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Date: 02/24/2026

Applied Date: 12/11/2025

Type: New Construction

Project Name: Six-Unit Apartment Building

Address: 627 & 631 SW 6<sup>TH</sup> Terrace, Hallandale Beach, FL. 33009

Dear HBCRA Members,

In support of the HBCRA's ongoing initiative to provide affordable housing within the City of Hallandale Beach, 2+ Architects is pleased to present the design proposal for a new two-story, six-unit residential project. The proposed development will replace a previously non-compliant duplex structure on the site.

The proposed development has been designed to comply with the City of Hallandale Beach's affordable housing requirements and provide all six units to be restricted to the 50% AMI income level. The project's design aims to create a compact, rhythmic building form with a clean, modern aesthetic that harmonizes with and enhances the surrounding neighborhood. To achieve this vision and prioritize a strong landscape-driven approach along the front façade, we respectfully request the approval of three (3) variances:

1. **Dumpster Location:** The dumpster enclosure is proposed at less than 10 feet from the property line.
2. **Landscape Buffer Encroachment:** A 2-foot encroachment is requested to allow vehicle overhang and dumpster placement within the required 5-foot landscape buffer along the side property lines. Importantly, the area beneath the vehicle overhang will remain landscaped, ensuring the continuity of green space and compliance with the intent of the landscape buffer requirement.
3. **Parking Reduction:** The code-required parking count is 10 spaces; we are proposing 8 spaces to maintain compliance with landscape ordinances while enhancing the site's green space and overall livability.
4. **Minimum Landscape Area reduction:** The code-required percentage is 30%, we are proposing 27.10% to accommodate for building functionality and required utility equipment.

Through these variances, the project seeks to enhance both the aesthetic character and environmental performance of the neighborhood.

#### **Design Rationale and Community Benefits**

- The proposed parking reduction is not expected to negatively impact residents, as the site benefits from accessible public transportation options—including a bus stop within a six-

minute walk and an approximately 30-minute transit connection to the Hollywood Tri-Rail Station..

- Emphasizing a lush, landscaped frontage not only enhances the property's visual appeal but also encourages outdoor engagement and promotes healthy living for residents.
- Given the site's limited dimensions, the requested dumpster variance provides an efficient and accessible waste disposal solution for both tenants and collection services.
- During the Winter Solstice, the proposed building casts an estimated shadow of approximately 42 feet at 9:00 AM, when shadows are longest. By comparison, at 12:00 PM, shadows are reduced to roughly 18 feet.

As this project represents a full redevelopment including demolition of the existing structures and construction of a new building, final energy consumption figures cannot yet be determined. However, the design strategically positions the building for optimal energy performance and anticipates future integration of solar energy systems to further reduce overall consumption.

We respectfully request your consideration and approval of these variances in support of a project that aligns with HBCRA's mission to provide sustainable, affordable housing and elevate the character of the Hallandale Beach community.

Sincerely,  
**2+ Architects**



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**Edgardo O. Macchi**  
Principal

Date: 02/24/2026

Applied Date: 12/11/2025

Type: New Construction

Project Name: Six-Unit Apartment Building

Address: 627 & 631 SW 6<sup>TH</sup> Terrace, Hallandale Beach, FL. 33009

## PROJECT DESCRIPTION:

*Redevelopment of two existing separate duplexes into one combined new 6-unit apartment complex.*

*The applicant is requesting a variance regarding three separate instances.*

- 1. The dumpster bin lies less than 10' from the property line.*
- 2. The encroaching of 2' for parking car overhang over green area. Proposed dumpster placement onto 5' landscape buffer zone required abutting side property lines.*
- 3. The removal of 2 parking spaces, 10 is required, the proposed site has 8.*
- 4. Landscape area required of 30%, the provided is 27.10%*

## VARIANCE CRITERIA:

### 1. Special Conditions and Circumstances

- Variance #1, # 2, #3, and #4 There are no special conditions or circumstances as since this is a redevelopment, the existing structures are to be demolished and the whole site is to be redone.

### 2. Self-Created

- Variance #1, #2: The requested variance is not self-created, the dimensions of parking required by code along with the location of the existing side setbacks and property lines with proposed access to the building minimizes the utilizable space for dumpster access from street and parking overhang.
- Variance #3: The requested variance is self-created, as the proposed site could be modified to accommodate 10 parking spaces. However, the design intentionally prioritizes additional landscape area and enhanced green space instead.
- Variance #4: The required Variance is self-created. The design provides less than 30% to account for building functionality & utility equipment.

### 3. Special Privileges

- Variance #1 and #2: Granting these variances would confer special privileges as the proposed six 6-unit multifamily building operates at a different scale and functional demand than the adjacent building. The dumpster access and the 2' encroachment of the parking represent reasonable adjustments to meet the operational needs of a multifamily development while maintaining compatibility with the surrounding neighborhood.
- Variance #3: Granting these variances would confer special privileges as the required parking for the number of units would be 10 (6 units x 1.5 = 9 + 10% visitor space = 10 total parking spaces). 2 parking spaces were intentionally removed to increase the landscaped area along the front yard, enhancing the project's streetscape, livability, and environmental quality. As a result, the site provides eight (8) parking spaces while maintaining full ADA compliance and prioritizing a landscape-driven design approach.
- Variance #4: Granting these variances would confer special privileges as the required landscape percentage is 30%. The 2.9% missing landscape percentage was used for the building's functionality, including concrete slabs for electrical rooms, storage rooms, dumpster enclosure, vehicular requirements, and A/C compressor equipment.

### 4. Concession of Rights

- Variance #1 and #2: Approval of these variances ensures residents have a convenient and properly located waste disposal area. Given the parking dimensions and visibility triangle requirements, the selected location is the most efficient option, providing safe and easy access for both residents and waste collection services.
- Variance #3: Approval of this variance ensures the provision of a fully ADA-compliant parking space for the community, while maintaining functionality and enhanced landscaped areas on the site.
- Variance #4: Approval of this variance will ensure the necessary utility requirements and building function are met.

## 5. Minimum Possible Variance

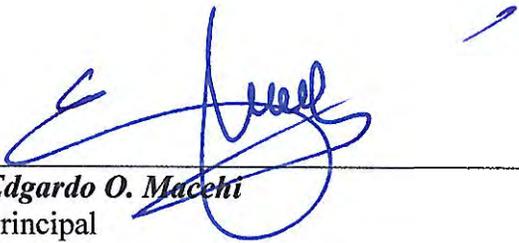
- Variance #1, #2: These are the minimum possible variances as shifting or rotating the current dumpster receptacle with its enclosure would mean encroaching on the visibility triangles from parking to the street.
- Variance #3: This request is not the minimum, since the site can be modified to add the 10 spaces required, however intentionally removing the 2 parking spaces creates an increased landscaped area along the front yard to comply with the minimum required landscape.
- Variance #4: This request is a minimum possible variance to ensure the necessary utility requirements and building function are met.

## 6. Purpose and Intent

- Variance #1: This does not meet the purpose and intent of the code as the required setbacks are intended to prevent structures from being built close to property lines. The waste receptacle enclosure is 3'-0" from the property line allowing for easy access from the dumpster truck maneuvering.
- Variance #2 and #3: Approval of the requested variances would enhance the aesthetic quality of the neighborhood. Although the 5-foot side buffer zone is being encroached upon, the removal of two parking spaces allows for a more prominent front landscape design that complements the adjacent residential properties. The compact building design increases the amount of green space and tree coverage, promoting both environmental health and visual appeal in the surrounding area.
- Variance #4: This request is a minimum possible variance to ensure the necessary utility requirements and building function are met.

## 7. Neighboring Properties

- Variance #1, #2, #3 and #4: Granting these variances will not adversely affect neighboring properties and the City as the ability to have more frontal landscape will ensure it complies with the aesthetics of the rest of the neighborhood.
- Variance #4: Approval of this variance will ensure the necessary utility requirements and building function are met.

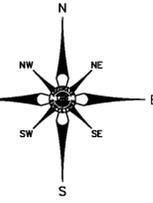


*Edgardo O. Macchi*  
Principal

BOUNDARY & TOPOGRAPHIC SURVEY

A PORTION OF THE S. 1/2 OF THE  
S.E. 1/4 OF THE N.W. 1/4 OF THE  
S.E. 1/4, SECTION 28, TOWNSHIP  
51 SOUTH, RANGE 42 EAST

N. LINE OF THE S. 120' OF THE W. 1/2  
OF THE E. 2/5 OF THE S. 1/2 OF THE  
S.E. 1/4 OF THE N.W. 1/4 OF THE S.E.  
1/4, SECTION 28, TOWNSHIP 51 SOUTH,  
RANGE 42 EAST



SYMBOLS & LEGEND OF ABBREVIATIONS:

RAW	=	RIGHT OF WAY	x 7.00'	=	ELEVATIONS BASED ON N.A.V.D.
N	=	NORTH	(AE)	=	APPARENT ENCROACHMENT
S	=	SOUTH	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
E	=	EAST	M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS
W	=	WEST	F.P.L.	=	FLORIDA POWER & LIGHT
C/L	=	CENTERLINE	B.C.R.	=	BROWARD COUNTY RECORDS
P.B.	=	PLAT BOOK	O.R.B.	=	OFFICIAL RECORDS BOOK
A/C	=	AIR CONDITIONER	P.R.M.	=	PERMANENT REFERENCE MONUMENT
P	=	PLAT	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM
⊕	VALVE	⊠	UTILITY BOX	—	PARKING STRIPE
⊙	MANHOLE	⊕	HYDRANT	---	OVERHEAD UTILITY LINES
⊞	BASIN	⊕	UTILITY POLE	▭	COVERED AREA
⊞	WATER METER	⊞	VAULT	▭	CONCRETE
○	PROPERTY CORNER	⊞	AIR CONDITIONER	▭	ASPHALT

STREET ADDRESS:

627-631 S.W. 6th Terrace, Hallandale Beach, Florida 33009

LEGAL DESCRIPTION:

The South 120 feet of the West one-half of the East 2/5 of the South one-half of the Southeast one-quarter of the Northwest one-quarter of the Southeast one-quarter, less the West 25 feet for street right of way, and less the East 15.10 feet thereof, Section 28, Township 51 South, Range 42 East, Broward County, Florida.

Legal Description Note:

During the process of this survey the surveyor discovered an error in the legal description. The first line where it states the "East 275 feet" is incorrect, it should read "East 2/5" which was verified by reviewing the legal descriptions of the adjoining properties to the North.

NOTES:

- Unless otherwise noted field measurements are in agreement with record measurements.
- Angles and section break information shown hereon are based on Plat Book 60, Page 23, Broward County Records & Plat Book 20, Page 5, Broward County Records, together with field occupation.
- The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
- Ownership of fences and walls if any are not determined.
- This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
- Any and all underground features such as foundations, utility lines, etc. were not located on this survey. This is an above ground survey only.
- The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
- The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
- Accuracy statement: This survey meets or exceeds the horizontal accuracy for SUBURBAN LINEAR : 1 FOOT IN 7,500 FEET.
- Tree note: Surveyors responsibility is to show size & location of all trees, common and scientific name to be verified by certified arborist.
- Printed copies of this survey are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
- PDF copies of this survey are not valid without the digital signature of a Florida Licensed Surveyor and Mapper and must be verified.
- Perimeter area of the subject property is 11,156 square feet, or 0.256107 acres, more or less.

FLOOD INFORMATION:

Community name and number: City of Hallandale Beach 125110  
Map and panel number: 120111C0732J  
Panel date: 07-31-2024  
Index date: 07-31-2024  
Flood zone: "AE"  
Base flood elevation: 7'NAVD1988

BENCHMARK INFORMATION:

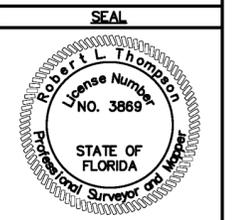
National Geodetic Survey Benchmark  
Designation - BC 531  
PID - AC4693  
Elevation - 7.85'NAVD1988

CERTIFY TO:

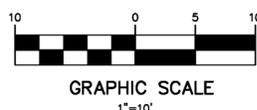
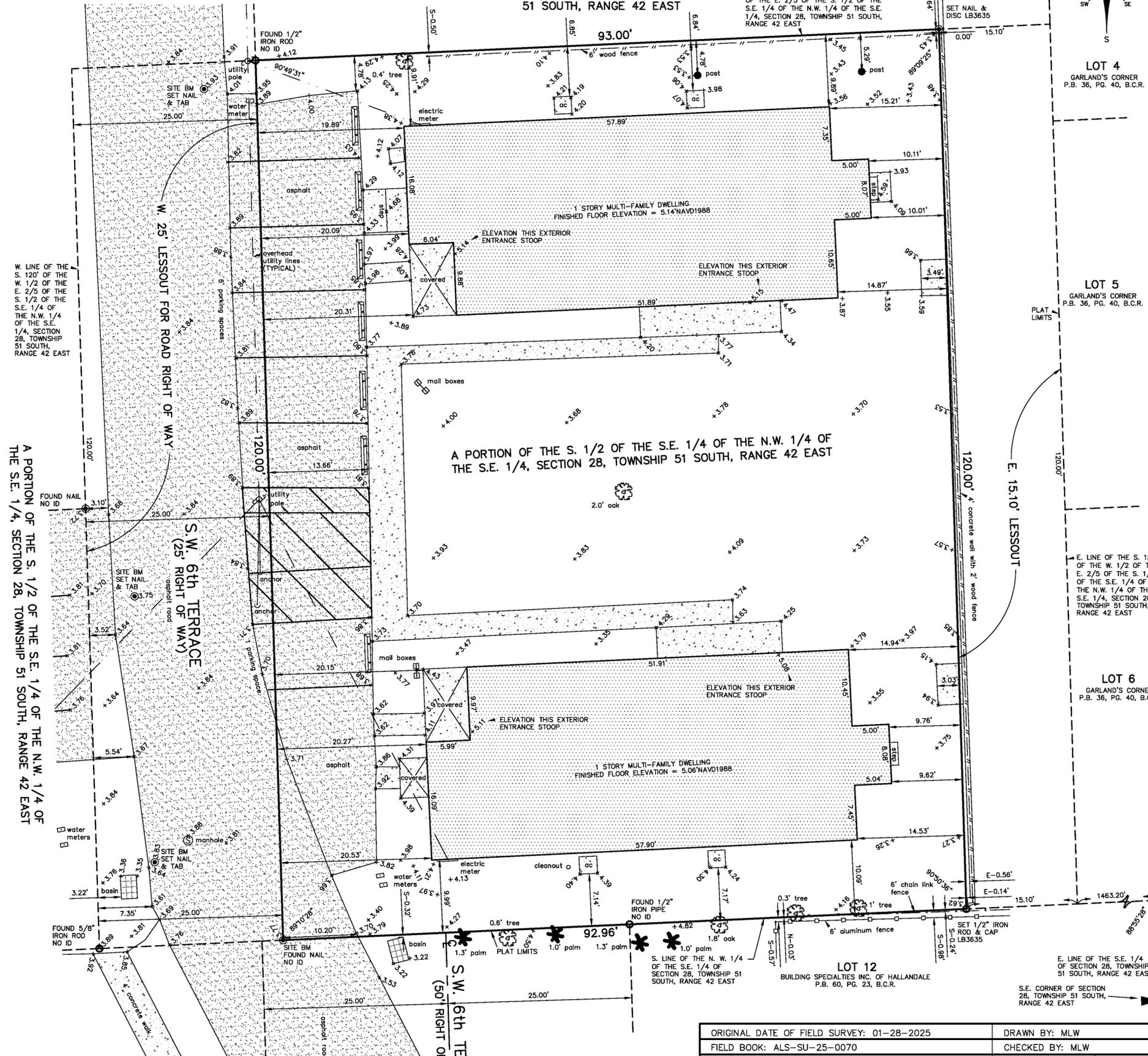
Hallandale Beach Community Redevelopment Agency

CERTIFICATION:

This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.



ROBERT L. THOMPSON (PRESIDENT)  
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA



ORIGINAL DATE OF FIELD SURVEY: 01-28-2025	DRAWN BY: MLW
FIELD BOOK: ALS-SU-25-0070	CHECKED BY: MLW
REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS
ADD AREA OF PROPERTY "NO FIELD VISIT"	01-07-2026 MLW
ADD FINISHED FLOOR ELEVATION "NO FIELD VISIT"	03-17-2025 MLW

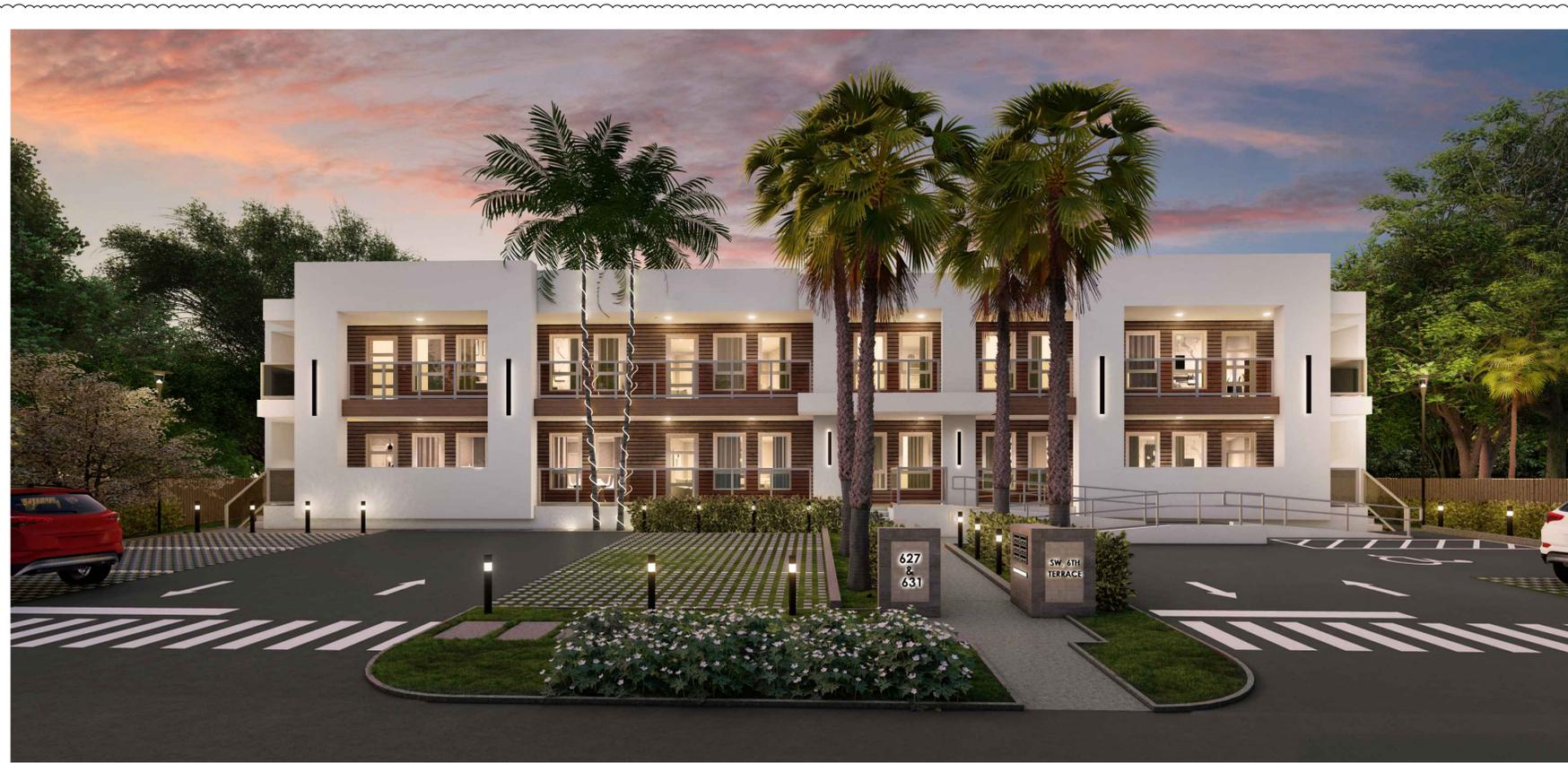
# SIX-UNIT BUILDING

627 & 631 SW 6th Ter. Hallandale Beach FL. 33009

SET: 10/24/2025

PROJECT No. : 2426

## LOCATION MAP



RENDERING BY 2+ARCHITECTS

### DESIGN OBJECTIVES

*627-631 SW 6 Ter: A modern integration of functionality and context*

*Located at the heart of an evolving neighborhood, 627-631 sw 6 ter emerges as a statement of balanced modernity and thoughtful design. the uniblock structure harmoniously blends into its surroundings, a proportional element that respects the rhythm of the existing urban landscape. far from imposing, the building's compact form and clean, modern lines make it an understated yet confident presence.*

*In the forefront of the main volume, a discreet parking area ensures practical functionality without compromising the visual integrity of the site. with lateral accesses that directly connect the parking area to the street, the layout minimizes disruption while maximizing utility. the rear façade and broader functional scheme are still under study, with the goal of refining efficiency and adaptability. every aspect of the design reflects a commitment to ensuring optimal use of space while maintaining simplicity and elegance.*

*On the ground floor, the design will consider the incorporation of required ada-compliant units, strategically positioned to connect both to the parking area and the street.*

*627-631 SW 6 Ter encapsulates a modern approach to urban development, where efficiency meets aesthetic sensitivity. it's a space crafted not to overwhelm, but to coexist and elevate the surrounding environment, all while providing a comfortable and versatile experience for its users.*

### INDEX OF DRAWINGS

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GN-000	COVER SHEET & INDEX	■
GN-001	CONTEXT MAP	■
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A-101	GROUND FLOOR PLAN	■
A-102	SECOND FLOOR PLAN	■
A-103	ROOF PLAN	■
A-200	BUILDING ELEVATIONS	■
A-201	BUILDING ELEVATIONS	■
A-300	BUILDING SECTIONS	■
A-301	BUILDING SECTIONS	■
A-400	DETAILS	■
<b>LANDSCAPE</b>		
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LA-02	PLANTING PLAN	■
LA-03	PLANTING SPECS & DETAILS	■
<b>CIVIL</b>		
C-01	CIVIL NOTES	■
C-02	PAVING, GRADING & DRAINAGE PLAN	■
C-03	CIVIL DETAILS	■
C-04	SIGNING AND PAVEMENT MARKINGS	■
<b>PHOTOMETRIC</b>		
E-1.00	ELECTRICAL SITE PLAN	■
E-1.01	ELECTRICAL FLOOR PLAN	■
E-2.01	TYPICAL UNIT ELECTRICAL PLAN	■
E-3.01	ELECTRICAL RISER, NOTES AND PANEL SCHEDULES	■
E-4.00	PHOTOMETRIC SITE PLAN - NORMAL LIGHTING	■
E-4.01	PHOTOMETRIC SITE PLAN - EMERGENCY LIGHTING	■
E-4.02	PHOTOMETRIC 1ST FLOOR PLAN - NORMAL LIGHTING	■
E-4.03	PHOTOMETRIC 1ST FLOOR PLAN - EMERGENCY LIGHTING	■
E-4.04	PHOTOMETRIC STAIR PLAN	■
E-4.05	PHOTOMETRIC 2ND FLOOR PLAN - NORMAL LIGHTING	■
E-4.06	PHOTOMETRIC 2ND FLOOR PLAN - EMERGENCY LIGHTING	■

