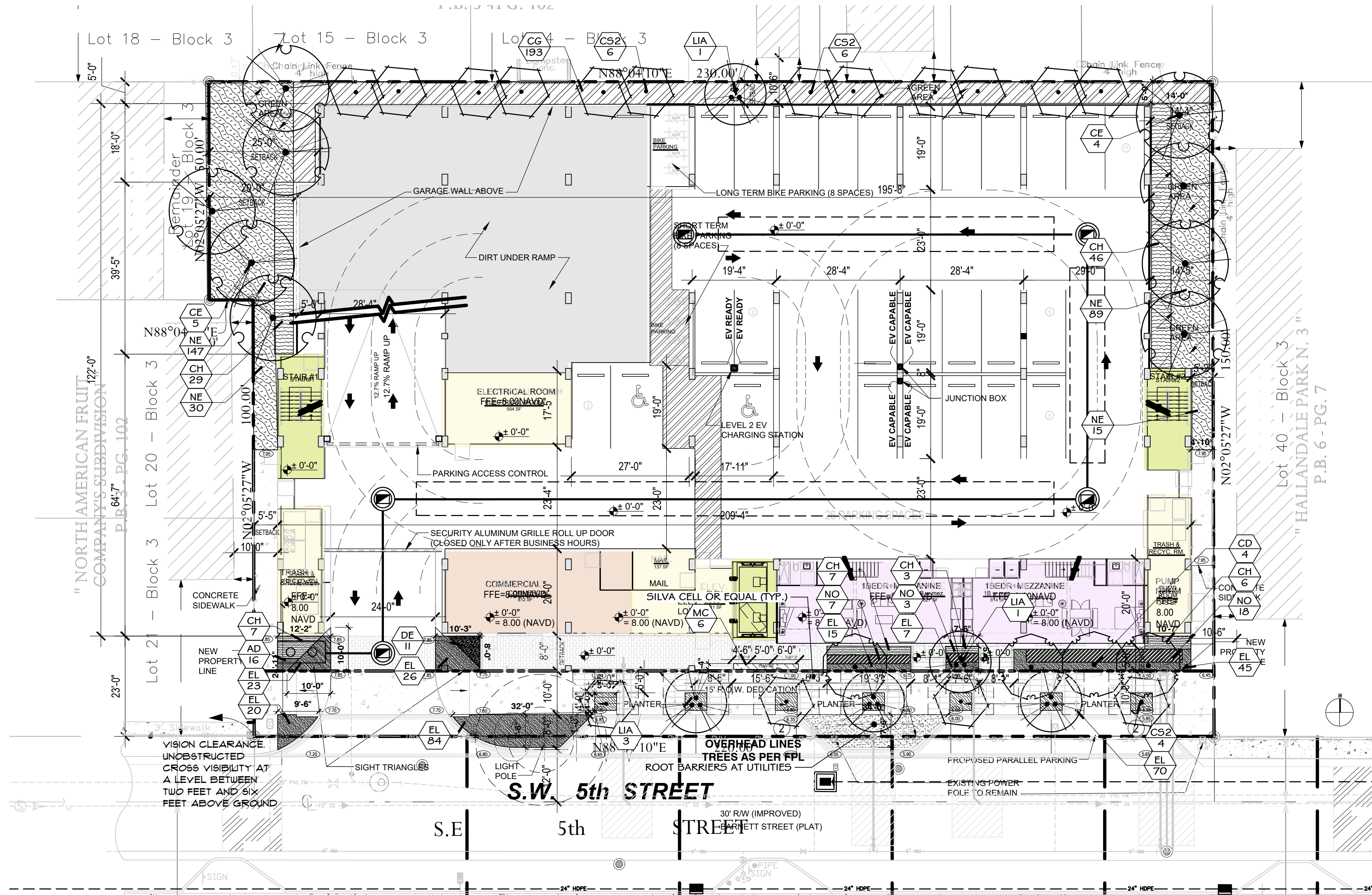
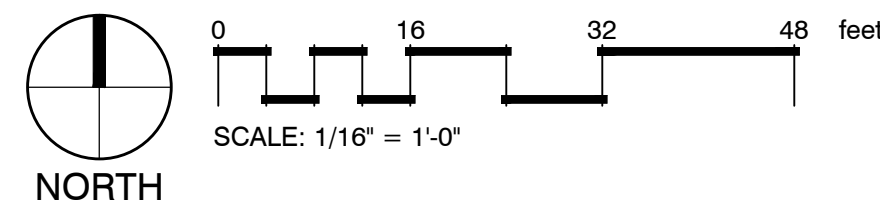
ALL EXISTING PLANTING BEDS, PALMS, AND TREES ON THE PROPERTY SHALL BE FERTILIZED THREE TO FOUR TIMES PER YEAR. GENERAL USE FERTILIZER WITH AN ANALYSIS OF 8-2-12 OR A PALM SPECIAL/ORNAMENTAL TREE FERTILIZER WITH AN ANALYSIS OF 13-3-13 OR SIMILAR. FOLLOW MANUFACTURER RECOMMENDED RATES AND METHODS OF APPLICATION.