## PROJECT TEAM

### ARCHITECT

2+ ARCHITECTS  
260 Andalusia Ave Coral Gables, Florida 33134  
305.619.3277  
Info@2Plus-architects.com

### MEP

ARPE Engineering, Inc.  
2020 Ponce de Leon BLVD, Suite 1002, Coral Gables, Florida 3134  
305.444.9809  
Info@arpe-eng.com

### STRUCTURAL

TAJ LIMITED GROUP, INC.  
14216 SW 160th Avenue, Miami, Florida. 33193  
305.793.7656  
TIQBAL@TLG-ENG.COM

### CIVIL ENGINEER

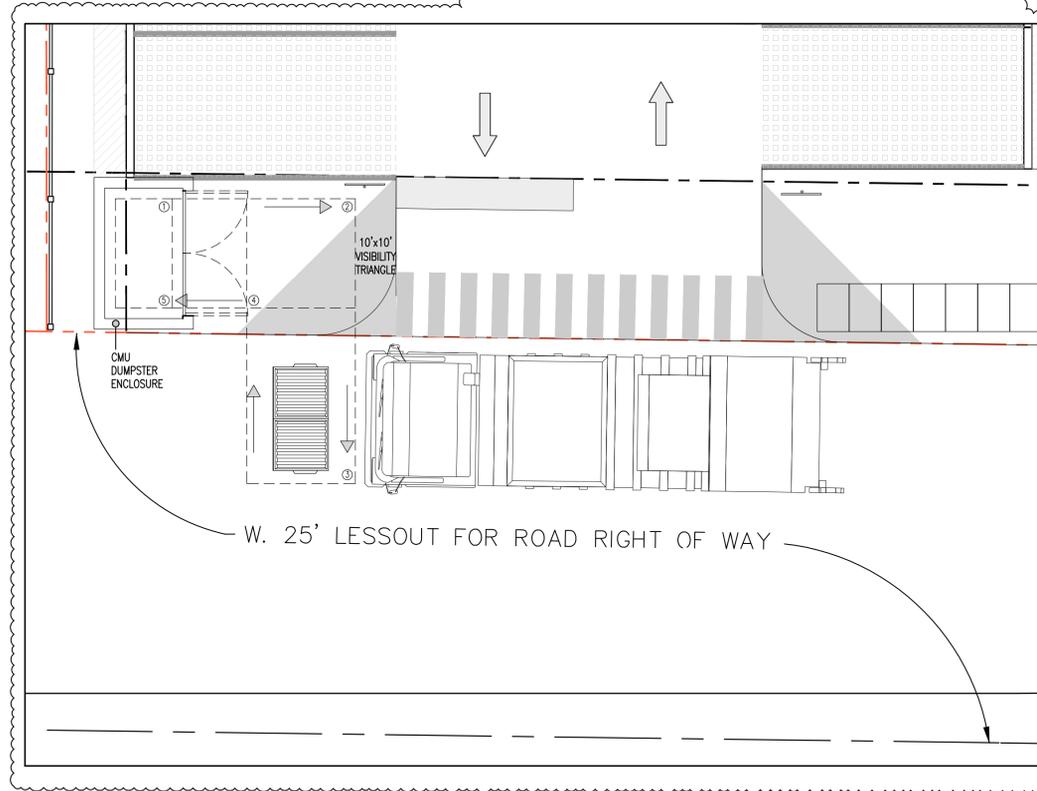
ALFKA LLC  
1000 Brickell Ave. Ste. 715, MIAMI, Florida. 33131  
305.707.7581  
info@alfka.com  
JPENA@ALFKA.COM

### LANDSCAPE

GSLA DESIGN  
17670 NW 78TH AVE. SUITE 214, Miami, Florida. 33015  
305.392.1016  
info@gsladesign.com



1 CONTEXT MAP WITH 1000 FT RADIUS  
NTS



2 TRASH COLLECTION DIAGRAM  
3/16" = 1'-0"

**PROJECT DESCRIPTION**

**NEW CONSTRUCTION**

**SCOPE OF WORK: NEW CONSTRUCTION**

**TYPE III-B**  
CODE COMPLIANCE

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION  
SECTION 304.1 OCCUPANCY  
RESIDENTIAL GROUP R-2

**CODE REFERENCE**

FLORIDA BUILDING CODE  
8th EDITION (2023)

FLORIDA BUILDING CODE  
ACCESSIBILITY  
8th EDITION (2023)

FLORIDA BUILDING CODE  
PLUMBING  
8th EDITION (2023)

FLORIDA BUILDING CODE  
MECHANICAL  
8th EDITION (2023)

FLORIDA FIRE PREVENTION CODE  
8th EDITION (2023)

NFPA 101 (2024 EDITION)

NEC (2023 EDITION)

**SITE TRASH COLLECTION SCHEDULE**

RESIDENTIAL WEEKLY GARBAGE AND RECYCLING WASTE COLLECTION DAYS	SOUTHWEST SECTION: MONDAYS
RESIDENTIAL BULK AND TRASH QUARTERLY COLLECTION SCHEDULED	SOUTHWEST SECTION - WEEK 1 MONDAY

**2+ ARCHITECTS**  
260 Andalusia Avenue  
Coral Gables, FL 33134  
305.619.3277  
Info@2plus-Architects.com  
AR96126 - 106797

**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project  
Seal  
Edgardo O. Macchi  
Reg. No. RA-96126



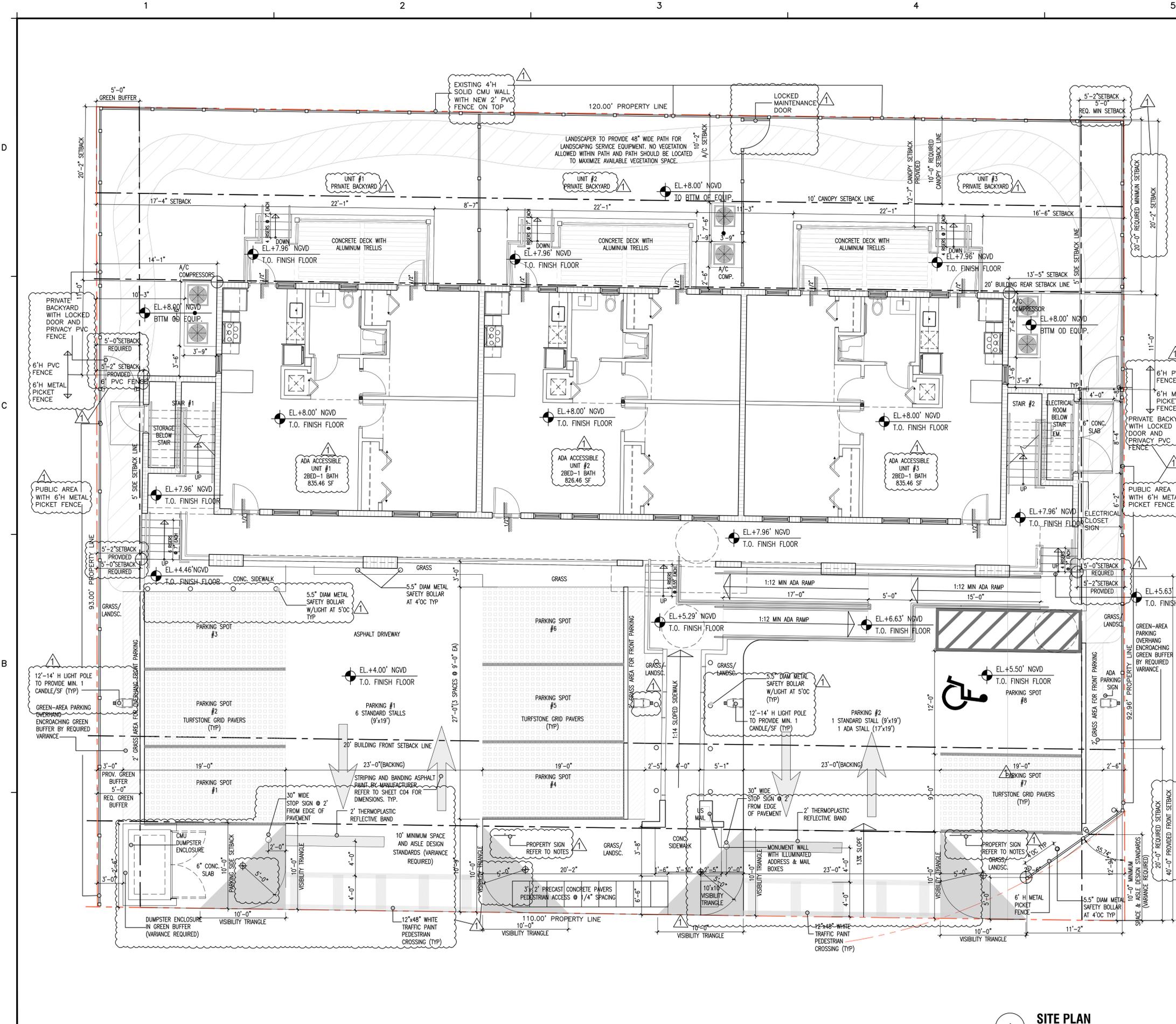
Revised:  
DRC COMMENTS 12-08-2025

**CONTEXT MAP**

Job code:  
2426 10/24/2025

GN-001

ZONING APPROVAL SET



FOLIO NUMBER	
ID # 5142.28.33.044D	
LEGAL DESCRIPTION	
28.51'42 S 120.0' OF W1/2 OF E 27.5' OF S1/2 OF NW1/4 OF SE1/4 L16 W25 FOR STREET & E 15.10 AKALOT 28 S 120.0' LESS W 25.4' & E 15.10'	
ZONING DATA	
ORDINANCE 2024-029 (CODE OF ORDINANCES)	
DISTRICT RD-12 SINGLE AND DUPLEX (MEDIUM DENSITY) DISTRICT	
EFFICIENCY UNITS	NO
1 BEDROOM	NO
2 BEDROOM	6 (3 ALLOWED + 3 BONUS REQ.)
3 BEDROOM	NO
RD-12 RESIDENTIAL TWO-FAMILY DIMENSIONAL REQUIREMENTS	
REQUIRED	PROVIDED
LOT WIDTH MIN	75'-0" 102'-0"
BUILDING FRONTAGE	92'-0" 92'-0"
LOT AREA (MIN)	7,500 11,161 SF
LOT COVERAGE / MAX. BUILDING FOOTPRINT - 10%	7,812.70 SF 3,803.28 (34.08%)
MINIMUM LANDSCAPE AREA (10%)	3,348.30 SF 3,029 (27.19%) (VARIANCE REQUIRED)
BUILDING PLACEMENT	
FRONT SETBACK	20'-0" 40'-0"
SIDE SETBACK (RIGHT)	5'-0" 5'-2"
SIDE SETBACK (LEFT)	5'-0" 5'-2"
REAR SETBACK	20'-0" 20'-2"
MAXIMUM BUILDING HEIGHT	2 STORY OR 30H 2 STORY+ 24'-7"
ACCESSORY STRUCTURE (CANOPY SETBACK)	10'-0" 11'-1" MINIMUM
ACCESSORY ST. ATTACHED TO BUILDING	50% MIN. 54.3%
ACCESSORY STRUCTURE OPEN SIDES	(3) 80% (3) 100%
ACCESSORY STRUCTURE MAX. HEIGHT	15'-0" 9'-6"
NOTE: REQUIRED DECLARATION OF RESTRICTIVE COVENANT FOR ACCESSORY STRUCTURE.	

LOT COVERAGE CALCULATION		
LOT SIZE:	11,161 S.F.	
NEW CONSTRUCTION		
PROPOSED GROUND FLOOR	2,507.76 S.F.	
PROPOSED SECOND FLOOR	2,507.76 S.F.	
BREEZE WAY	989.28 S.F.	
STAIRS	160.34 S.F.	
TOTAL BUILDING FOOTPRINT	3,803.28 S.F.	3,803.28 S.F.
EXPANSION DECKS	383.61 S.F.	
TRASH CONTAINERS SLAB	50.00 S.F.	
ACCESS AND ADA RAMP	253.00 S.F.	
PARKING LOT #1	1,847.45 S.F.	
PARKING LOT #2	1,051.84 S.F.	
TOTAL IMPERVIOUS	7,620.03 S.F.	
TOTAL PERVIOUS (11,161 TOTAL LOT - 7,620.03 SF)	3,540.97 S.F.	

SITE DEVELOPMENT REQUIREMENTS		
REQ'D	REQUIRED	PROVIDED
FHA UNIT	6 UNITS	6 UNITS (100%)
MULTIFAMILY RD-12 MINIMUM UNIT SIZE	750 SF	(4) 835-48 SF + (2) 835-46 SF + (1) 832-46 SF
FULL ADA ACCESSIBLE UNIT & FHA COMPLIANT	1	3
TWO WAY DRIVEWAY	23'-0" MIN	23'-0"
5 FEET LATERAL GREEN BUFFER	9'-0" MIN	2'-6"
TREE: 1 PER EACH 1,500 SF OF USED AREA+8	8	8
PARKING REQUIREMENTS: 6-2 BEDROOM UNITS @ 15 SPACE PER UNIT + 9 SF + 10% VISITOR+1 SP	10 SPACES	8 SPACES (VARIANCE REQUIRED)
ADA REQUIREMENTS TO 25 REG. SPACES - ADA STANDARDS FOR ACCESSIBLE DESIGN	1 ADA SPACE	1 ADA SPACE
MINIMUM PARKING SPACE SETBACK - DIV. 11 SEC. 32-45(3)-9	N/A	N/A
ADA / FHA ACCESSIBLE TO UNIT FROM STREET	100% GROUND FLOOR	3 (100% GROUND FLOOR)
PEDESTRIAN ACCESS FROM THE STREET	YES	YES

PARKING VARIANCE		
USE	REQUIRED	PROPOSED
6 UNITS	1.5 UNIT	1.5 UNIT
GUEST	10% OF REQUIRED PARKING FOR UNITS	1.5 UNIT
	10% x 1	

FLOOD ZONE LEGEND (ZONE AE) EL. 7.00'			
LOWEST FLOOR ELEVATION (UNIT F.F. ELEV.)	A/C PAD ELEVATION	GARAGE	ENTRANCE
BFE	7.00' NGVD	7.00' NGVD	7.96' NGVD
FFE	8.00' NGVD	8.00' NGVD	8.00' NGVD

PROJECT AND CODE INFORMATION	
2023 8th ED. FLORIDA BUILDING CODE	
2023 8th ED. MECHANICAL CODE (FBC)	
2023 8th ED. ELECTRICAL CODE (NEC)	
2023 8th ED. FLORIDA ACCESSIBLE CODE CHAPTER 8 (FBC)	
2024 NFPA 101 LIFE SAFETY CODE	
2023 8th ED. FLORIDA FIRE PREVENTION CODE	
1998 FAIR HOUSING ACT DESIGN MANUAL	

**NOTE FOR AFFORDABLE HOUSING COMPLIANCE**

THIS DEVELOPMENT PROVIDES A MINIMUM OF 15% OF THE TOTAL RESIDENTIAL UNITS AS AFFORDABLE HOUSING. TO BE MAINTAINED FOR NOT LESS THAN 30 YEARS, GUARANTEED THROUGH A RESTRICTIVE COVENANT OR AGREEMENT IN A FORM ACCEPTABLE TO THE CITY ATTORNEY.

ALL AFFORDABLE HOUSING UNITS SHALL INCLUDE FINISHES AND FIXTURES OF IDENTICAL QUALITY TO THOSE PROVIDED IN MARKET-RATE UNITS. AFFORDABLE UNITS SHALL ALSO BE PROPORTIONATELY DISTRIBUTED AMONG UNIT TYPES AND SIZES THROUGHOUT THE DEVELOPMENT.

PROPERTY SIGN LEGEND	
PRIVATE PROPERTY / RESIDENTS ONLY	
NO LOITERING OR SOLICITING	
UNAUTHORIZED VEHICLES WILL BE TOWED AT OWNER'S EXPENSE	
TOW-AWAY ZONE	
NOTE - NFPA 11.10.1	
ALL BUILDINGS MUST BE DESIGNED TO MAINTAIN / PROVIDE MINIMUM RADIO SIGNAL STRENGTH.	

2+ ARCHITECTS
305.619.3277

260 Andalusia Avenue
Info@2plus-architects.com

Coral Gables, FL 33134
AR96126 - 10/2023

**SIX-UNIT APARTMENT BUILDING**

**627 & 631 6TH TERRACE HALLANDALE BEACH FL. 33009**

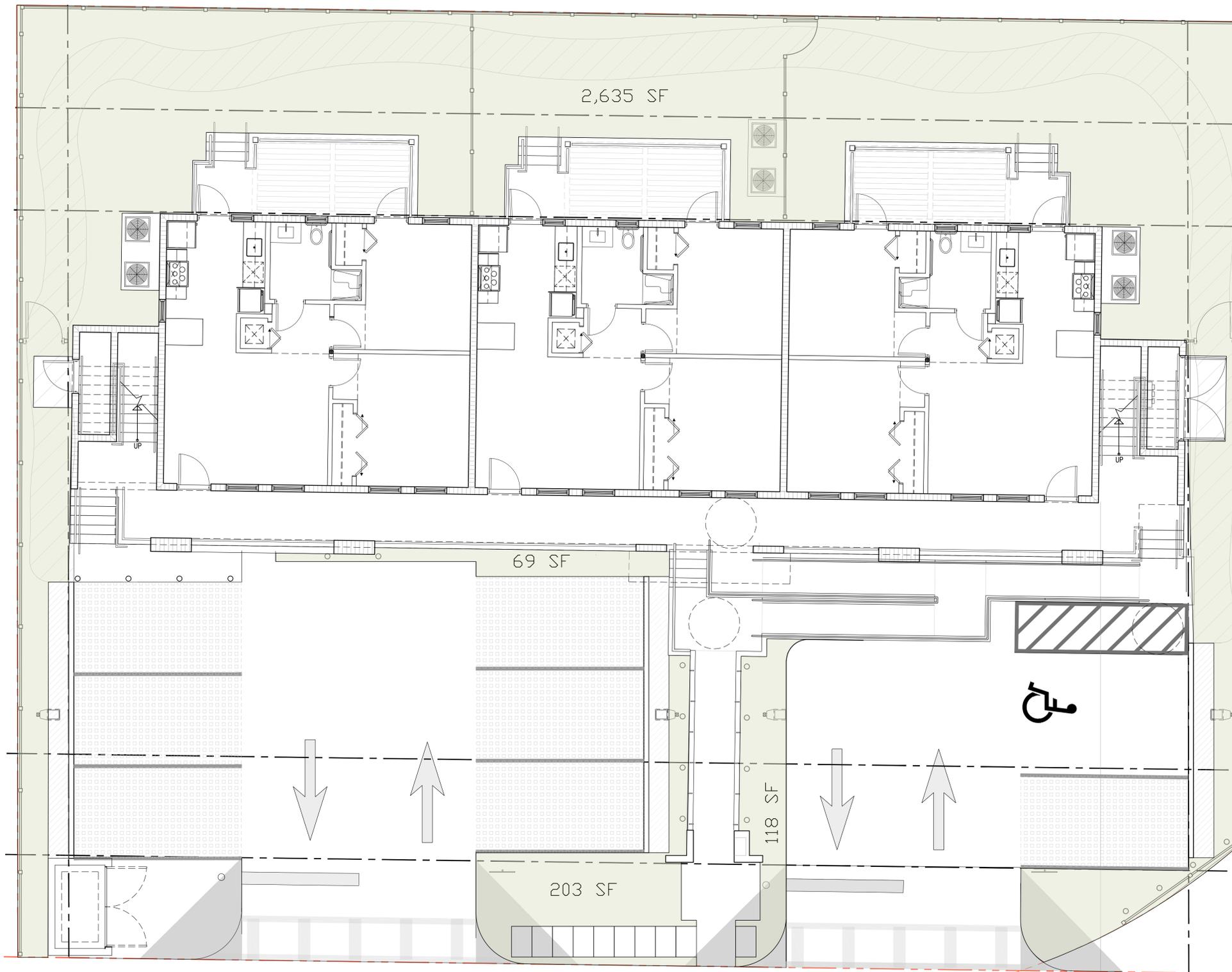
Project: Edgardo O. Macchi
Reg. No. RA-96126

Revised: 12-08-2025
DRC COMMENTS

**SITE PLAN AND ZONING INFORMATION**

Job code: 2426
10/24/2025

SP-100



**SITE PLAN  
LANDSCAPING AREA**

Scale: 3/16" = 1'-0"

FOLIO NUMBER				
ID # 5142 28 33 0440				
LEGAL DESCRIPTION				
28.61' 42" S 120' OF W1/2 OF E 27.5' OF S1/2 OF SE1/4 OF NW1/4 OF SE1/4 LESS W 25' FOR STREET & LESS E 15' 10" AKALOT 28 S 120 LESS W 25 & E 15 10"				
ZONING DATA				
ORDINANCE 2024-029 (CODE OF ORDINANCES)				
DISTRICT RD-12 SINGLE AND DUPLEX (MEDIUM DENSITY) DISTRICT				
EFFICIENCY UNITS	NO			
1 BEDROOM	NO			
2 BEDROOM	6 (3 ALLOWED + 3 BONUS REQ.)			
3 BEDROOM	NO			
RD-12 RESIDENTIAL TWO-FAMILY DIMENSIONAL REQUIREMENTS				
	REQUIRED	PROVIDED		
LOT WIDTH MIN	75'-0"	102'-0"		
BUILDING FRONTAGE	92'-0"	92'-0"		
LOT AREA (MIN)	7,500	11,161 SF		
LOT COVERAGE / MAX. BUILDING FOOTPRINT = 70%	7,812.70 SF	3,803.28 (34.08%)		
MINIMUM LANDSCAPE AREA (30%)	3,348.30 SF	3,029 (27.10%) (VARIANCE REQUIRED)		
BUILDING PLACEMENT				
FRONT SETBACK	20'-0"	40'-0"		
SIDE SETBACK (RIGHT)	5'-0"	5'-2"		
SIDE SETBACK (LEFT)	5'-0"	5'-2"		
REAR SETBACK	20'-0"	20'-2"		
MAXIMUM BUILDING HEIGHT	2 STORY OR 30H	2 STORY + 24'-7"		
ACCESSORY STRUCTURE (CANOPY SETBACK)	10'-0"	11'-1" MINIMUM		
ACCESSORY ST. ATTACHED TO BUILDING	50% MIN.	54.3%		
ACCESSORY STRUCTURE OPEN SIDES	(3) 80%	(3) 100%		
ACCESSORY STRUCTURE MAX. HEIGHT	15'-0"	9'-6"		
NOTE REQUIRED: DECLARATION OF RESTRICTIVE COVENANT FOR ACCESSORY STRUCTURE				
DENSITY				
BASE DENSITY	14 DU/AC	BONUS REQUIRED 23.4 DU/AC		
LOT COVERAGE CALCULATION				
LOT SIZE: 11,161 S.F.				
NEW CONSTRUCTION				
PROPOSED GROUND FLOOR	2,507.76 S.F.			
PROPOSED SECOND FLOOR	2,507.76 S.F.			
BREEZE WAY	989.28 S.F.			
STAIRS	160.34 S.F.			
TOTAL BUILDING FOOTPRINT		3,803.28 S.F.		
EXPANSION DECKS	383.61 S.F.			
TRASH CONTAINERS' SLAB	50.00 S.F.			
ACCESS AND ADA RAMP	283.00 S.F.			
PARKING LOT #1	1,847.45 S.F.			
PARKING LOT #2	1,051.84 S.F.			
TOTAL IMPERVIOUS		7,620.03 SF		
TOTAL PERVIOUS (11,161 TOTAL LOT - 7,620.03 SF)		3,540.97 SF		
SITE DEVELOPMENT REQUIREMENTS				
	REQUIRED	PROVIDED		
FHA UNIT	6 UNITS	6 UNITS (100%)		
MULTIFAMILY RD-12 MINIMUM UNIT SIZE	750 SF	(4) 835-48 SF + (2) 835-46 SF AVG. 832.46 SF		
FULL ADA ACCESSIBLE UNIT & FHA COMPLIANT	1	3		
TWO WAY DRIVEWAY	23'-0" MIN	23'-0"		
5 FEET LATERAL GREEN BUFFER	9'-0" MIN	2'-6"		
TREE: 1 PER EACH 1,500 SF OF USED AREA=8	8	8		
PARKING REQUIREMENTS: 6 2-BEDROOM UNITS @ 15 SPACE PER UNIT = 90 SP + 10% VISITOR+1 SP	10 SPACES	8 SPACES (VARIANCE REQUIRED)		
ADA REQUIREMENTS 1 TO 25 REG. SPACES - ADA STANDARDS FOR ACCESSIBLE DESIGN	1 ADA SPACE	1 ADA SPACE (REQUIRED)		
MINIMUM PARKING SPACE SETBACK - DIV. 11 SEC. 32-45(3g) - DESIGN REQUIREMENTS	N/A	N/A		
ADA / FHA ACCESSIBLE TO UNIT FROM STREET	100% GROUND FLOOR	3 (100% GROUND FLOOR)		
PEDESTRIAN ACCESS FROM THE STREET	YES	YES		
PARKING VARIANCE				
USE	REQUIRED	PROPOSED		
6 UNITS	1.5/UNIT 1.5x6=9	1.5/UNIT		
GUEST	10% OF REQUIRED PARKING FOR UNITS 10x6=1	1.5/UNIT		
FLOOD ZONE LEGEND (ZONE AE); EL 7.00'				
LOWEST FLOOR ELEVATION (UNIT F.F. ELEV.)	A/C PAD ELEVATION	GARAGE	ENTRANCE	CORRIDOR ELEVATION
BFE 7.00' NGVD	7.00' NGVD	N/A	7.96' NGVD	8.00' NGVD
FFE 8.00' NGVD	8.00' NGVD	N/A	7.96' NGVD	8.00' NGVD
PROJECT AND CODE INFORMATION				
2023 8th ED. FLORIDA BUILDING CODE				
2023 8th ED. MECHANICAL CODE (FBC)				
2023 8th ED. ELECTRICAL CODE (NEC)				
2023 8th ED. FLORIDA ACCESSIBLE CODE CHAPTER II (FBC)				
2024 NFPA 101 LIFE SAFETY CODE				
2023 8th ED. FLORIDA FIRE PREVENTION CODE				
1998 FAIR HOUSING ACT DESIGN MANUAL				
NOTE FOR AFFORDABLE HOUSING COMPLIANCE				
THIS DEVELOPMENT PROVIDES A MINIMUM OF 15% OF THE TOTAL RESIDENTIAL UNITS AS AFFORDABLE HOUSING, TO BE MAINTAINED FOR NOT LESS THAN 30 YEARS, GUARANTEED THROUGH A RESTRICTIVE COVENANT OR AGREEMENT IN A FORM ACCEPTABLE TO THE CITY ATTORNEY.				
ALL AFFORDABLE HOUSING UNITS SHALL INCLUDE FINISHES AND FIXTURES OF IDENTICAL QUALITY TO THOSE PROVIDED IN MARKET-RATE UNITS. AFFORDABLE UNITS SHALL ALSO BE PROPORTIONATELY DISTRIBUTED AMONG UNIT TYPES AND SIZES THROUGHOUT THE DEVELOPMENT.				
PROPERTY SIGN LEGEND				
PRIVATE PROPERTY / RESIDENTS ONLY				
NO LOTTERY OR SOLICITING				
UNAUTHORIZED VEHICLES WILL BE TOWED AT OWNER'S EXPENSE				
TOW-AWAY ZONE				
NOTE: NFPA 11.10.1				
ALL BUILDINGS MUST BE DESIGNED TO MAINTAIN / PROVIDE MINIMUM RADIO SIGNAL STRENGTH.				

**2+ ARCHITECTS**  
260 Andalusia Avenue  
Coral Gables, FL 33134  
305.619.3277  
info@2plus-architects.com  
AR96126 - ID6797

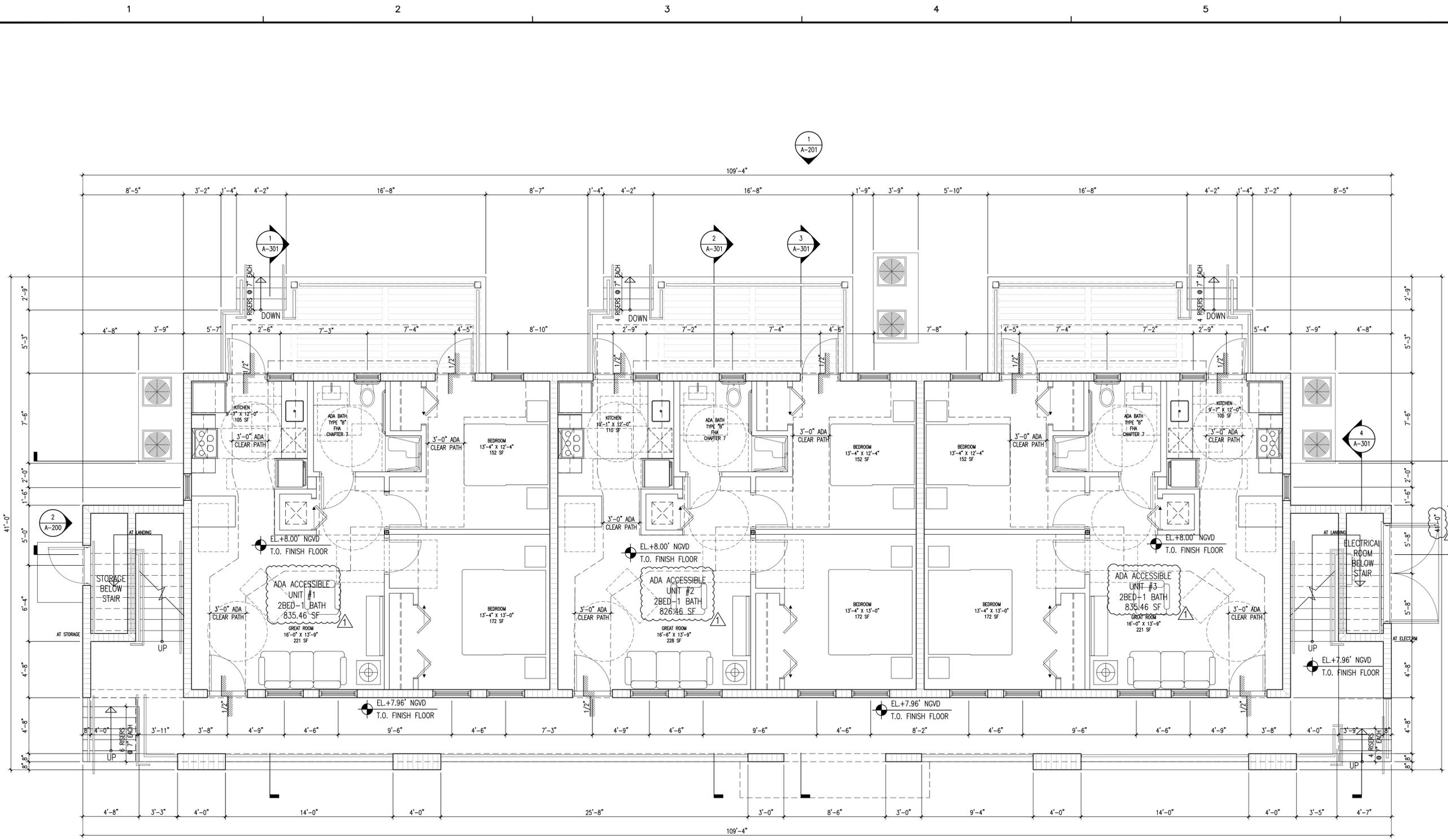
**SIX-UNIT APARTMENT  
BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project: Edgardo O. Macchi  
Seal: Edgardo O. Macchi  
Reg. No. RA-96126



Revised:  
DRC COMMENTS 12-08-2025

**LANDSCAPING  
AREA**  
Job code: 2426 10/24/2025  
SP-101



**1 GROUND FLOOR PLAN**  
Scale: 1/4"=1'-0"

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AR06126 - 10/6/2017

**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project: Edoardo O. Macchi  
Seal: Edoardo O. Macchi  
Reg. No. RA-96126

Revised:  
△ DRC COMMENTS 12-08-2025

**ZONING APPROVAL SET**

**GROUND FLOOR PLAN**

Job code: 2426 10/24/2025

A-101

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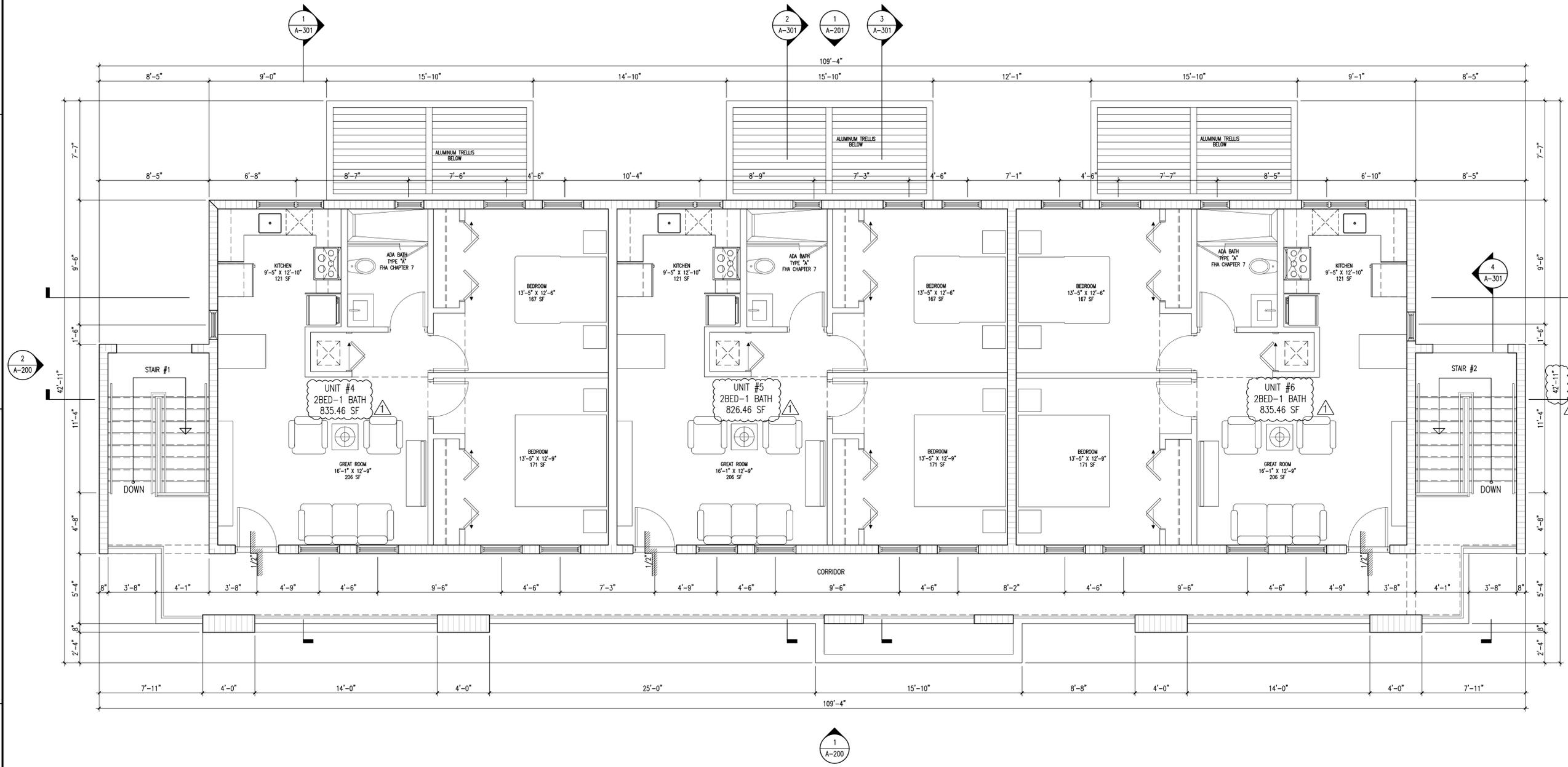
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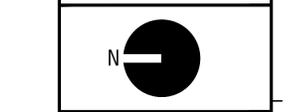


**1 SECOND FLOOR PLAN**  
Scale: 1/4"=1'-0"

**2+ ARCHITECTS**  
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305.619.3277  
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AR06126 - 106797

Project  
**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Seal  
Eduardo O. Macchi  
Reg. No. RA-96126



Revised:  
△ DRC COMMENTS 12-08-2025

**SECOND FLOOR PLAN**  
Job code:  
2426 10/24/2025

A-102

**ZONING APPROVAL SET**

1

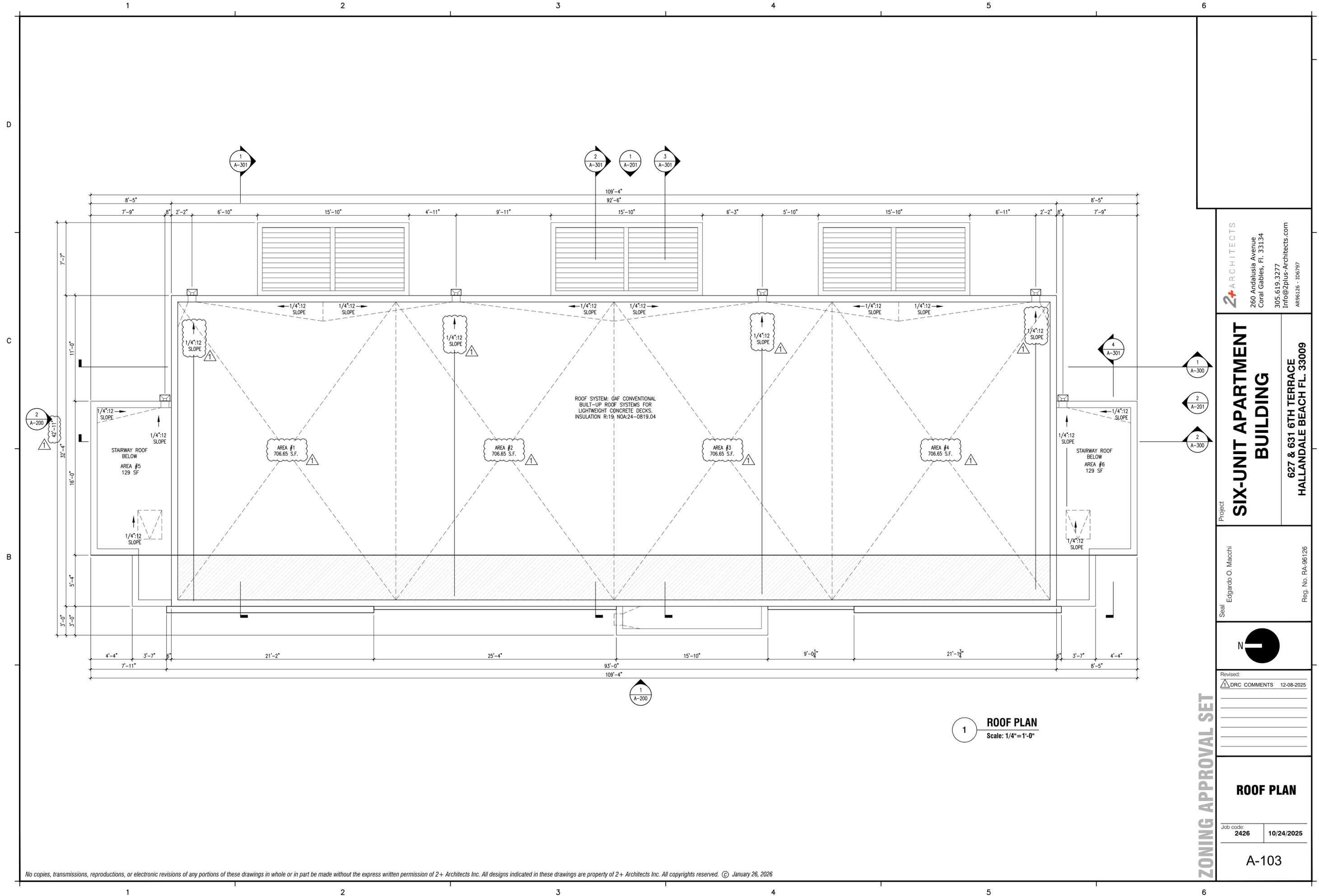
2

3

4

5

6



**1 ROOF PLAN**  
Scale: 1/4" = 1'-0"

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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project  
Seal  
Edgardo O. Macchi  
Reg. No. RA-96126



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△ DRG COMMENTS	12-08-2025

**ROOF PLAN**  
Job code: 2426 10/24/2025

A-103

1

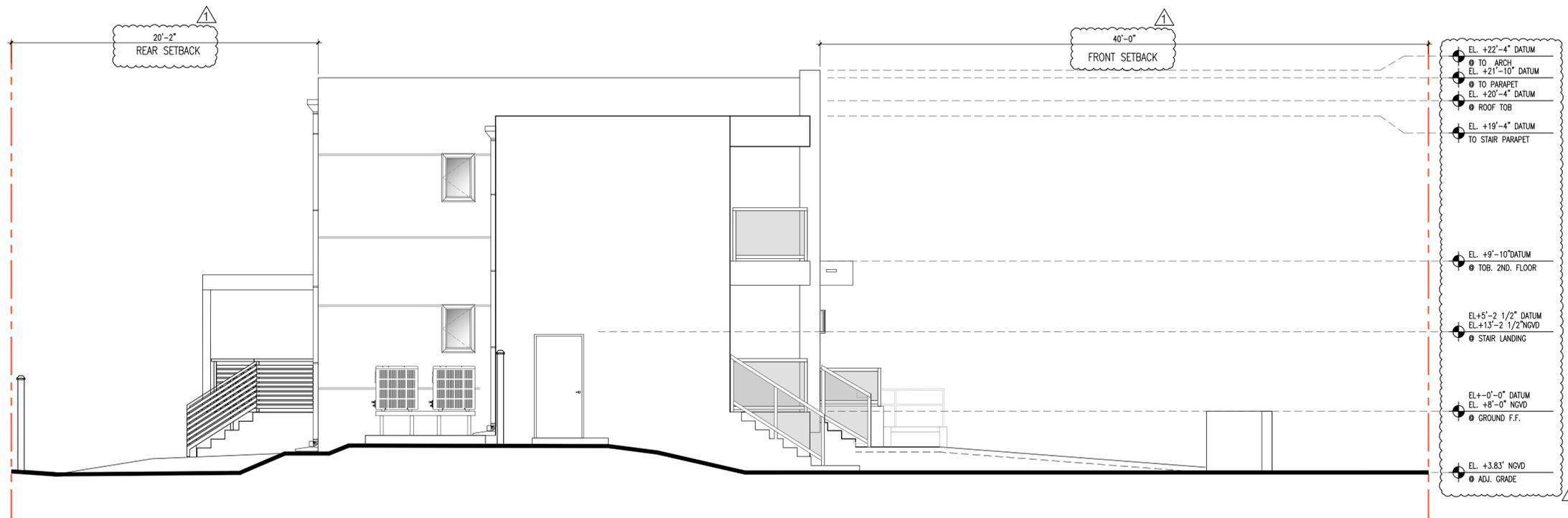
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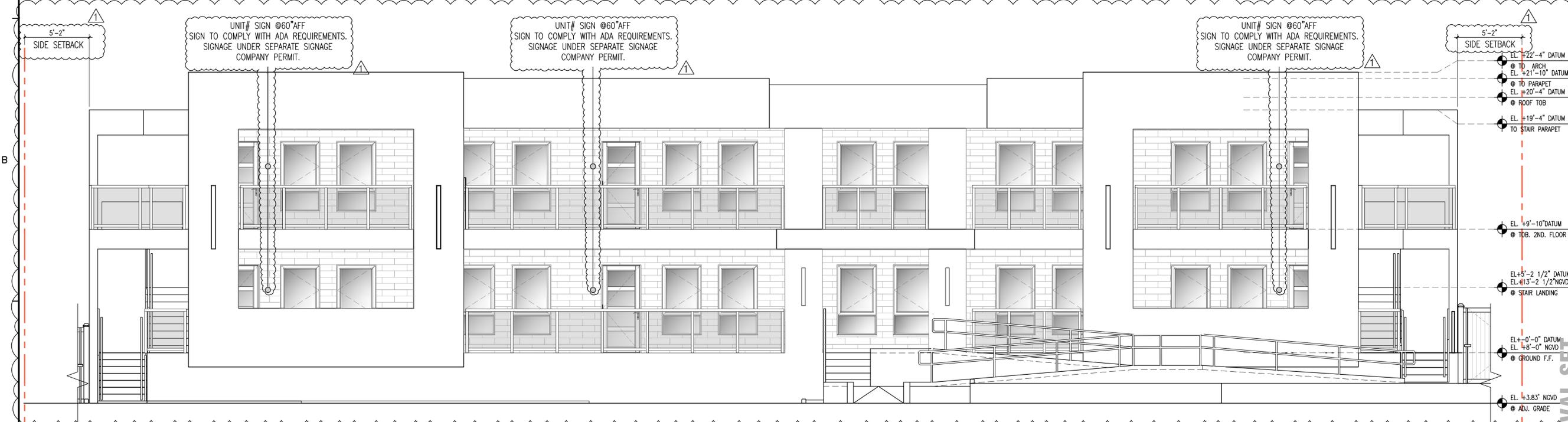
4

5

6



**2 NORTH ELEVATION**  
Scale: 1/4"=1'-0"



**1 WEST ELEVATION**  
Scale: 1/4"=1'-0"

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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project  
Edgardo O. Macchi  
Seal  
Reg. No. RA-96126