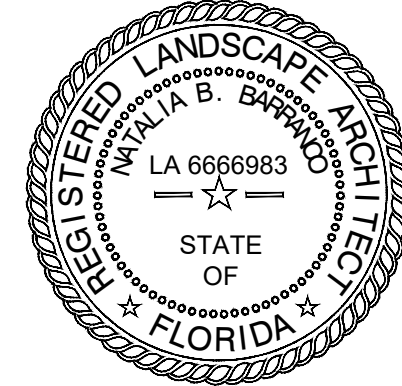
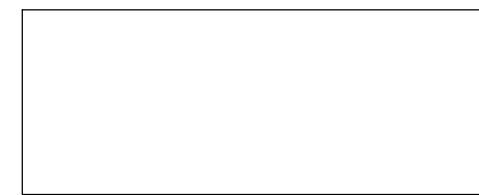
ALL PLANT MATERIAL WILL BE FLORIDA #1 OR BETTER

PLANTING WILL MEET THE SPECIFICATION NOT CONTAINER SIZE

ALL GROUND UTILITIES WILL BE SCREENED AT TIME OF PLANTING

IRRIGATION WILL BE PROVIDED AT PERMIT PHASE
ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN
AUTOMATICALLY-OPERATING UNDERGROUND IRRIGATION SYSTEM: WITH
A MINIMUM OF 100% COVERAGE, WITH 50% MINIMUM OVERLAP IN
GROUND COVER AND SHRUB AREAS. THE RAIN SENSOR MUST BE
INSTALLED AS WELL AS A RUST INHIBITOR IF APPLICABLE.





LANDSCAPE INSTALLATION AND MAINTENANCE. 3" OF CLEAN MULCH SHALL BE INSTALLED AROUND ALL NEW AND EXISTING TREES, PALMS AND THROUGHOUT PLANTING BEDS; MULCHED AREAS AROUND TREES SHALL HAVE A 12" RADIUS OF RADIUS GRASSHAWK SHAKES KNOT SAWYER FROM THE TRUNKS AND STEMS OF PLANTS. PLEASE DO NOT USE CYFENBORG OR RED MULCH (EUCALYPTUS, MELALEUCA, OR RECYCLED MULCH IS ACCEPTABLE).

ALL EXISTING PLANTING BEDS, PALMS, AND TREES ON THE PROPERTY SHALL BE FERTILIZED THREE TO FOUR TIMES PER YEAR. GENERAL USE FERTILIZER WITH AN ANALYSIS OF 8-12-12 OR A PALM SPECIAL/ORNAMENTAL TREE FERTILIZER WITH AN ANALYSIS OF 13-3-13 OR SIMILAR. FOLLOW MANUFACTURER RECOMMENDED RATES AND METHODS OF APPLICATION.

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CLIENT: HALLANDALE CENTRAL PARK, LLC

[illegible]

SHEET TITLE:

**LANDSCAPE
ROOF DECK
PLAN**

L3.0

 **OCTOBER 31, 2024**