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△ DRG COMMENTS 12-08-2025

**BUILDING ELEVATIONS**  
Job code:  
2426 10/24/2025

A-200

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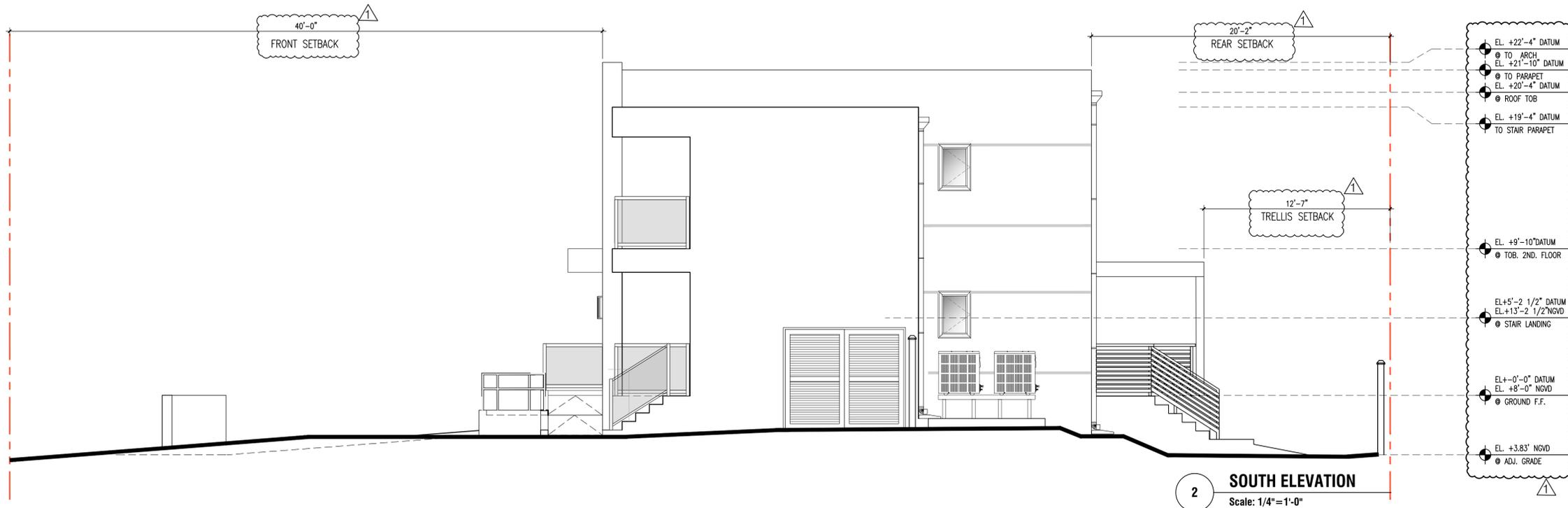
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D

C

B

A



**2 SOUTH ELEVATION**  
Scale: 1/4"=1'-0"



**1 EAST ELEVATION**  
Scale: 1/4"=1'-0"

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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project  
Edgardo O. Macchi  
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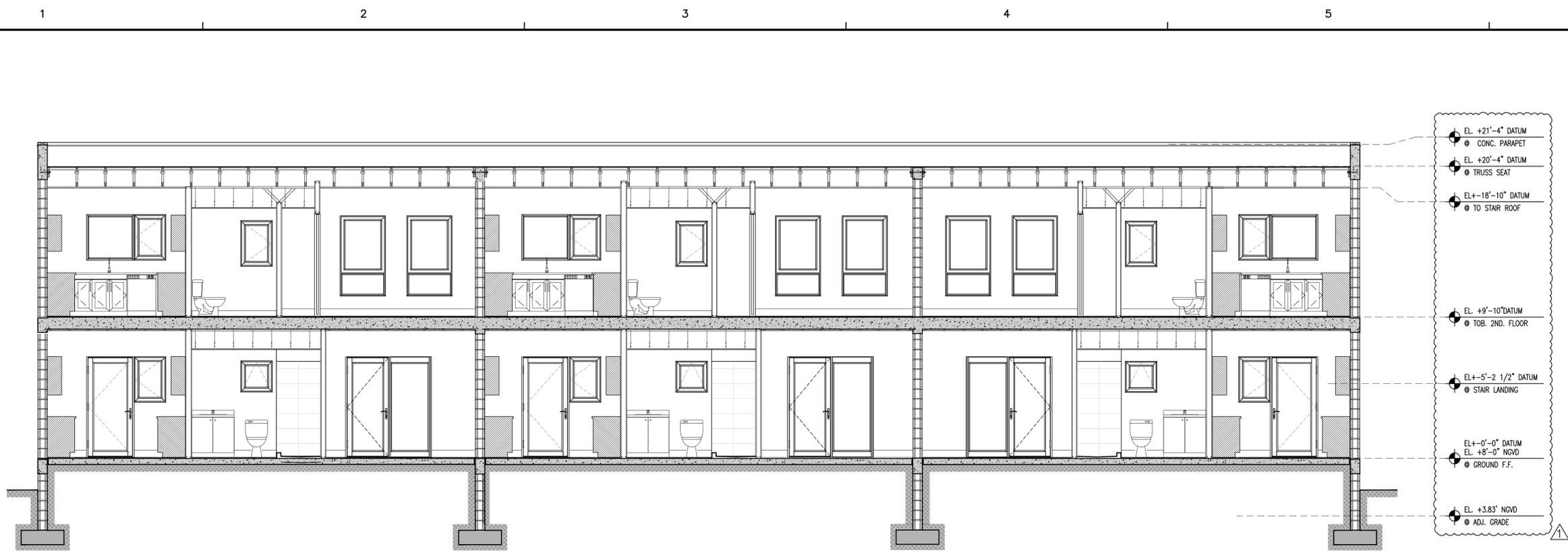
Seal

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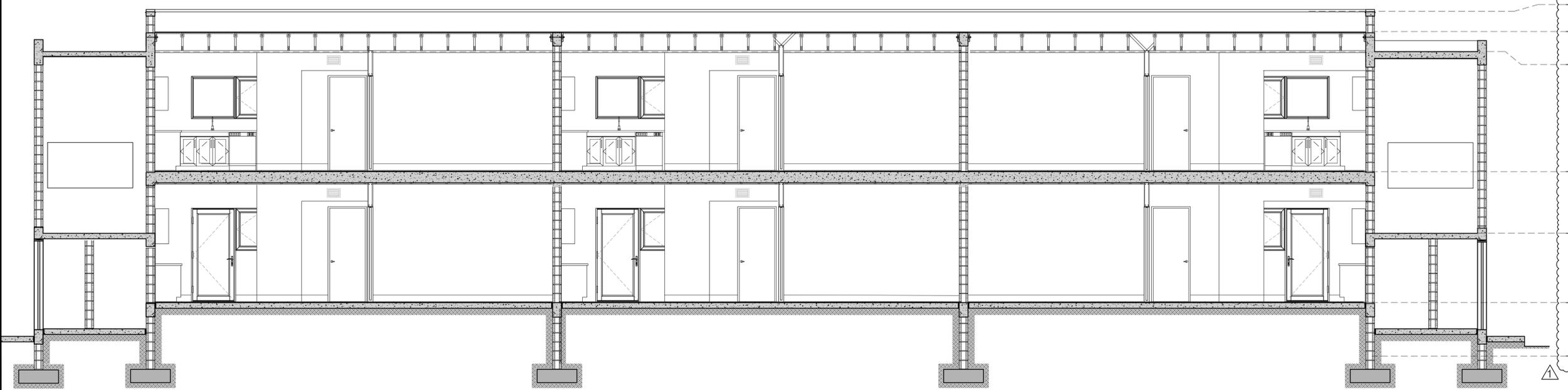
ZONING APPROVAL SET

**BUILDING ELEVATIONS**  
Job code: 2426 10/24/2025

A-201



**SECTION 1-1**  
Scale: 1/4"=1'-0"



**SECTION 2-2**  
Scale: 1/4"=1'-0"

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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

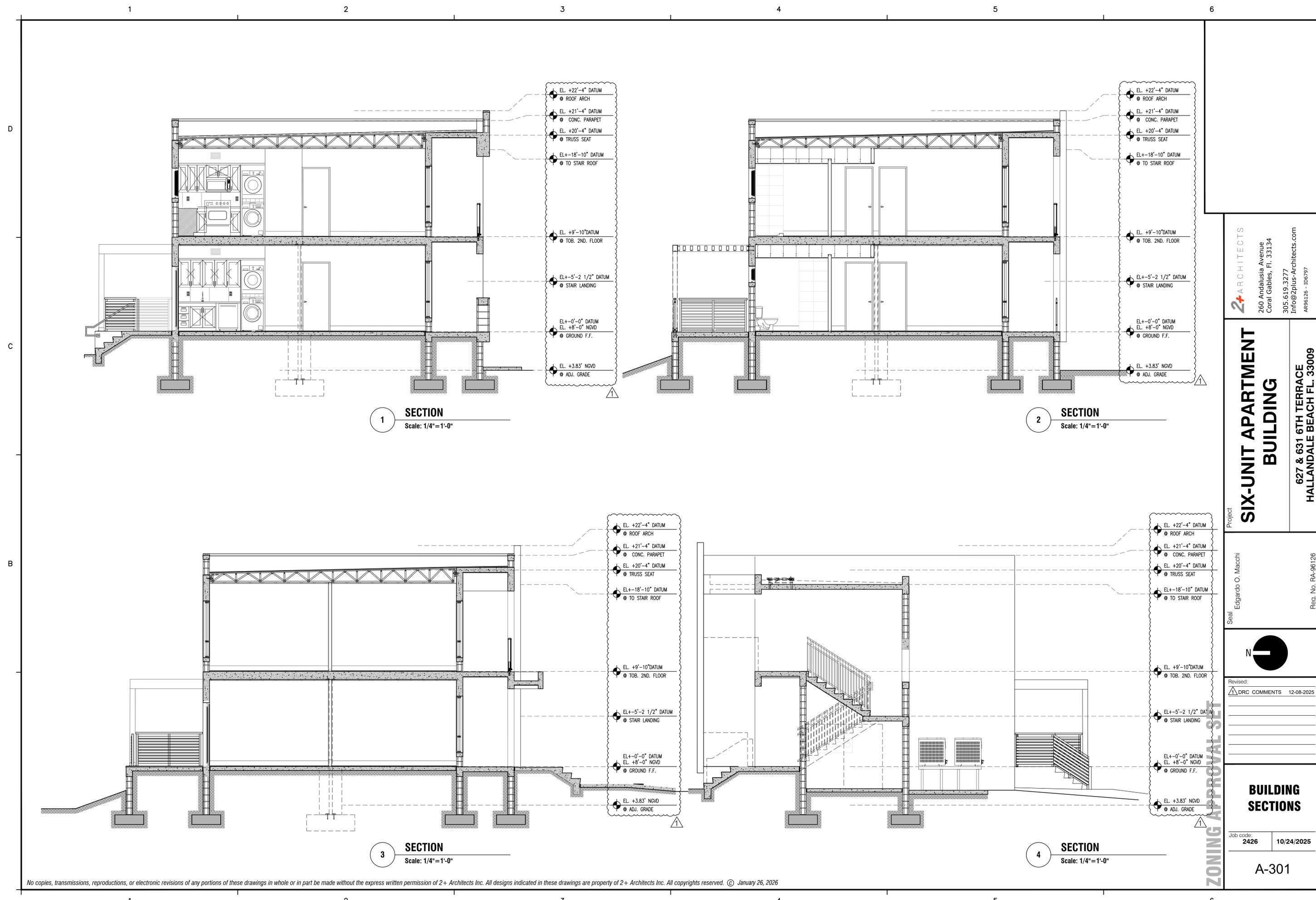
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Reg. No. RA-96126



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DRC COMMENTS 12-08-2025

**BUILDING SECTIONS**  
Job code: 2426 10/24/2025  
A-300

ZONING APPROVAL SEAL



**1 SECTION**  
Scale: 1/4"=1'-0"

**2 SECTION**  
Scale: 1/4"=1'-0"

**3 SECTION**  
Scale: 1/4"=1'-0"

**4 SECTION**  
Scale: 1/4"=1'-0"

- EL. +22'-4" DATUM  
● ROOF ARCH
- EL. +21'-4" DATUM  
● CONC. PARAPET
- EL. +20'-4" DATUM  
● TRUSS SEAT
- EL. +18'-10" DATUM  
● TO STAIR ROOF
- EL. +9'-10" DATUM  
● TOB. 2ND. FLOOR
- EL. +5'-2 1/2" DATUM  
● STAIR LANDING
- EL. +0'-0" DATUM  
EL. +8'-0" NGVD  
● GROUND F.F.
- EL. +3.83' NGVD  
● ADJ. GRADE

- EL. +22'-4" DATUM  
● ROOF ARCH
- EL. +21'-4" DATUM  
● CONC. PARAPET
- EL. +20'-4" DATUM  
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- EL. +22'-4" DATUM  
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- EL. +20'-4" DATUM  
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- EL. +22'-4" DATUM  
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EL. +8'-0" NGVD  
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- EL. +3.83' NGVD  
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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

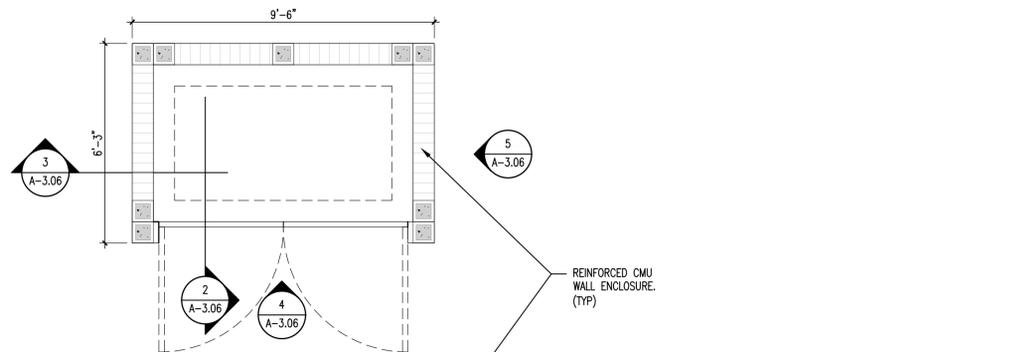
Project  
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Seal  
Reg. No. RA-96126



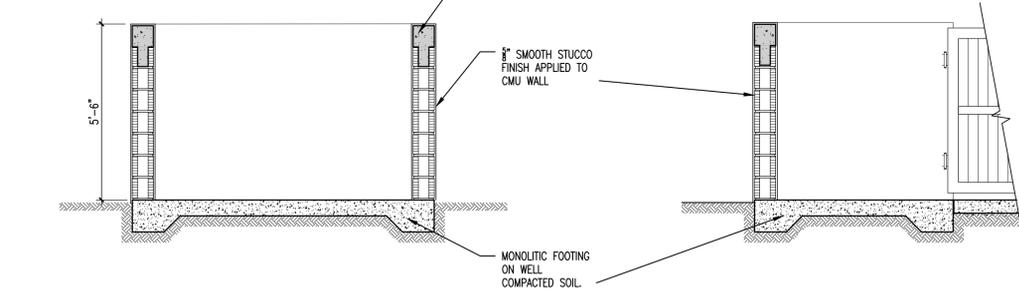
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**ZONING APPROVAL SEAL**

**BUILDING SECTIONS**  
Job code: 2426 10/24/2025  
A-301

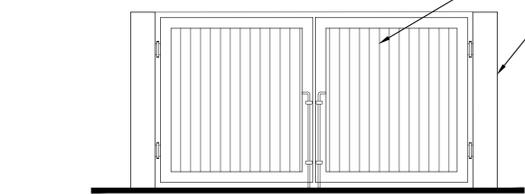


**1 DUMPSTER F.P.**  
Scale: 3/8"=1'-0"

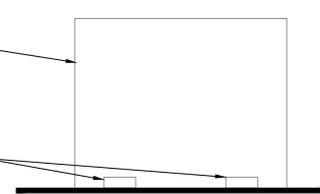


**3 DUMPSTER SECTION**  
Scale: 3/8"=1'-0"

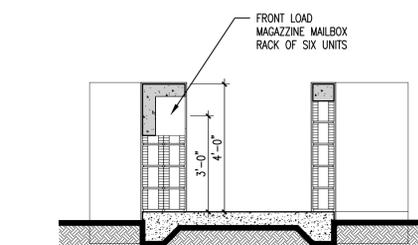
**2 DUMPSTER SECTION**  
Scale: 3/8"=1'-0"



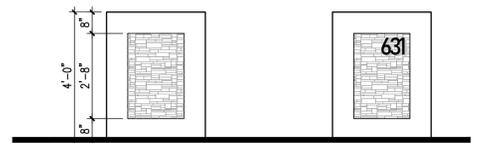
**4 DUMPSTER FRONT ELEVATION**  
Scale: 3/8"=1'-0"



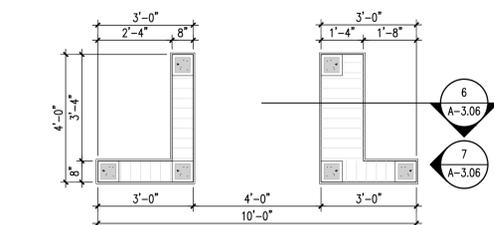
**5 DUMPSTER LATERAL ELEVATION**  
Scale: 3/8"=1'-0"



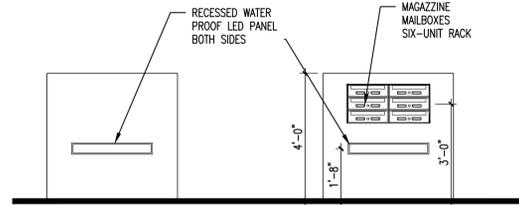
**6 MAILBOX SECTION**  
Scale: 3/8"=1'-0"



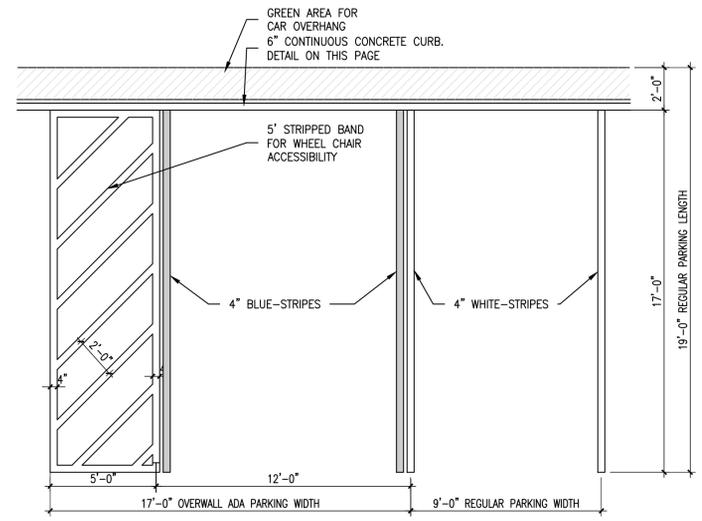
**7 MAILBOX ENTRANCE FRONT ELEVATION**  
Scale: 3/8"=1'-0"



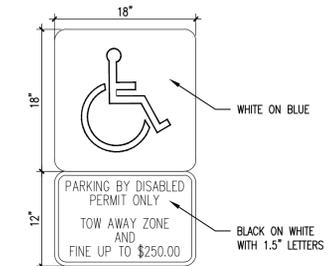
**8 MAILBOX ENTRANCE LOW WALL F.P.**  
Scale: 3/8"=1'-0"



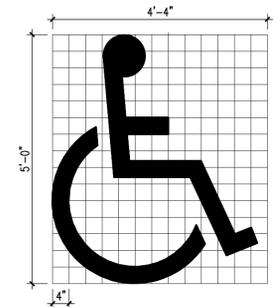
**9 MAILBOX ENTRANCE LATERAL ELEVATIONS**  
Scale: 3/8"=1'-0"



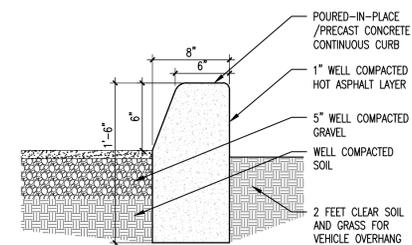
**10 ADA AND REGULAR PARKING STALLS**  
Scale: 3/8"=1'-0"



**A HANDICAP PARKING SIGN AND POST**  
Scale: 3/8"=1'-0"



**B HANDICAP PAVEMENT SYMBOL**  
Scale: 3/8"=1'-0"



**C CONTINUOUS CURB DETAIL**  
Scale: 3/8"=1'-0"

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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project: Edgardo O. Macchi  
Seal: Edgardo O. Macchi  
Reg. No. RA-96126



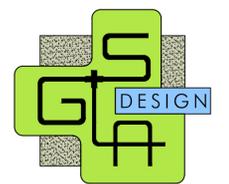
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DRC COMMENTS 12-08-2025

**DETAILS**  
Job code: 2426 10/24/2025  
A-400

**ZONING APPROVAL SET**

EXISTING TREE DISPOSITION LIST										
KEY	BOTANICAL NAME	COMMON NAME	SIZE			DISPOSITION			CONDITION	MITIGATION CANOPY (sq. ft.)
			HT. (ft.)	SPD. (ft.)	DBH. (in.)	REMAIN	REMOVE	TRANSPL.		
1	Cupressus anacardioides	Carrotwood	15	15	6		X		good	n/a (invasive)
2	Quercus virginiana	Live Oak	36	45	24		X	X	good	1590
3	Royaltonea regia	Royal Palm	40	12	25		X		good	
4	Tabebuia heterophylla	Pink Trumpet Tree	20	15	6		X		good	
5	Royaltonea regia	Royal Palm	30	12	10		X		good	
6	Sabal palmetto	Sabal Palm	20	10	10		X		good	
7	Sabal palmetto	Sabal Palm	24	10	10		X		good	
8	Quercus virginiana	Live Oak	35	40	28		X		good	
9	Tabebuia heterophylla	Pink Trumpet Tree	14	6	2		X		good	
10	Ficus religiosa	Indian Laurel	30	30	12		X		good	n/a (invasive)
TOTAL CANOPY TO BE REPLACED									1,590	
TOTAL CANOPY PROVIDED									1,650	

*Mitigation provided (see plant list for species):			
MITIGATION TYPE	QTY.	MITIGATION EA. (S.F.)	TOTAL MITIGATION (S.F.)
Category 1 (13' H, 2.5" DBH Min.)	2	350	700
Category 2 (10' Height Min.)	3	200	600
Category 3	3	100	300
Category 4	1	50	50
GRAND TOTAL S.F. MITIGATION CANOPY PROVIDED*			1650



**GSL DESIGN**  
 GARDNER + SEMLER  
 LANDSCAPE ARCHITECTURE  
 WWW.GSLDESIGN.COM  
 17670 NW 78th AVE., SUITE 214  
 MIAMI, FL 33157  
 P 305.392.1016 F 305.392.1019  
 C O R P . I D # 0 0 0 0 2 6 6 6

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 AR96126 - ID6797

**SIX-UNIT APARTMENT BUILDING**  
 627 & 631 6TH TERRACE  
 HALLANDALE BEACH FL. 33009

Project: Ken Gardner  
 Seal: Ken Gardner  
 FLA # 1589

North Arrow

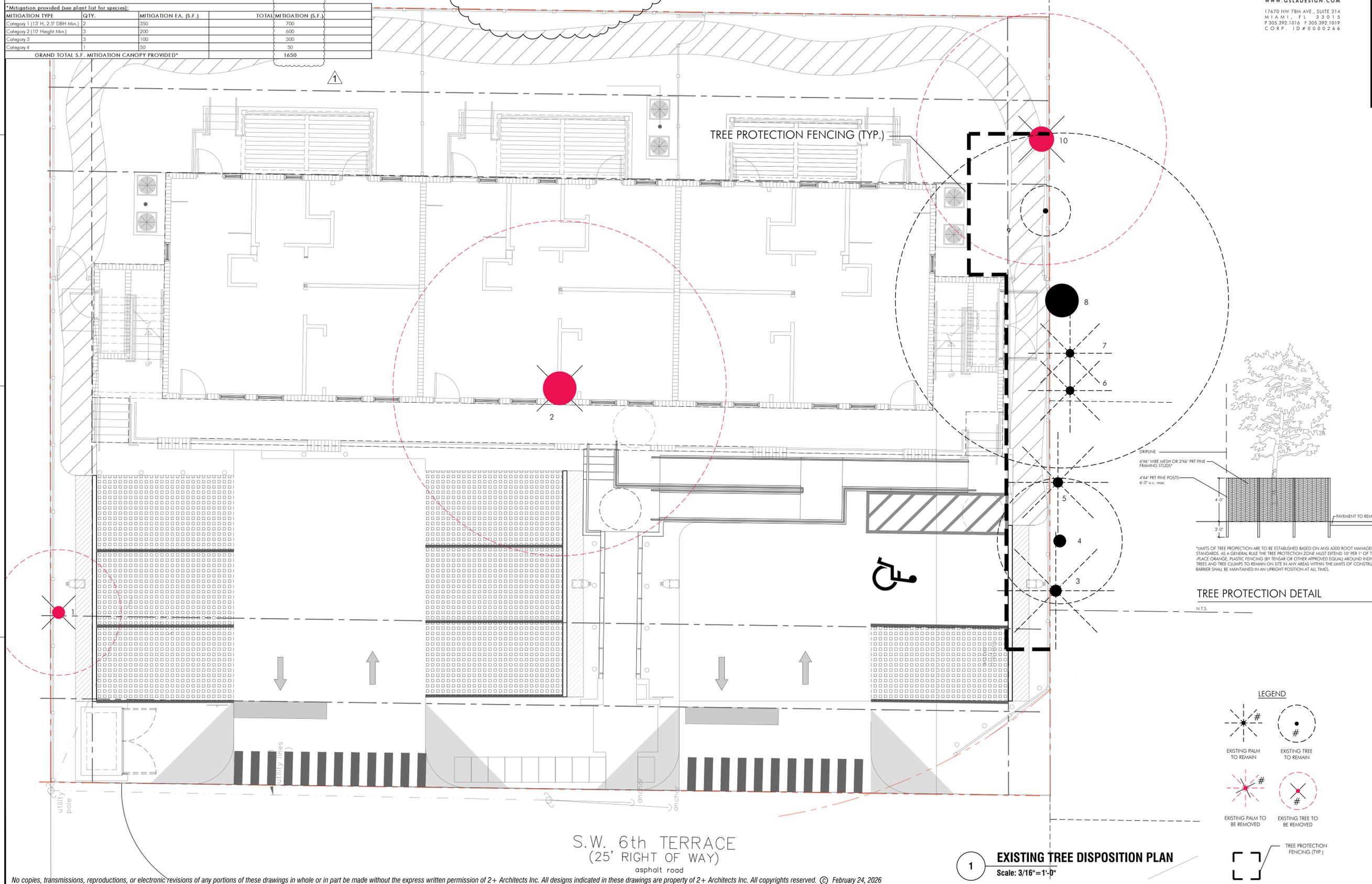
Revised: DRG COMMENTS 02-10-2026

**ZONING APPROVAL SET**

**EXISTING TREE DISPOSITION PLAN**

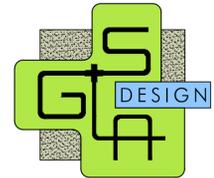
Job code: 2426 10/24/2025

LA-01



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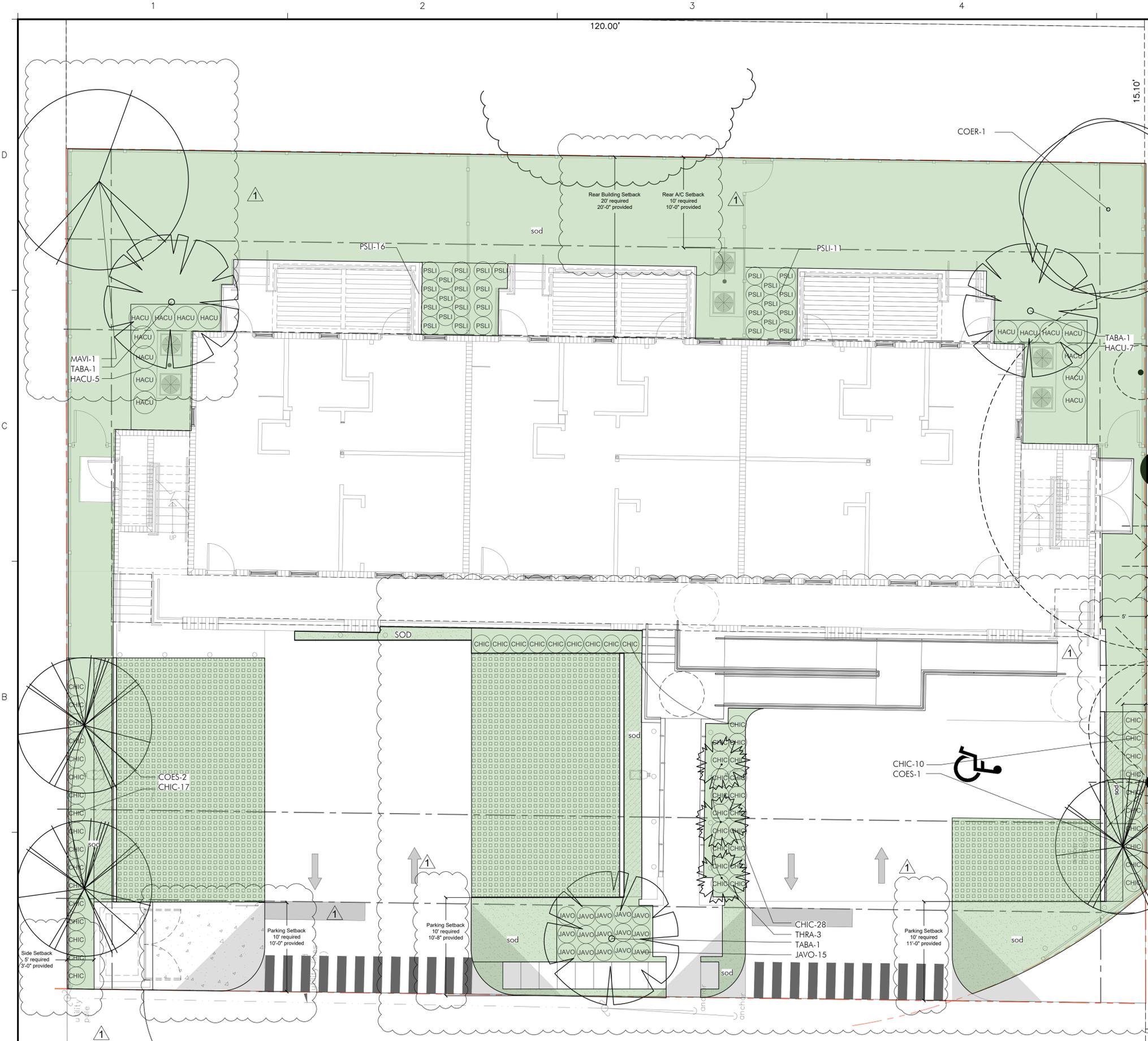
**EXISTING TREE DISPOSITION PLAN**  
 Scale: 3/16"=1'-0"



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17670 NW 78th AVE., SUITE 214  
MIA MI FL 33015  
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CORP. ID # 0000266

**PLANT LIST**  
\*NOTE: IF THERE IS A DISCREPANCY BETWEEN THE QUANTITIES SHOWN WITHIN THE LIST BELOW AND WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL OVERRIDE THOSE FROM THIS LIST.

TREES			
KEY	PLANT NAME	QTY.	UT. SIZE
COER	Conocarpus erectus ...Green Buttonwood	1	ea. 14' tall x 6' spread, 3" DBH, 4' CT min.
COES	Conocarpus erectus 'Sericeus' ...Silver Buttonwood	3	ea. 12' tall x 5' spread, single leader tree
MAVI	Magnolia virginiana ...Sweet Bay	1	ea. 14' tall x 6' spread, 3" DBH, 4' CT min.
TABA	Tabebuia bahamensis ...Dwarf Bahamian Trumpet Tree	3	ea. 12' tall x 5' spread, 2" DBH
PALMS			
KEY	PLANT NAME	QTY.	UT. SIZE
THRA	Thrinax radiata ...Florida Thatch Palm	3	ea. 6' tall OA
SHRUBS			
KEY	PLANT NAME	QTY.	UT. SIZE
CHIC	Chrysobalanus icaco ...Cocoplum	55	ea. 18" x 18"
HACU	Hamelia cuprea ...Dwarf Firebush	15	ea. 24" x 24"
JAVO	Jasminum volubile ...Wax Jasmine	15	ea. 18" x 18"
PSLI	Psychotria ligustrifolia ...Dwarf Coffee	27	ea. 18" x 18"
OTHER			
sod	St. Augustine 'Cribblue'	as req.	s.f. solid sod
	Planting Soil	as req.	c.y.
	70% Silica Sand	as req.	c.y.
	20% Everglades Muck	as req.	c.y.
	10% Shredded Pinebark	as req.	c.y.
	Shredded Melaleuca Mulch	as req.	c.y. 3" layer in all shrub beds



S.W. 6th TERRACE  
(25' RIGHT OF WAY)  
asphalt road

**PLANTING PLAN**  
Scale: 3/16"=1'-0"

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2+ ARCHITECTS  
Ken Gardner  
Seal  
FLA#1589

**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project  
Ken Gardner  
Seal  
FLA#1589

Revised:  
DRC COMMENTS 02-10-2026

**PLANTING PLAN**  
Job code: 2426 10/24/2025

LA-02

**ZONING APPROVAL SET**

**LANDSCAPE SPECIFICATIONS**  
**PART 1 - GENERAL**

- 1.1 SCOPE  
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.
- 1.2 CONTRACTOR QUALIFICATIONS  
A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in County where work is performed.
- 1.3 INVESTIGATION OF UTILITIES  
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).
- 1.4 SUBSTITUTIONS  
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.
- 1.5 PLANT SIZES  
A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. If plant sizes of local codes and ordinances require larger plant material than specified on plans, then they shall supersede the sizes on the plan. When plant sizes are specified as a range of sizes, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.
- 1.6 PLANT QUALITY  
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.
- B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.
- C. CIRCULING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.
- 1.7 PLANT QUANTITY  
A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.
- 1.8 UNIT PRICES  
A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.
- 1.9 SUBMITTALS  
A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.
- B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. ft.) for approval by the Landscape Architect prior to delivery to the site.
- 1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC  
A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.  
B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.  
C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.
- 1.11 MAINTENANCE PRIOR TO ACCEPTANCE  
A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".
1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance shall include watering all plants, weeding, mulching, pest and disease control, lightening and repairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant saucer, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.
2. Turf Areas: Begin maintenance of turf immediately following the placement of sod and continue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weeding and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.
3. Re-setting or straightening trees and palms:  
The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours.
- 1.12 ACCEPTANCE OF INSTALLATION  
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.
- 1.13 GUARANTEE  
A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of the Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.
- 1.14 REPLACEMENT  
A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.
1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.  
2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.

**PART 2 - MATERIALS**

- 2.1 PLANTING SOIL  
A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.  
B. Soil for Sodded Areas: shall be coarse lawn sand.
- 2.2 FERTILIZER  
A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or based with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for soil and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.
- 2.3 WATER  
A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.
- 2.4 MULCH  
A. Mulch shall be as specified on the Plant List.
- 2.5 ROOT BARRIER MATERIAL  
A. Root barrier material shall be 24" deep polypropylene panels by DeepRoot or approved equal.  
B. Install per details in the plans.

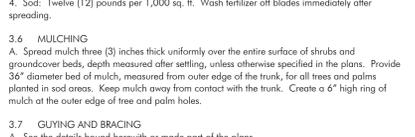
**PART 3 - INSTALLATION PROCEDURES**

- 3.1 LAYOUT  
A. Verify location of all underground utilities and obstructions prior to excavation.
- 3.2 HERBICIDE TREATMENT  
A. In all areas infested with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's notes. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.
- 3.3 PLANT PIT EXCAVATION AND BACKFILLING  
A. Trees: See the Planting and Bracing Details and notes.  
B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.  
C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curbs and pavements as shown in the plans.  
D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.
- 3.4 WATERING  
A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.
- AMOUNT OF WATER PER APPLICATION  
For trees up to 5 inch caliper - 5 gallons  
From 5 to 8 inch caliper - 25 gallons  
9 inch and up caliper - 50 gallons
- FREQUENCY OF WATER  
Daily for the first week  
3 times per week for weeks 2 - 5  
2 times per week for weeks 6 - 8  
1 time per week for weeks 9 - 12
- B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.  
C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified above, after installation of each section of the planting installed.
- 3.5 FERTILIZING  
A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing other planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:
1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.  
2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.  
3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.  
4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.  
5. MULCHING  
A. Spread mulch three (3) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter wheel of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 4" high ring of mulch of the outer edge of tree and palm holes.  
6. CUTTING AND BRACING  
A. See the details bound herewith or made part of the plans.  
3.8 SODDING  
A. Provide a blanket of lawn sod as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curbs as well as adjacent sod in the case of sod patching.  
B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.  
C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.  
D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.  
E. Apply fertilizer to the sod as specified in Section 3.5.  
F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

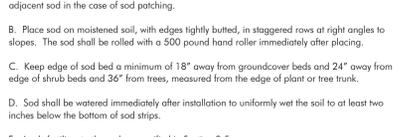
**PLANT BED PREPARATION NOTES**

1. In all areas where new sod and shrub and groundcover masses are to be planted, fill all existing weeds by treating with systemic herbicide prior to beginning soil preparation.  
2. In all shrub and groundcover beds, excavate and backfill soil as described in "Plant List(s)". If no specific preparation is noted, prepare soil as described below for either condition, over the entire area to be planted.  
Condition A:  
If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.  
Condition B:  
Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

**PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER**

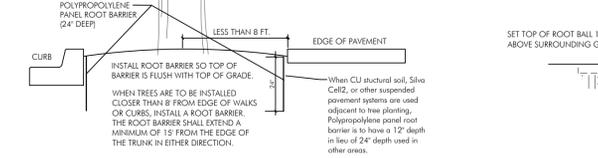
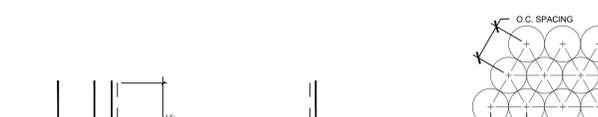


**PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER**

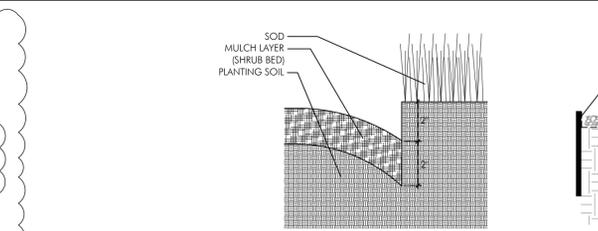
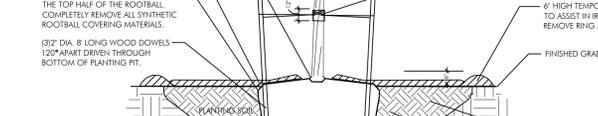


LANDSCAPE LEGEND			
Zoning District: RD-12 Net Lot Area: 0.26 acres: 11,161 sq. ft.			
CITY OF HALLANDALE BEACH			
Required Landscape Area Units	Required	Provided	
A. All ground level sodded or landscaped areas x 100% credit.	-	-	
B. All architectural planters, nonground-level planted areas and interior atriums x 50% credit.	-	-	
C. Total Landscape Area 111,61 sq. ft. x 30%	3348.30	3,025(27.10%)	(VARIANCE REQUIRED)
1			
<b>Lawn Area</b>			
A. Maximum lawn area 4,506 sq. ft x 70%	3,154	2,461	
<b>Tree Requirement</b>			
A. Total Site Tree 1 @ 10' height x 5' spread, 2" dbh tree per each 1,500 sq. ft. 11151 sq. ft. / 1500 sf. ft. =			
Total Site Tree Credits		8	8
B. Total Existing Tree Credits	-	-	-
For each tree with a dbh of 6" to 12", a credit of two trees 0 x 2 =	-	-	-
For each tree with a dbh of 12" to 24", a credit of two trees 0 x 3 =	-	-	-
For each tree with a dbh of 24" or more, a credit of two trees 0 x 4 =	-	-	-
C. Maximum 50% Palms Allowed (10' Height)	4	3	
Total New Site Tree Credits		8	8
D. Native Requirement	4	8	
Native Tree Species - 50%	4	8	
Drought Tolerant - 50%	4	8	
E. Vehicular Use Area 0 parking spaces x 1 tree =	-	-	-
50% trees selected from the city's approved species list	-	-	-
Grand Total Tree Credits		8	8

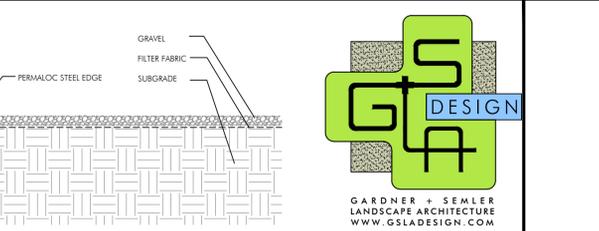
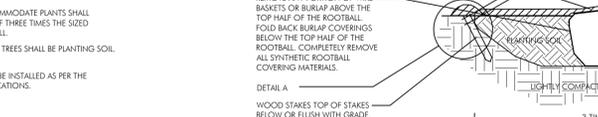
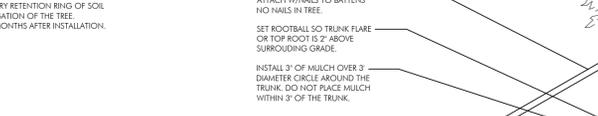
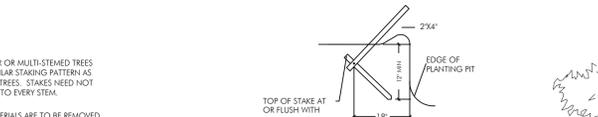
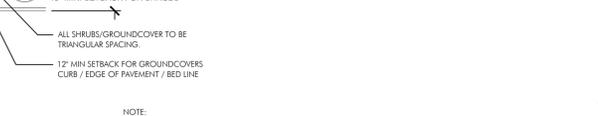
NOTE:  
All landscaping shall be effectively supported with a water-conservation irrigation system. Where established native vegetation is incorporated into the landscape design, irrigation of those areas shall not be required.  
The irrigation system shall be designed to accommodate reuse water and may include but is not limited to rain barrels or other water conservation methods.  
Plants shall be grouped together by irrigation demand and maintenance needs.  
Irrigation system shall meet the irrigation standards identified in F.S. § 373.228, as amended.  
Irrigation systems shall be maintained in an operable condition.  
Irrigation plans shall be required at the time of building permit submittal.



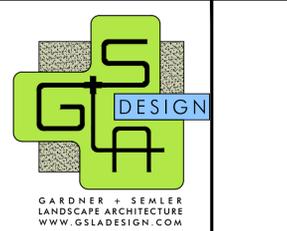
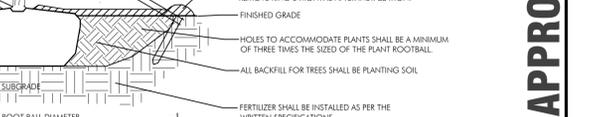
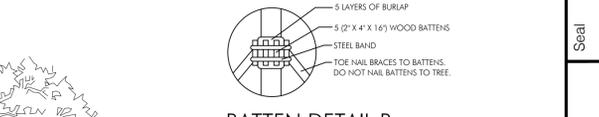
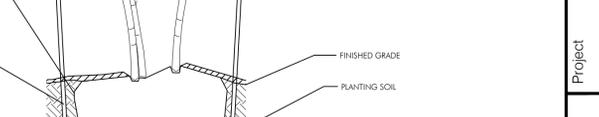
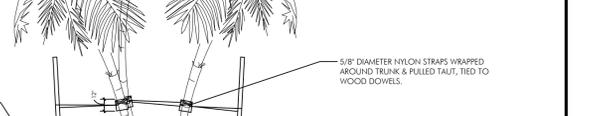
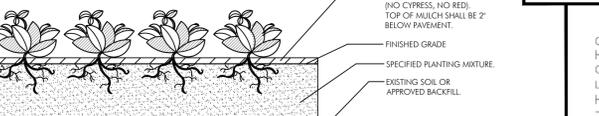
**SHRUB INSTALLATION DETAIL**



**SECTION THRU GRAVEL**



**SECTION THRU GRAVEL**



**GARDNER + SEMLER**  
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AR96126 - ID6797

**SIX-UNIT APARTMENT BUILDING**  
**627 & 631 6TH TERRACE HALLANDALE BEACH FL. 33009**

Project  
Ken Gardner  
Seal  
N

Revised:  
DRC COMMENTS 02-10-2026

**PLANTING SPECS & DETAILS**

Job code:  
2426 10/24/2025

LA-03

**ZONING APPROVAL SET**

NOTES

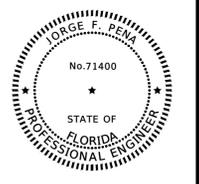
1. ALL SURVEY INFORMATION WAS OBTAINED FROM A LICENSED FLORIDA PROFESSIONAL SURVEYOR AND MAPPER AND UTILIZED AS SUPPORTING DATA IN THE PRODUCTION OF DESIGNING PLANS AND FOR CONSTRUCTION ON SUBJECT PROJECT. THE PROFESSIONAL SURVEYOR AND MAPPER RECORD IS:  
 ROBERT L. THOMPSON  
 PROFESIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION No. 3869  
 DATE: 01/28/2025
2. ALL EXISTING UTILITIES SHALL REMAIN IN SERVICE UNLESS OTHERWISE NOTED. IF EXISTING UTILITIES NEED TO BE DISCONNECTED, COORDINATE WITH THE OWNER AT LEAST 48 HOURS IN ADVANCE.
3. USE EXTREME CAUTION NEAR ALL UTILITIES, CABLES, CONDUITS, AND MANHOLES. PROVIDE PROTECTION DURING CONSTRUCTION TO ASSURE SERVICE AT ALL TIMES. COORDINATE ALL SCHEDULES WITH FIELD REPRESENTATIVE PRIOR TO WORKING AROUND UTILITIES. USE TEST HOLES TO IDENTIFY UTILITIES BEFORE DEMOLITION OR EXCAVATION ACTIVITIES.
4. BECOME FAMILIAR WITH CURRENT SITE CONDITIONS, AND REPORT ANY DISCREPANCIES ON THE PLANS TO THE ENGINEER AND OWNER IMMEDIATELY AND PRIOR TO COMMENCING WORK.
5. ESTABLISH CONSTRUCTION LAYOUT AS SHOWN IN PLANS, IMMEDIATELY NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
6. NOTIFY OWNER AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED WORK, PRIOR TO THE START OF ANY CONSTRUCTION, TO ARRANGE FOR PHYSICAL LOCATION AND ELEVATION OF ALL UNDERGROUND IMPROVEMENTS. PROVIDE THE UTILITY COMPANY SUFFICIENT NOTICE TO SCHEDULE ANY RELOCATION OF THEIR UTILITIES. TO PREVENT DISRUPTION OF UTILITY SERVICE FOR AREAS OF THE COMPLEX THAT ARE IN OPERATIONS DURING CONSTRUCTION, PROVIDE SUPPORT TO ANY UTILITY THAT MAY BE IN CONFLICT WITH OR ENDANGERED BY THE PROPOSED WORK.
7. ALL OVERHEAD OR SURFACE STRUCTURES AND UTILITIES ENCOUNTERED ARE TO BE CAREFULLY PROTECTED FROM DAMAGE OR DISPLACEMENT. ALL DAMAGE TO SUCH STRUCTURES SHALL BE COMPLETELY REPAIRED WITHIN THE TIME FRAME OF THE CONSTRUCTION. THE OWNER RESERVES THE RIGHT TO REMEDY SUCH DAMAGE BY ORDERING OUTSIDE PARTIES TO MAKE SUCH REPAIRS. ALL REMEDIAL WORK DONE COMPLETED BY OUTSIDE PARTIES SHALL BE COMPLETED WITHIN THE COST OF THE CONTRACT, NO ADDITIONAL PAYMENTS SHALL BE MADE.

8. EQUIPMENT AND MATERIALS MAY BE STORED WITHIN THE LIMITS OF THE SITE, AS APPROVED BY THE OWNER. MAINTAIN ALL EQUIPMENT, MATERIALS AND STAGING AREAS IN A CLEAN, ORDERLY CONDITION SO AS NOT TO CAUSE A NUISANCE IN THE AREA. RESTORE THESE AREAS TO THEIR ORIGINAL OR BETTER CONDITION, WITH ALL ITS APPURTENANCES, IN KIND, TO THE SATISFACTION OF THE ENGINEER AND OWNER. RESTORATION OF THESE AREAS IS TO BE COMPLETED WITHIN THE COST OF THE CONTRACT, NO ADDITIONAL PAYMENTS SHALL BE MADE.
9. COMPLY WITH STATE REQUIREMENTS, ALL LOCAL, STATE, AND NATIONAL BUILDING CODES OF THE AUTHORITIES HAVING JURISDICTION OVER THIS WORK. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER.
10. COMPLETE "AS-BUILT" INFORMATION. THIS INFORMATION SHALL BE SUBMITTED TO THE ENGINEER AS A CADD FILE AND AS A DRAWING SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA.
11. NOTIFY THE OWNER AND THE ARCHITECT OF RECORD IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES, INCONSISTENCIES, OR CONTRADICTIONS WITHIN THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, OR BETWEEN THE DOCUMENTS AND SITE CONDITIONS. ANY WORK AFFECTED BY SUCH DISCREPANCIES SHALL NOT PROCEED UNTIL CLARIFICATION OR WRITTEN DIRECTION IS PROVIDED BY THE OWNER.
12. ACCESSIBLE PARKINGS SPACES SHALL BE MARKED AS SHOWN IN THE 2026 FDOT STANDARD PLANS INDEX 711-001 SHEET 11 OF 13. SIGNAGE FOR ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE TO THE 2026 FDOT STANDARD PLANS INDEX 700-102 SHEET 3 OF 24.



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 WWW.ALFKA.COM  
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**SIX-UNIT APARTMENT BUILDING**  
 627 & 631 SW 6TH TERRACE,  
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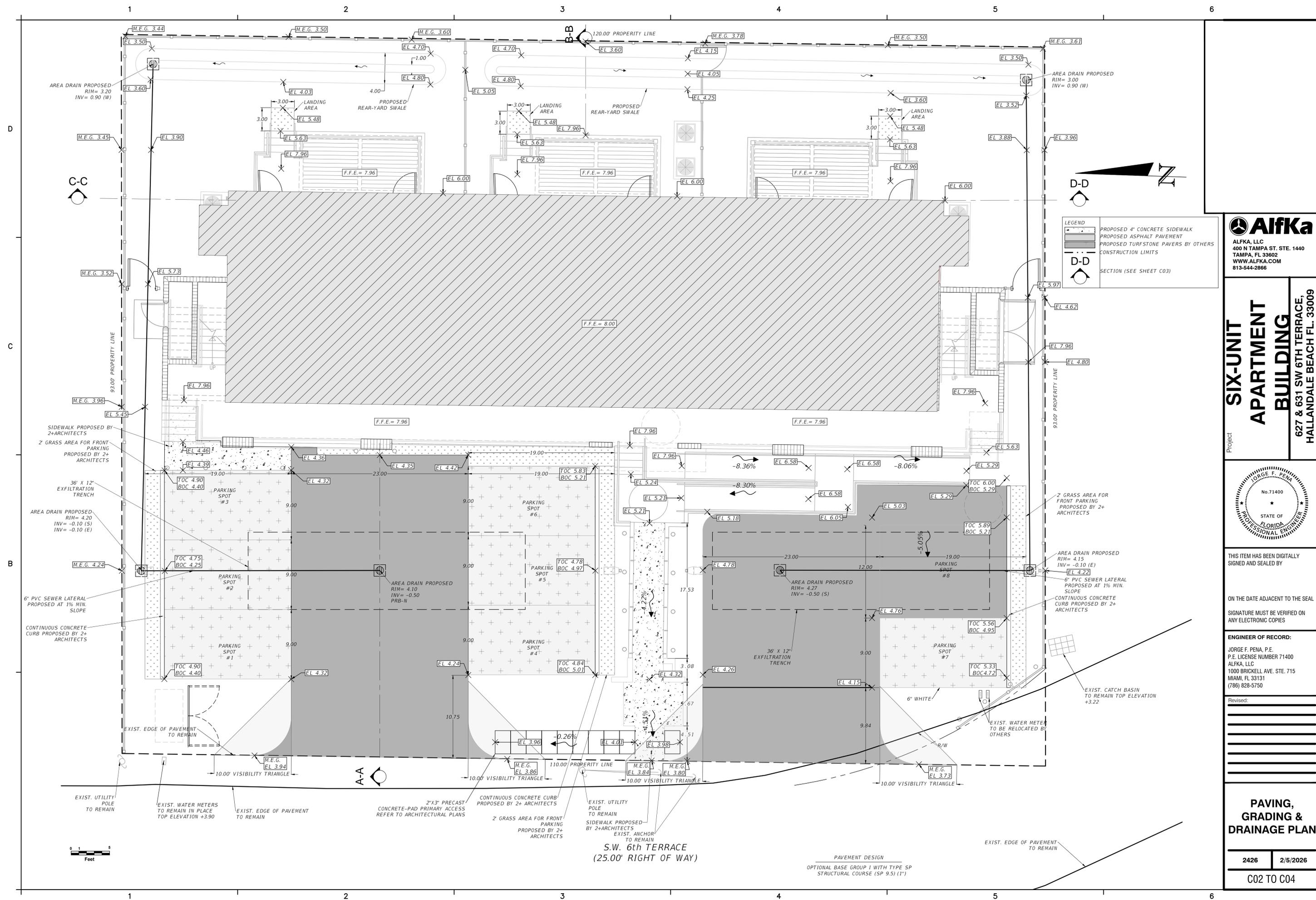
**ENGINEER OF RECORD:**  
 JORGE F. PENA, P.E.  
 P.E. LICENSE NUMBER 71400  
 ALFKA, LLC  
 1000 BRICKELL AVE. STE. 715  
 MIAMI, FL 33131  
 (786) 828-5750

Revised:  
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**CIVIL NOTES**

2426 2/5/2026

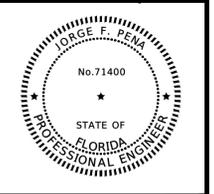
C01 TO C04



	PROPOSED 4" CONCRETE SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	PROPOSED TURFSTONE PAVERS BY OTHERS
	CONSTRUCTION LIMITS
	SECTION (SEE SHEET C03)

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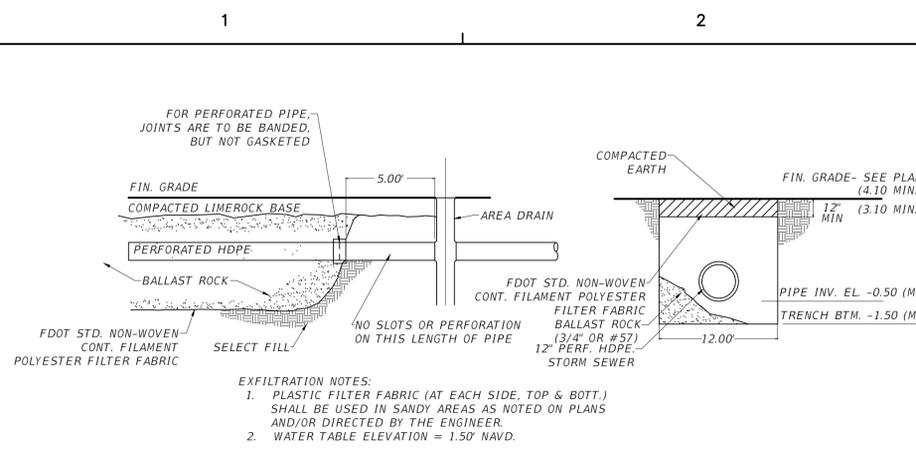
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**PAVING, GRADING & DRAINAGE PLAN**

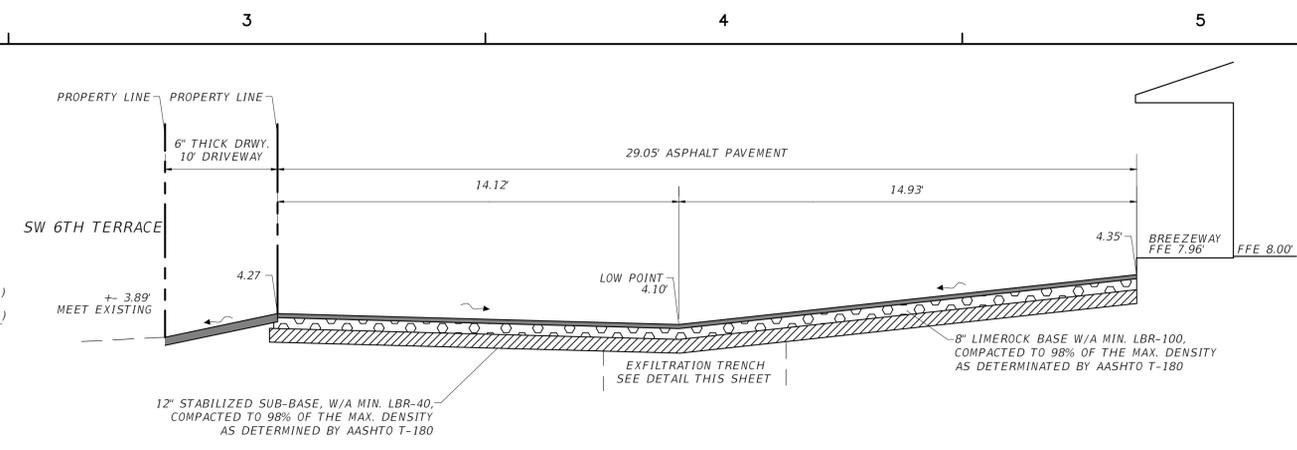
2426 2/5/2026

C02 TO C04

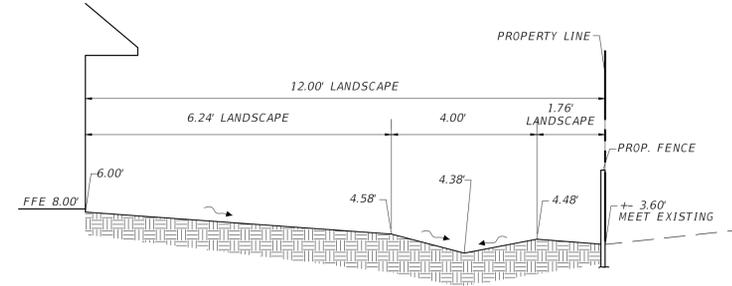


EXFILTRATION NOTES:  
 1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP & BOTT.) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR DIRECTED BY THE ENGINEER.  
 2. WATER TABLE ELEVATION = 1.50' NAVD.

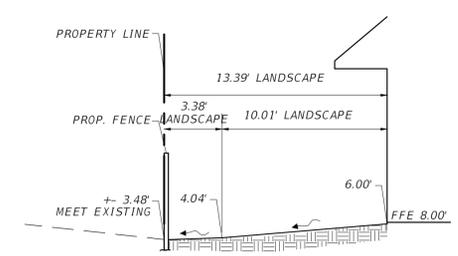
EXFILTRATION TRENCH DETAIL  
N.T.S.



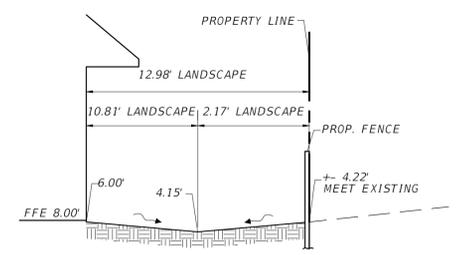
C02 SECTION A-A  
N.T.S.



C02 SECTION B-B  
N.T.S.



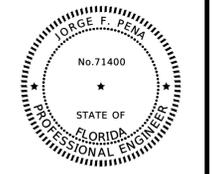
C02 SECTION C-C  
N.T.S.



C02 SECTION D-D  
N.T.S.

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Project  
**SIX-UNIT APARTMENT BUILDING**  
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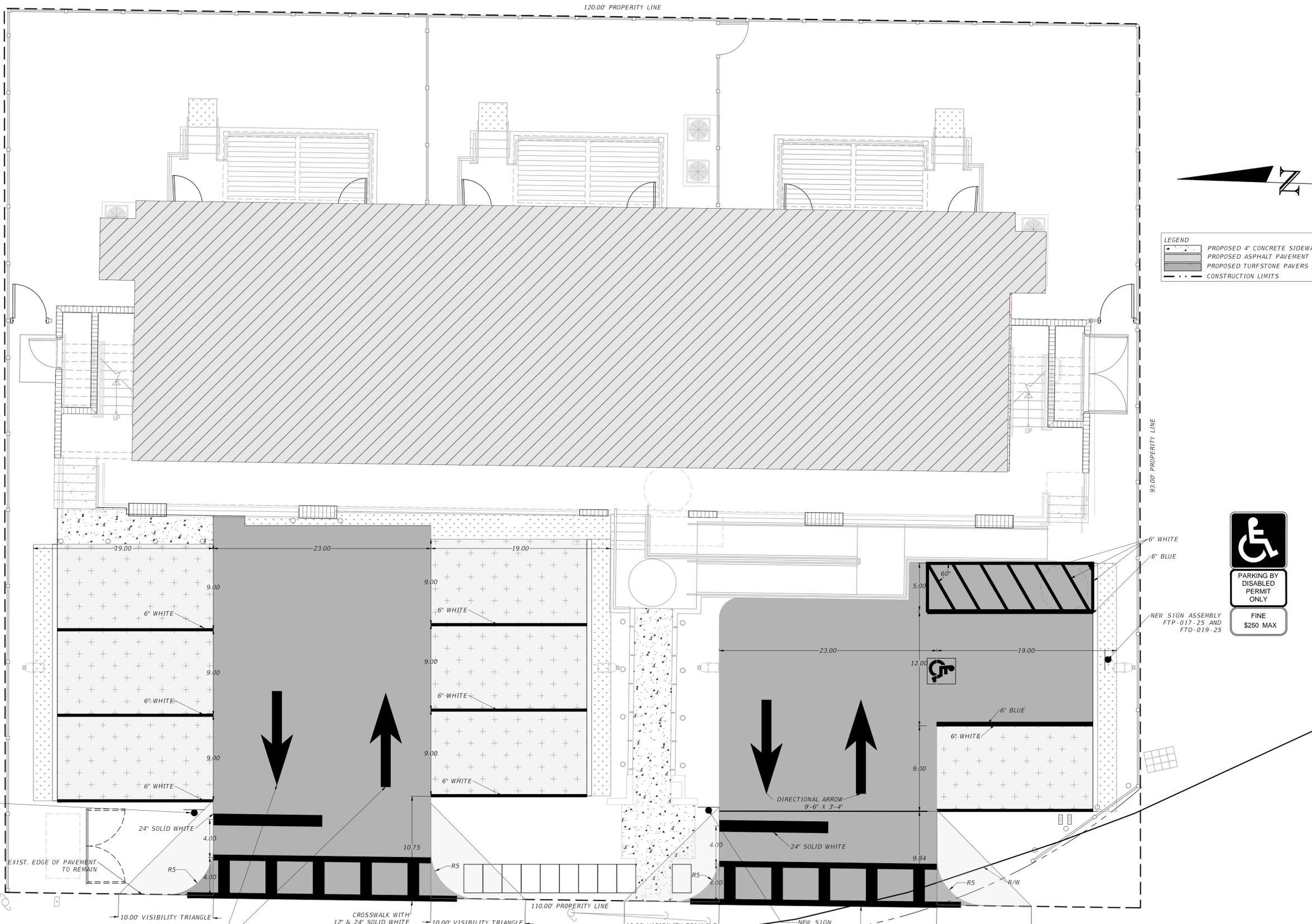
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**CIVIL DETAILS**

2426 | 2/5/2026

C03 TO C04

1 2 3 4 5 6



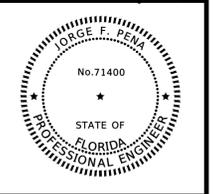
- LEGEND**
- PROPOSED 4" CONCRETE SIDEWALK
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED TURFSTONE PAVERS BY OTHERS
  - CONSTRUCTION LIMITS



**PARKING BY DISABLED PERMIT ONLY**  
FINE \$250 MAX

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Revised:


**SIGNING AND PAVEMENT MARKINGS**

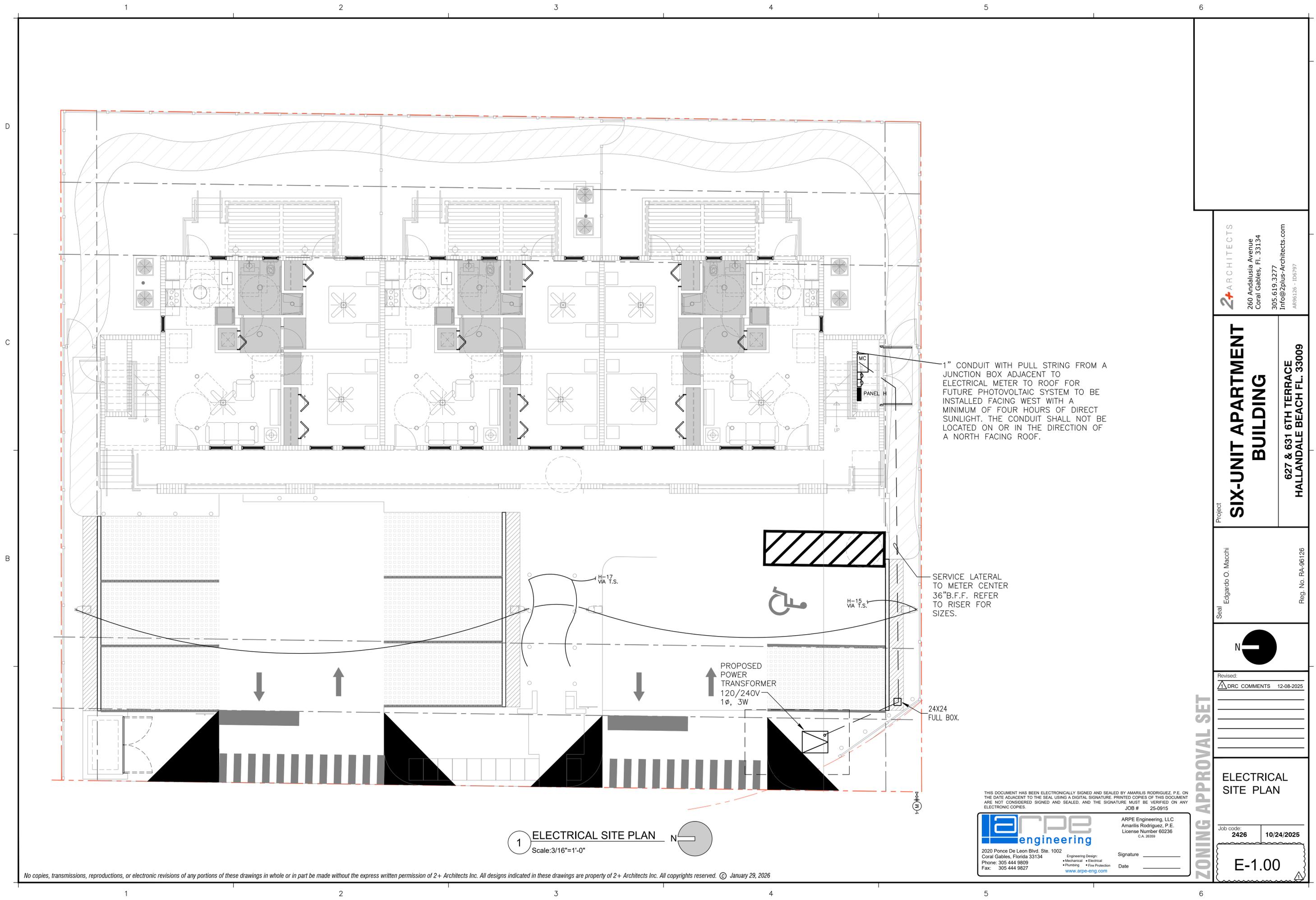
2426 2/5/2026

C04 TO C04



S.W. 6th TERRACE  
(25.00' RIGHT OF WAY)

D  
C  
B  
A



1" CONDUIT WITH PULL STRING FROM A JUNCTION BOX ADJACENT TO ELECTRICAL METER TO ROOF FOR FUTURE PHOTOVOLTAIC SYSTEM TO BE INSTALLED FACING WEST WITH A MINIMUM OF FOUR HOURS OF DIRECT SUNLIGHT. THE CONDUIT SHALL NOT BE LOCATED ON OR IN THE DIRECTION OF A NORTH FACING ROOF.

SERVICE LATERAL TO METER CENTER 36" B.F.F. REFER TO RISER FOR SIZES.

24X24 FULL BOX.

**1 ELECTRICAL SITE PLAN**  
Scale: 3/16" = 1'-0"

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HALLANDALE BEACH FL. 33009

Project: Edgardo O. Macchi  
Seal: Edgardo O. Macchi  
Reg. No. RA-96126

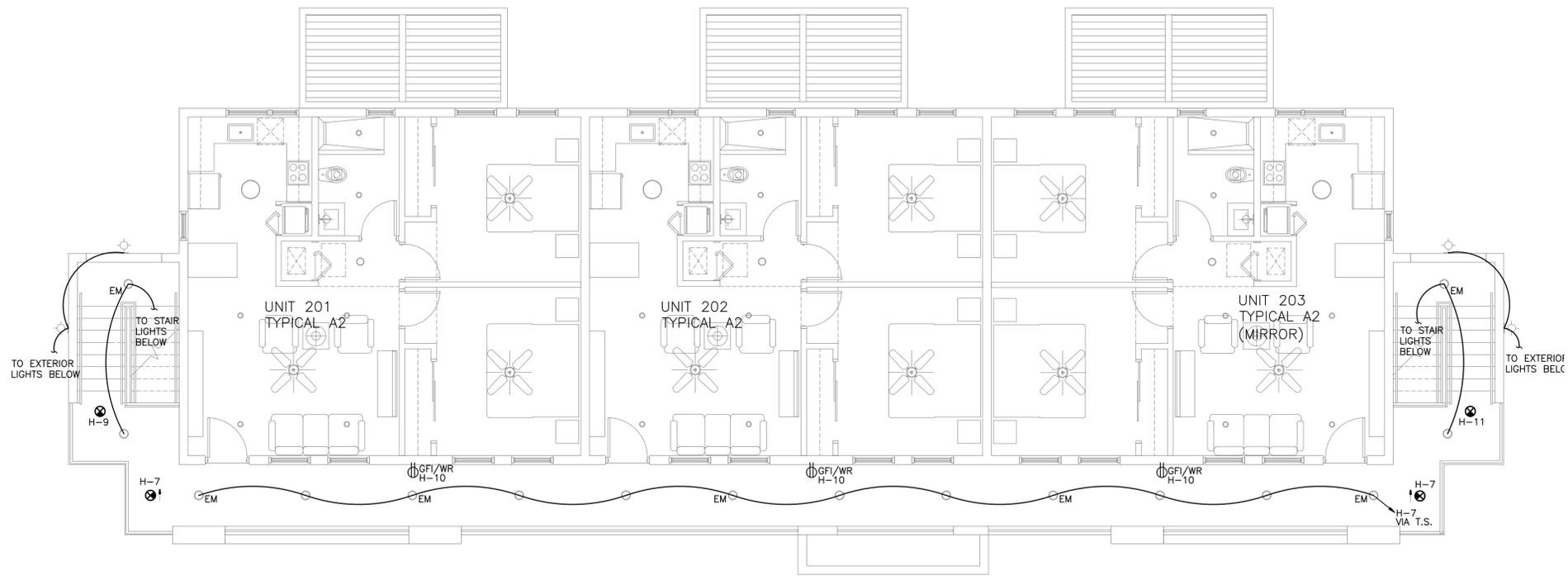


Revised:  
DRC COMMENTS 12-08-2025

**ELECTRICAL SITE PLAN**

Job code: 2426 10/24/2025

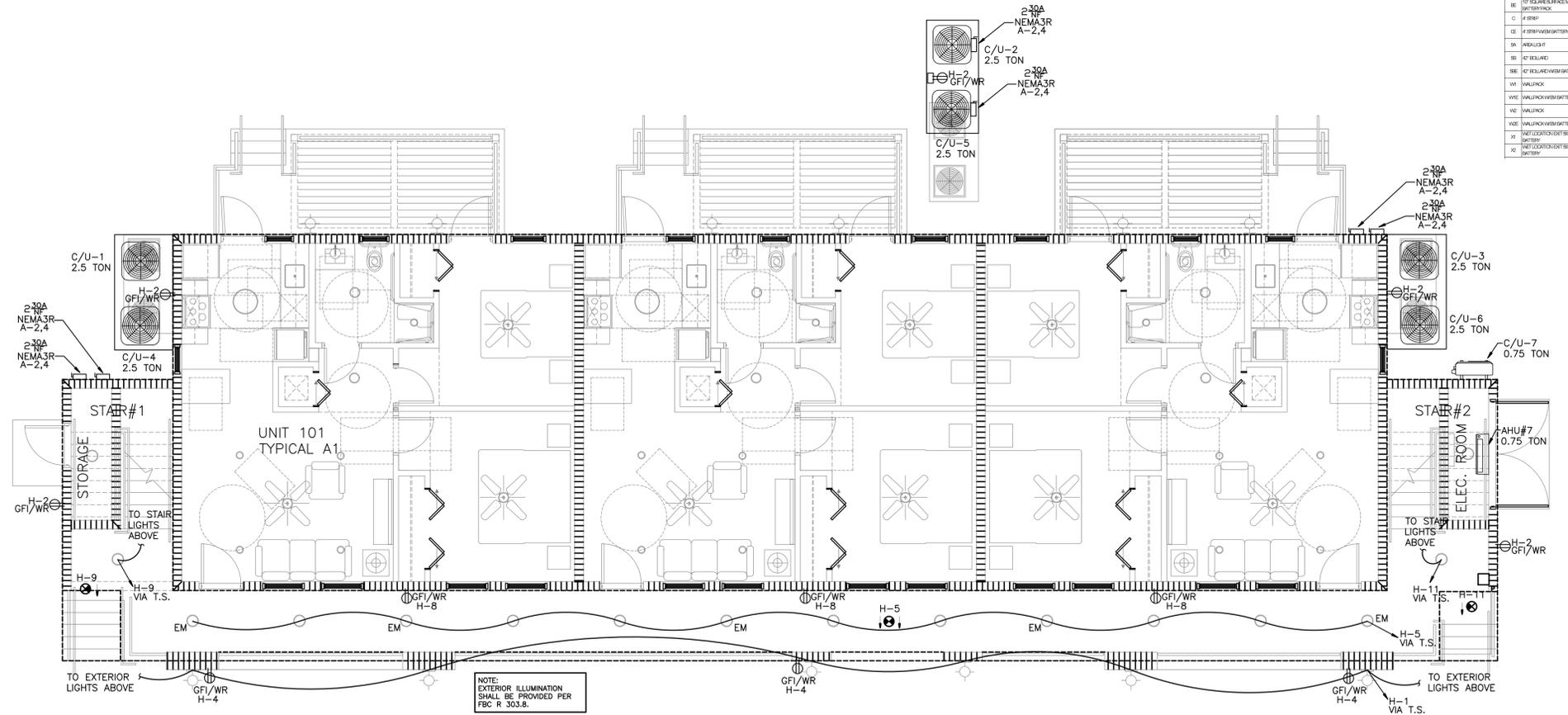
**E-1.00**



2 ELECTRICAL 2ND FLOOR PLAN  
Scale: 3/16" = 1'-0"

627-631 SW 6TH TERRACE - HALLANDALE BEACH  
COMMON AREAS LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPING	VARIANCE	VOLTAGE	CONTROL	FINISH	RATING	MOUNTING	ACCESSORIES	COMMENTS
1A	1" SQUARE RECESSED LIGHT	LPHO	892123H (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	10	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1B	1" SQUARE RECESSED LIGHT W/ BATTERY	LPHO	892123H (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	10	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1C	1" SQUARE RECESSED LIGHT - SQUARE	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1D	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1E	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1F	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1G	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1H	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1I	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1J	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1K	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1L	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1M	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1N	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1O	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1P	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1Q	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE
1R	1" SQUARE RECESSED LIGHT - SQUARE W/ BATTERY	LPHO	2010142 (14" SQUARE) 2000K 100LM 2700K 14" 100LM	LED-30K	34	120V	0-DIM	WHITE	DMF	SURFACE		FRAGILE ELECTRICAL, DIMMER COMPATIBLE



1 ELECTRICAL 1ST FLOOR PLAN  
Scale: 3/16" = 1'-0"

NOTE: EXTERIOR ILLUMINATION SHALL BE PROVIDED PER FBC R 303.8.

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627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project: Edgardo O. Macchi  
Seal: Edgardo O. Macchi  
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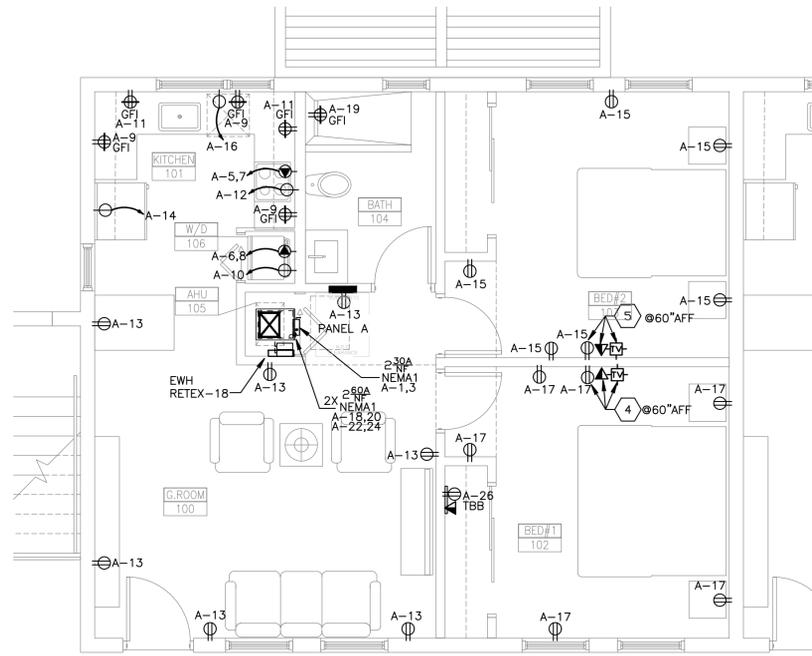


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DRC COMMENTS 12-08-2025

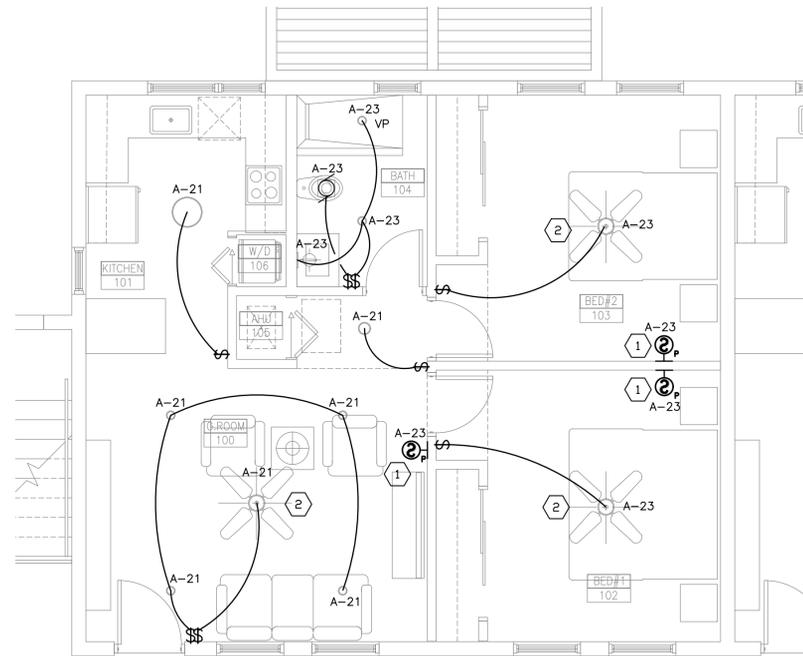
ELECTRICAL SITE PLAN

Job code: 2426 10/24/2025

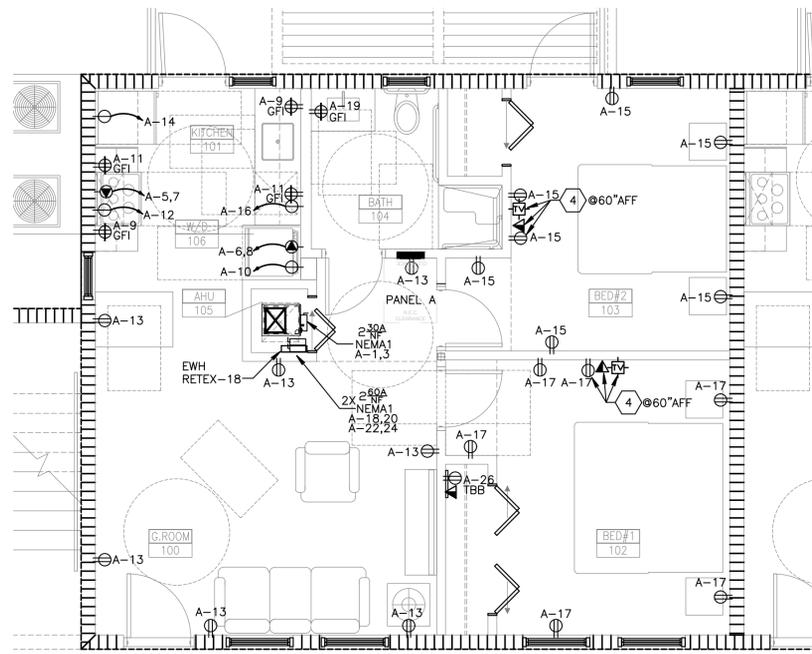
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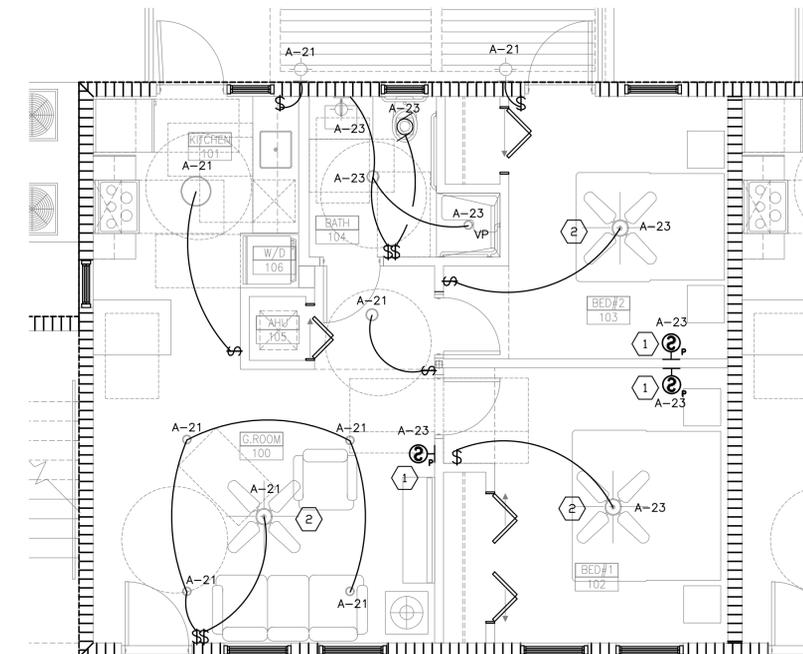
3 TYPICAL UNIT A2-POWER PLAN  
Scale: 1/4"=1'-0"



4 TYPICAL UNIT A2-LIGHTING PLAN  
Scale: 1/4"=1'-0"

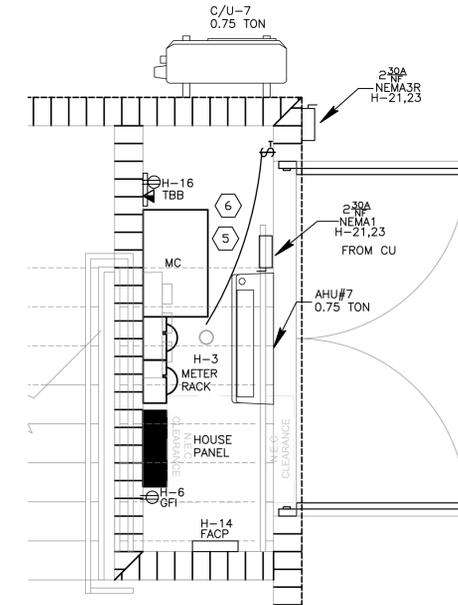


1 TYPICAL UNIT A1-POWER PLAN  
Scale: 1/4"=1'-0"



2 TYPICAL UNIT A1-LIGHTING PLAN  
Scale: 1/4"=1'-0"

- 1 120V SMOKE AND CARBON MONOXIDE ALARMS COMBO WITH BATTERY BACK UP INTERCONNECTED WITH 3/4" C. TO MASTER BATHROOM LIGHT CIRCUIT. THIS CIRCUIT SHALL BE ARC FAULT PROTECTED. ALARMS SHALL BE INSTALLED INSIDE AND OUTSIDE EACH DORMITORY AND A MINIMUM OF 3 FEET FROM ANY AIR SUPPLY OR RETURN AIR GRILL, 3 FEET AWAY FROM THE TIP OF A CEILING PADDLE FAN BLADE. CONTRACTOR SHALL VERIFY OPERATION OF ALL EXISTING SMOKE ALARMS AND REPAIR/REPLACE AS NEEDED FOR FULL COMPLIANCE.
- 2 PROVIDE J BOX FOR CEILING FAN AT ALL CENTER LIGHT FIXTURE. TYPICAL ALL ROOMS.
- 3 LIGHT FIXTURES IN CLOSET SHALL NOT BE INSTALLED WITHIN 12" OF SHELF.
- 4 CONTRACTOR SHALL COORDINATE ALL TELEPHONE AND CABLE TV OUTLET M.H. PRIOR TO INSTALLATION. TYPICAL ENTIRE HOUSE. WIRE ALL TELEPHONE OUTLETS WITH CAT 5.
- 5 ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE FLOOD LEVEL, TYPICAL.
- 6 ELECTRICAL SERVICE LOCATION, CONTRACTOR SHALL COORDINATE WITH FPL ALL REQUIREMENTS PRIOR TO BIDDING. REFER TO RISER DIAGRAM FOR SERVICE CONDUCTOR SIZES.
- 7 RUN A SEPARATE HOME RUN FROM EACH DATA, CABLE AND TELEPHONE OUTLET TO TELEPHONE/CABLE BOARD.



5 ELECTRICAL ROOM ENLARGEMENT PLAN  
Scale: 1/2"=1'-0"

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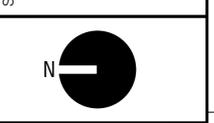
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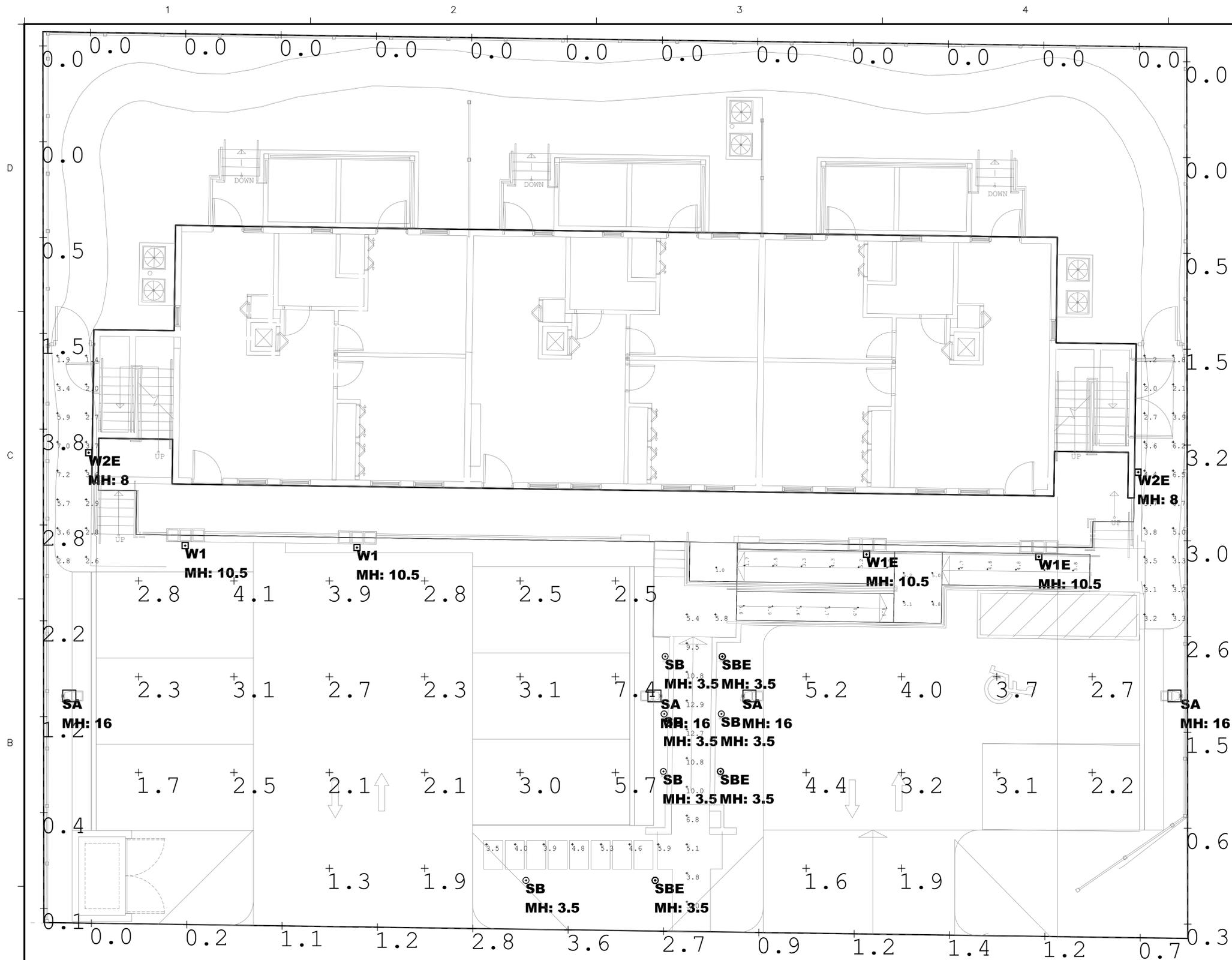
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 Reg. No. RA-96126



Revised:  
 Δ DRC COMMENTS 12-08-2025

TYPICAL UNIT ELECTRICAL PLAN  
 Job code: 2426 10/24/2025  
 E-2.01





1 PHOTOMETRIC SITE PLAN - NORMAL LIGHTING  
Scale: 3/16"=1'-0"

LUMINAIRE SCHEDULE										
Scenario: NORMAL										
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT WATTS
	SA	Single	NLS LIGHTING	NV-1 T4FTW 16 1 30K7 UNV ASA xxx RPAx HSS	POLE MOUNTED; 16' A.F.G.	N/A	0.900	3369	56	56
	SB	Single	Barron Lighting	ELB 42 S 3K xx	BOLLARD	N/A	0.860	800	34	34
	SBE	Single	Barron Lighting	ELB 42 S 3K xx EM	BOLLARD	BATTERY	0.860	800	34	34
	W1	Single	NLS Lighting	TWL T4 16L 175 30K7 UNV WM xxx	WALL MOUNTED; PER PLANS	N/A	0.900	1212	10	10
	W1E	Single	NLS Lighting	TWL T4 16L 175 30K7 UNV WM xxx EMS	WALL MOUNTED; PER PLANS	BATTERY	0.900	1212	10	10
	W2E	Single	NLS Lighting	TWL T2 16L 175 30K7 UNV WM xxx EMS	WALL MOUNTED; PER PLANS	BATTERY	0.900	1206	10	10

CALCULATION SUMMARY										
Scenario: NORMAL										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING & DRIVE	Illuminance	Fc	10	10	0	3.06	7.4	1.3	2.35	5.69
PROPERTY LINE	Illuminance	Fc	10	N.A.	N.A.	0.97	3.8	0.0	N.A.	N.A.
WALKWAY	Illuminance	Fc	3	3	0	4.75	12.9	1.2	3.96	10.75
RAMP	Illuminance	Fc				4.24	5.6	1.0	4.24	5.60

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**SIX-UNIT APARTMENT BUILDING**  
627 & 631 6TH TERRACE  
HALLANDALE BEACH FL. 33009

Project: Edgardo O. Macchi  
Seal: Edgardo O. Macchi  
Reg. No. RA-96126



Revised:  
DRC COMMENTS 12-08-2025

PHOTOMETRIC SITE PLAN - NORMAL LIGHTING

Job code: 2426 10/24/2025

E-4.00

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ZONING APPROVAL SEAL



LUMINAIRE SCHEDULE										
Scenario: EMERGENCY										
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT WATTS
	SBE	Single	Barron Lighting	ELB 42 S 3K xx EM	BOLLARD	BATTERY	0.860	800	34	34
	W1E	Single	NLS Lighting	TWL T4 16L 175 30K7 UNV WM xxx EM8	WALL MOUNTED; PER PLANS	BATTERY	0.900	1212	10	10
	W2E	Single	NLS Lighting	TWL T2 16L 175 30K7 UNV WM xxx EM8	WALL MOUNTED; PER PLANS	BATTERY	0.900	1206	10	10

CALCULATION SUMMARY											
Scenario: EMERGENCY											
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN	
WALKWAY EM	Illuminance	Fc	3	3	0	2.17	5.6	0.7	3.10	8.00	
RAMP	Illuminance	Fc				1.70	2.4	0.4	4.25	6.00	

1 PHOTOMETRIC SITE PLAN - EMERGENCY LIGHTING  
Scale: 3/16"=1'-0"

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PHOTOMETRIC SITE PLAN - EMERGENCY LIGHTING

Job code: 2426 10/24/2025

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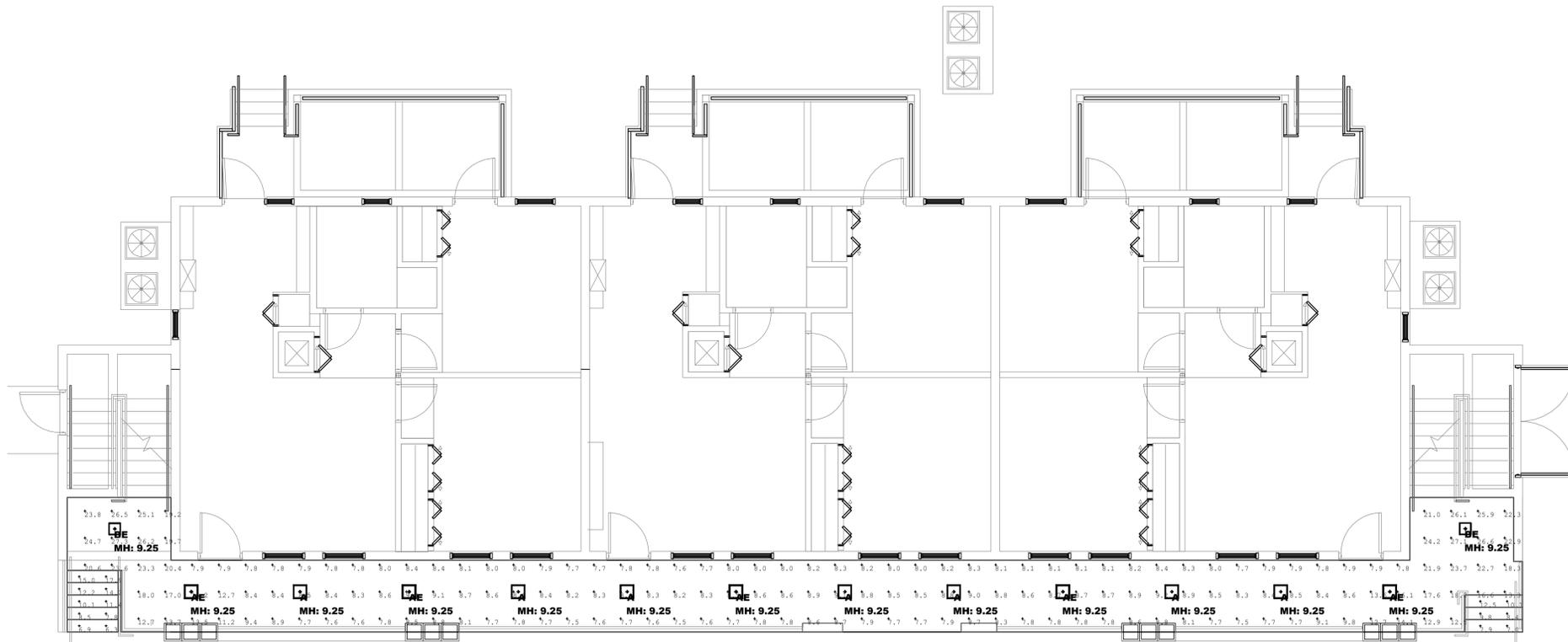
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ZONING APPROVAL SEAL



LUMINAIRE SCHEDULE									
Scenario: NORMAL									
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
+	A	Single	Juno Lighting	JFSQ 12IN 13LM SWWS (3000K) 90CRI MVOLT ZT WH EBX	CEILING SURFACE	N/A	0.670	1421	14.2
+	AE	Single	Juno Lighting	JFSQ 12IN 13LM SWWS (3000K) 90CRI MVOLT ZT WH EM	CEILING SURFACE	BATTERY	0.670	1421	14.2
+	BE	Single	Lithonia Lighting	CNY LED ALO (5000LM) SWW2 (3000K) UVOLT PE PIR WH M2 + CNYEK E7WC M12	CEILING SURFACE	BATTERY	0.860	4680	33.73

CALCULATION SUMMARY										
Scenario: NORMAL										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
1ST FLOOR CORRIDOR_Floor	Illuminance	Fc	2	2	0	11.00	27.3	7.5	1.47	3.64
EAST STEPS	Illuminance	Fc				9.28	12.5	7.0	1.33	1.79
WEST STEPS	Illuminance	Fc				11.03	17.9	6.3	1.75	2.84

LIGHTING POWER DENSITY SUMMARY			
Scenario: NORMAL			
LABEL	AREA	TOTAL WATTS	LPD
1ST FLOOR CORRIDOR_LPD	607.01	237.86	0.392

1 PHOTOMETRIC 1ST FLOOR PLAN - NORMAL LIGHTING  
Scale: 3/16"=1'-0"

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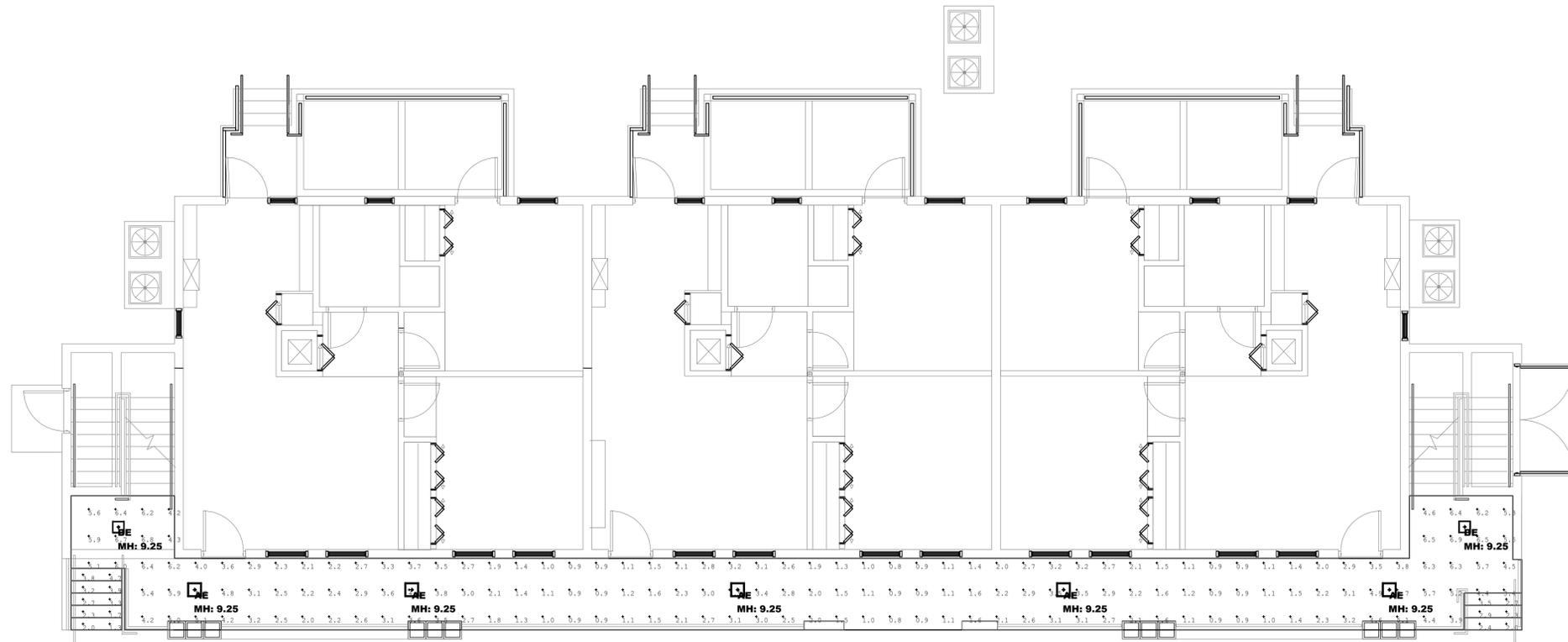
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**PHOTOMETRIC 1ST FLOOR PLAN - NORMAL LIGHTING**

Job code: 2426 10/24/2025

**E-4.02**

ZONING APPROVAL SEAL



LUMINAIRE SCHEDULE									
Scenario: EMERGENCY									
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
+	AE	Single	Juno Lighting	JFSFG 12IN 13LM SHWS (3000K) 90CRI MVOLT ZT WH EM	CEILING SURFACE	BATTERY	0.670	1421	14.2
+	BE	Single	Lithonia Lighting	CNY LED ALO (5000LM) SWW2 (3000K) UVOLT PE PIR WH M2 + CNYEK E7WC M12	CEILING SURFACE	BATTERY	0.860	4680	33.73

CALCULATION SUMMARY										
Scenario: EMERGENCY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
1ST FLOOR CORRIDOR_Floor	Illuminance	Fc	2	2	0	2.92	6.9	0.8	3.65	8.63
EAST STEPS	Illuminance	Fc				2.63	3.5	2.0	1.32	1.76
WEST STEPS	Illuminance	Fc				2.89	4.7	1.3	2.22	3.62

LIGHTING POWER DENSITY SUMMARY			
Scenario: EMERGENCY			
LABEL	AREA	TOTAL WATTS	LPD
1ST FLOOR CORRIDOR LPD	607.01	138.46	0.228

1 PHOTOMETRIC 1ST FLOOR PLAN - EMERGENCY LIGHTING  
Scale: 3/16"=1'-0"

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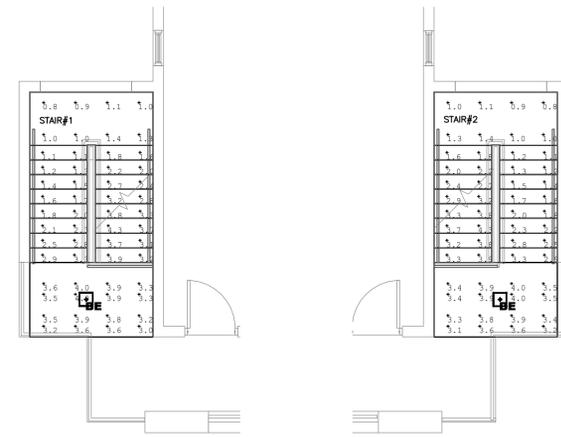
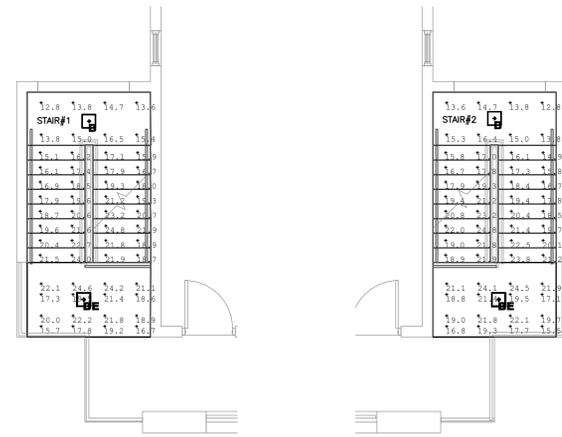


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PHOTOMETRIC 1ST FLOOR PLAN - EMERGENCY LIGHTING  
Job code: 2426 10/24/2025

E-4.03

ZONING APPROVAL SET



LUMINAIRE SCHEDULE									
Scenario: NORMAL									
SYMBOL	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
☐	B	Single	Lithonia Lighting	CNY LED ALO (5000LM) SSW2 (3000K) UVOLT PE PIR WH M2	CEILING SURFACE	N/A	0.860	4680	33.73
☐	BE	Single	Lithonia Lighting	CNY LED ALO (5000LM) SSW2 (3000K) UVOLT PE PIR WH M2 + CNYEK ETWC M12	CEILING SURFACE	BATTERY	0.860	4680	33.73

CALCULATION SUMMARY										
Scenario: NORMAL										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
EAST STAIR	Illuminance	Fc				18.88	24.8	12.8	1.48	1.94
WEST STAIR	Illuminance	Fc				18.94	24.8	12.8	1.48	1.94

LIGHTING POWER DENSITY SUMMARY			
Scenario: NORMAL			
LABEL	AREA	TOTAL WATTS	LPD
EAST STAIR LPD	118.84	101.19	0.851
WEST STAIR LPD	118.84	101.19	0.851

1 PHOTOMETRIC STAIRS PLAN - NORMAL LIGHTING  
Scale: 3/16"=1'-0"

LUMINAIRE SCHEDULE										
Scenario: EMERGENCY										
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
☐	4	BE	Single	Lithonia Lighting	CNY LED ALO (5000LM) SSW2 (3000K) UVOLT PE PIR WH M2 + CNYEK ETWC M12	CEILING SURFACE	BATTERY	0.860	4680	33.73

CALCULATION SUMMARY										
Scenario: EMERGENCY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
EAST STAIR	Illuminance	Fc				2.59	4.3	0.8	3.24	5.38
WEST STAIR	Illuminance	Fc				2.57	4.3	0.8	3.21	5.38

LIGHTING POWER DENSITY SUMMARY			
Scenario: EMERGENCY			
LABEL	AREA	TOTAL WATTS	LPD
EAST STAIR LPD	118.84	67.46	0.568
WEST STAIR LPD	118.84	67.46	0.568

1 PHOTOMETRIC STAIRS PLAN - EMERGENCY LIGHTING  
Scale: 3/16"=1'-0"

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PHOTOMETRIC STAIRS PLAN

Job code:  
2426 10/24/2025

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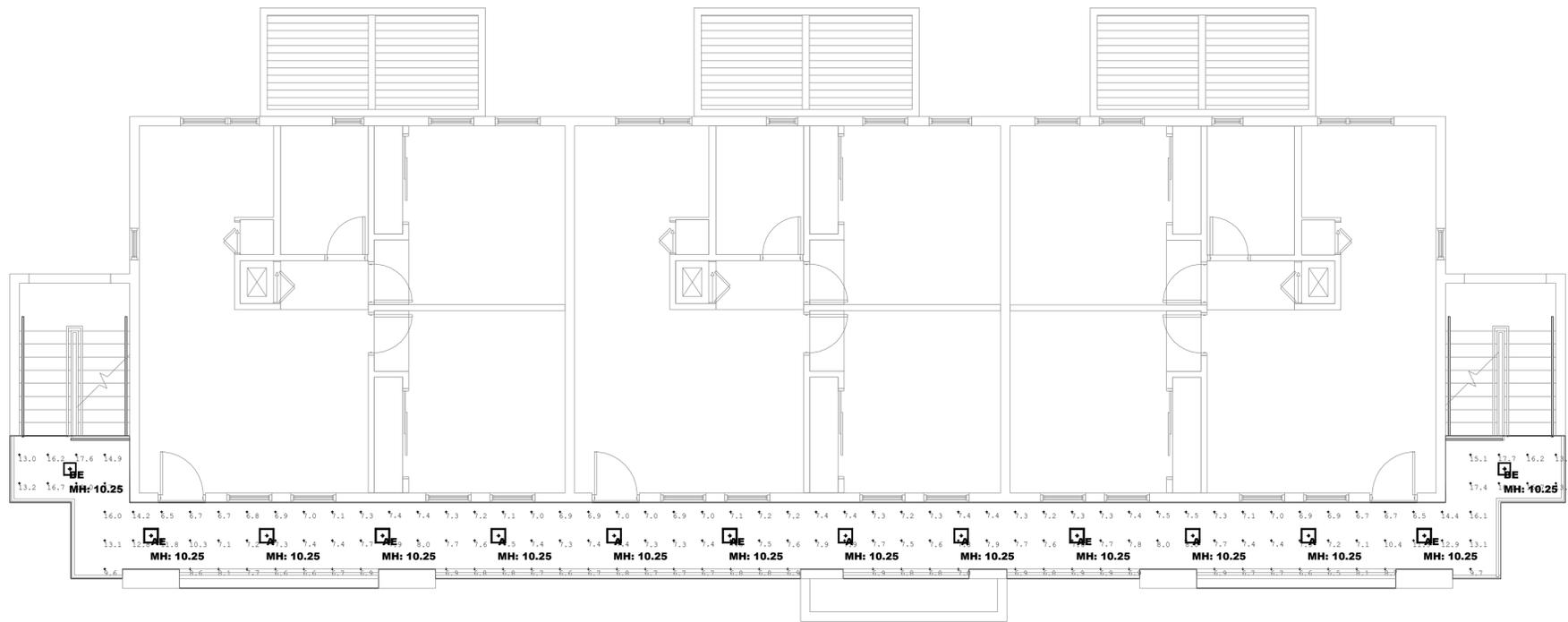
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LUMINAIRE SCHEDULE										
Scenario: NORMAL										
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
→	7	A	Single	Juno Lighting	JSPGQ 12IN 13LM SWWS (3000K) 90CRI MVOLT ZT WH EBX	CEILING SURFACE	N/A	0.670	1421	14.2
→	5	AE	Single	Juno Lighting	JSPGQ 12IN 13LM SWWS (3000K) 90CRI MVOLT ZT WH EM	CEILING SURFACE	BATTERY	0.670	1421	14.2
→	2	BE	Single	Lithonia Lighting	CNY LED ALO (5000LM) SWWZ (3000K) UVOLT PE PIR WH M2 + CNYEK ETWC M12	CEILING SURFACE	BATTERY	0.860	4680	33.73

CALCULATION SUMMARY										
Scenario: NORMAL										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
2ND FLOOR CORRIDOR Floor	Illuminance	Fc	2	2	0	8.62	18.1	6.5	1.33	2.78

LIGHTING POWER DENSITY SUMMARY			
Scenario: NORMAL			
LABEL	AREA	TOTAL WATTS	LPD
2ND FLOOR CORRIDOR LPD	618.75	237.86	0.384

1 PHOTOMETRIC 2ND FLOOR PLAN - NORMAL LIGHTING  
Scale: 3/16"=1'-0"

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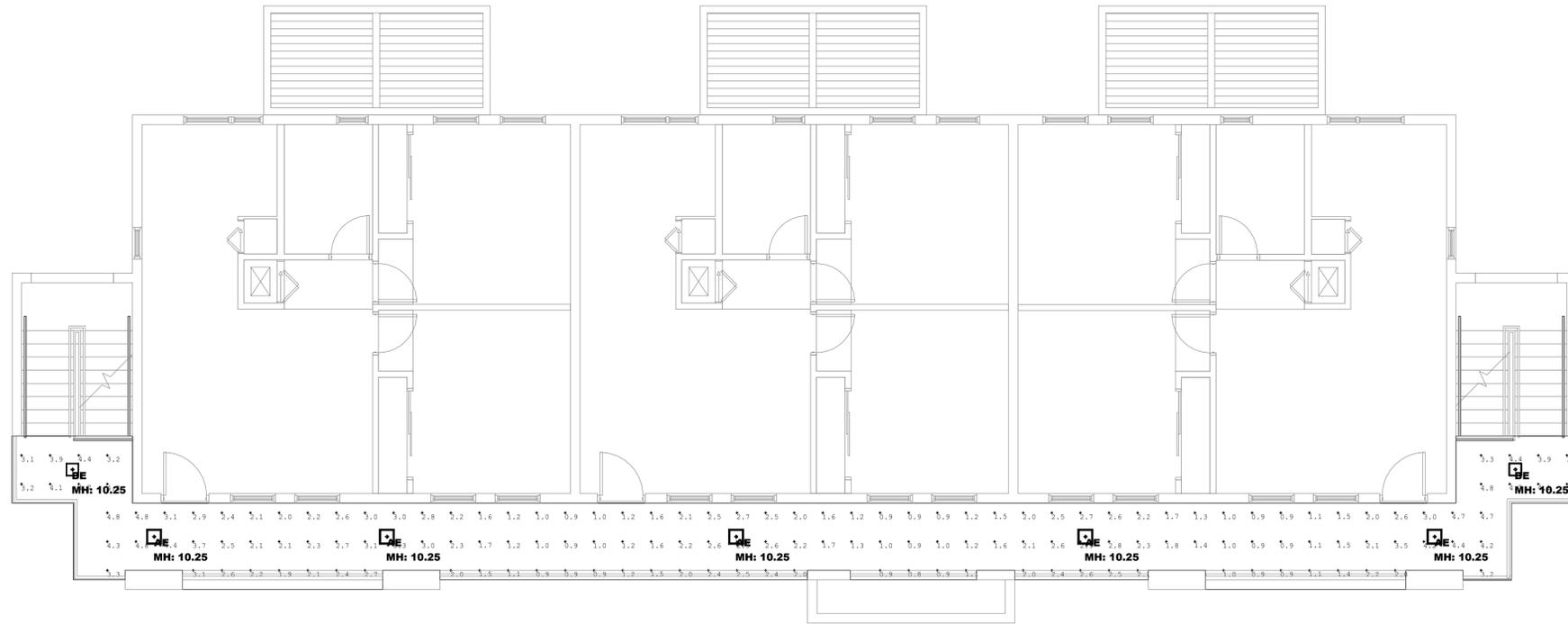
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PHOTOMETRIC 2ND FLOOR PLAN - NORMAL LIGHTING

Job code: 2426 10/24/2025

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ZONING APPROVAL SET



LUMINAIRE SCHEDULE										
Scenario: EMERGENCY										
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS
+	5	AE	Single	Juno Lighting	JFSQ 12IN 13LM SWWS (3000K) 90CRI MVOLT ZT WH EM	CEILING SURFACE	BATTERY	0.670	1421	14.2
+	2	BE	Single	Lithonia Lighting	CNY LED ALO (5000LM) SWW2 (3000K) UVOLT PE PIR WH M2 + CNYEK E7WC M12	CEILING SURFACE	BATTERY	0.860	4680	33.73

CALCULATION SUMMARY										
Scenario: EMERGENCY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
2ND FLOOR CORRIDOR Floor	Illuminance	Fc	2	2	0	2.28	4.8	0.8	2.85	6.00

LIGHTING POWER DENSITY SUMMARY			
Scenario: EMERGENCY			
LABEL	AREA	TOTAL WATTS	LPD
2ND FLOOR CORRIDOR LPD	618.75	138.46	0.224

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Job code: 2426 10/24/2025

**E-4.06**

**ZONING APPROVAL SET**