

January 20, 2026

I am requesting a variance from section 32-242 (A)(3), regarding a detached garage at my property located at 491 SW 7 St. Hallandale, FL. 33009. I obtained permits in November of 2023 prior to the commencement of construction of my detached garage, which is 2065 (sqft) and 18 feet in height. The garage was built in accordance with blueprints that were reviewed and approved by the City of Hallandale Beach. Upon request for my final inspection, I was informed that my accessory detached garage as built does not meet my city zoning code, resulting in the inability to close my open permit. The detached garage is necessary to protect vehicles I own, including but not limited to my RV bus, which is 40 feet long and 14 feet high. The detached garage was not built or used for business, does not hold or shelter any animals and is also not used as living quarters. The detached garage is solely for the homeowner's personal use and storage of personal belongings. I understand that the variance is required to retain the garage due to the deviations in maximum size and height of Sec.32-242 (A)(3).

1. That special conditions and circumstances exist, which are peculiar to the land, structure, or building involved, and which are not generally applicable to other land structures or buildings in the same zoning district.

The detached garage which stands at 2065 (sqft) X 18 (ft) in height was designed and constructed based on the approval by the City of Hallandale Beach under permit numbers: SP-BSLB-23-02482 and BNEW-23-02481. The lot's unique dimensions, topography, or location within the zoning district create conditions that make compliance with current zoning code challenging. These conditions are specific to this property and do not affect others in the same district.

2. That the special conditions and circumstances do not result from the action of the applicant.

The circumstances leading to the variance request stem from the prior approval by the City of Hallandale Beach of the permit numbers: SP-BSLB-23-02482 and BNEW-23-02481

and subsequent reevaluations, rather than actions or choices made by the applicant. All plans were submitted in good faith, and construction proceeded based on city authorization.

3. Granting the variance requested will not confer on the applicant any special privilege that is denied by the code to other lands, buildings, or structures in the same district.

The variance would only allow the detached garage to remain as initially approved, consistent with the intent of the zoning code and neighboring properties. This does not grant any special privilege, as it aligns with the reasonable use and expectations for properties in this district.

4. The literal interpretation of the provisions of the code would deprive the

applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the code and would work unnecessary and undue hardship on the applicant.

The literal interpretation of the zoning code deprives us of the right to fully utilize our property in the same ways that other properties in the zoning district are allowed to. Many neighboring properties have similar detached structures, which are considered conforming. The requirement to comply retroactively, after the permit was approved and construction has taken place, imposes an undue burden that is not imposed on others in the same zoning district.

The hardship extends beyond monetary concerns and includes the following:

Loss of Use and Functionality: The garage was designed to meet our property's needs. Demolishing or altering it would render the structure unusable for its intended purpose.

Practical Limitations of the Property: Due to the unique characteristics of the lot, complying with the zoning code may make it impossible to relocate or reconstruct the garage in a way that serves the same purpose.

Impact on Property Value: The inability to use the garage as originally designed could lower the property's value compared to similar properties in the neighborhood. This situation creates an inequity where our property would be unfairly restricted compared to others in the zoning district, causing an unnecessary hardship.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

The requested variance is minimal and ensures the garage remains functional and in compliance. No greater relief is sought than what is necessary to allow reasonable use of the structure without imposing financial hardship or compromise the building structure and its intended use.

6. That the granting of the variance will be in harmony with the general intent and purpose of the code.

The variance aligns with the spirit of the zoning code by preserving property functionality and ensuring the structure remains consistent with the neighborhood's character. Granting the variance ensures the property remains harmonious with the area.

7. That such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The garage as constructed does not negatively impact the surrounding area, property values, or public welfare. Its presence poses no safety or aesthetic concerns and is in line with other structures in the neighborhood.

SCOPE OF WORK

THE PROPOSED SCOPE OF WORK CONSISTS OF OBTAINING PERMITS FOR:

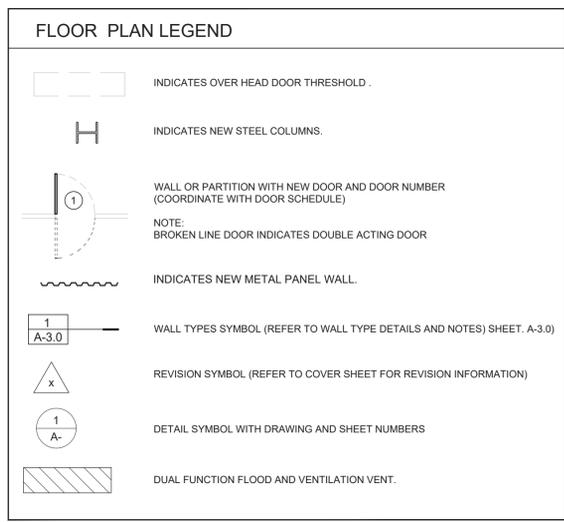
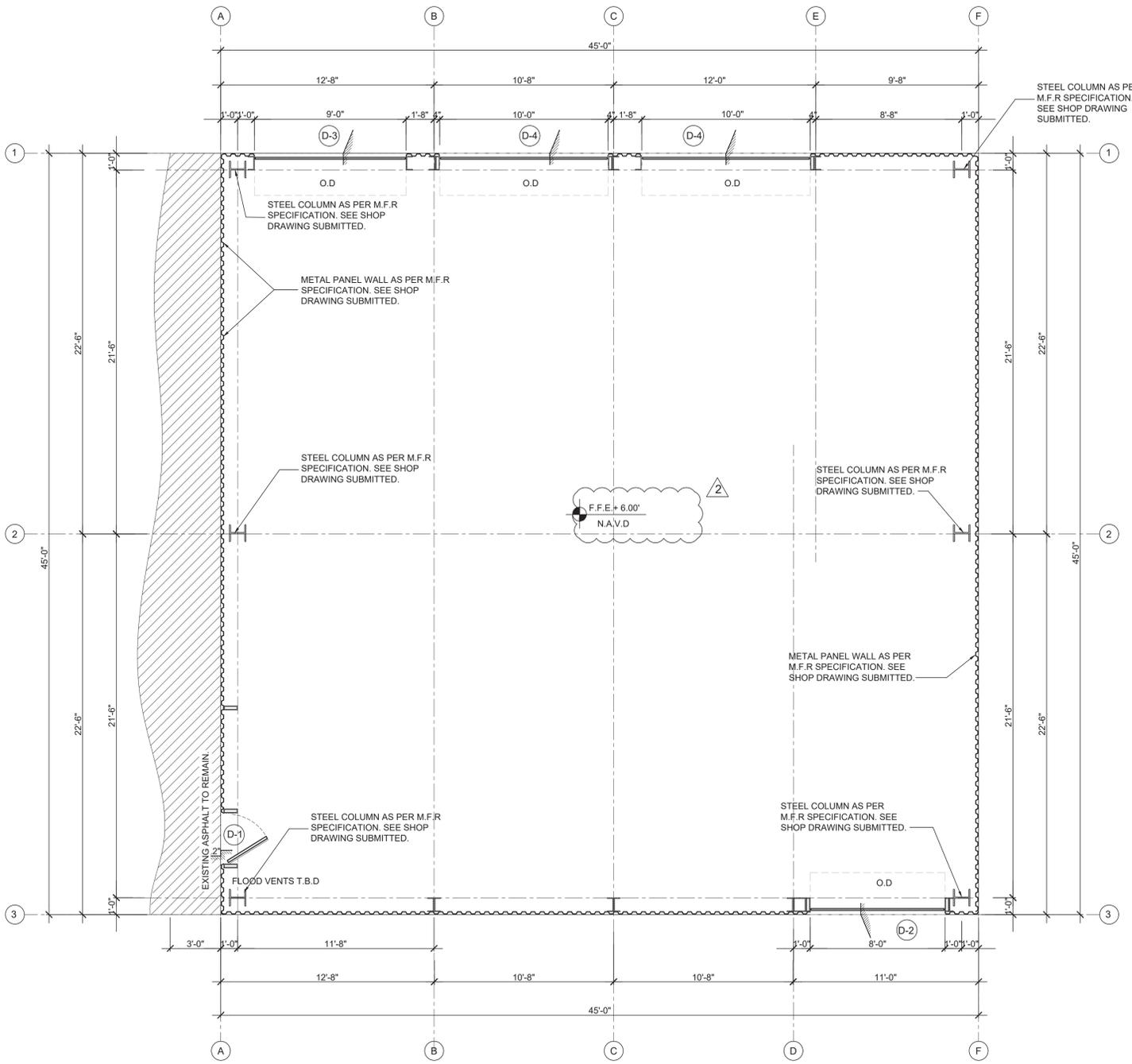
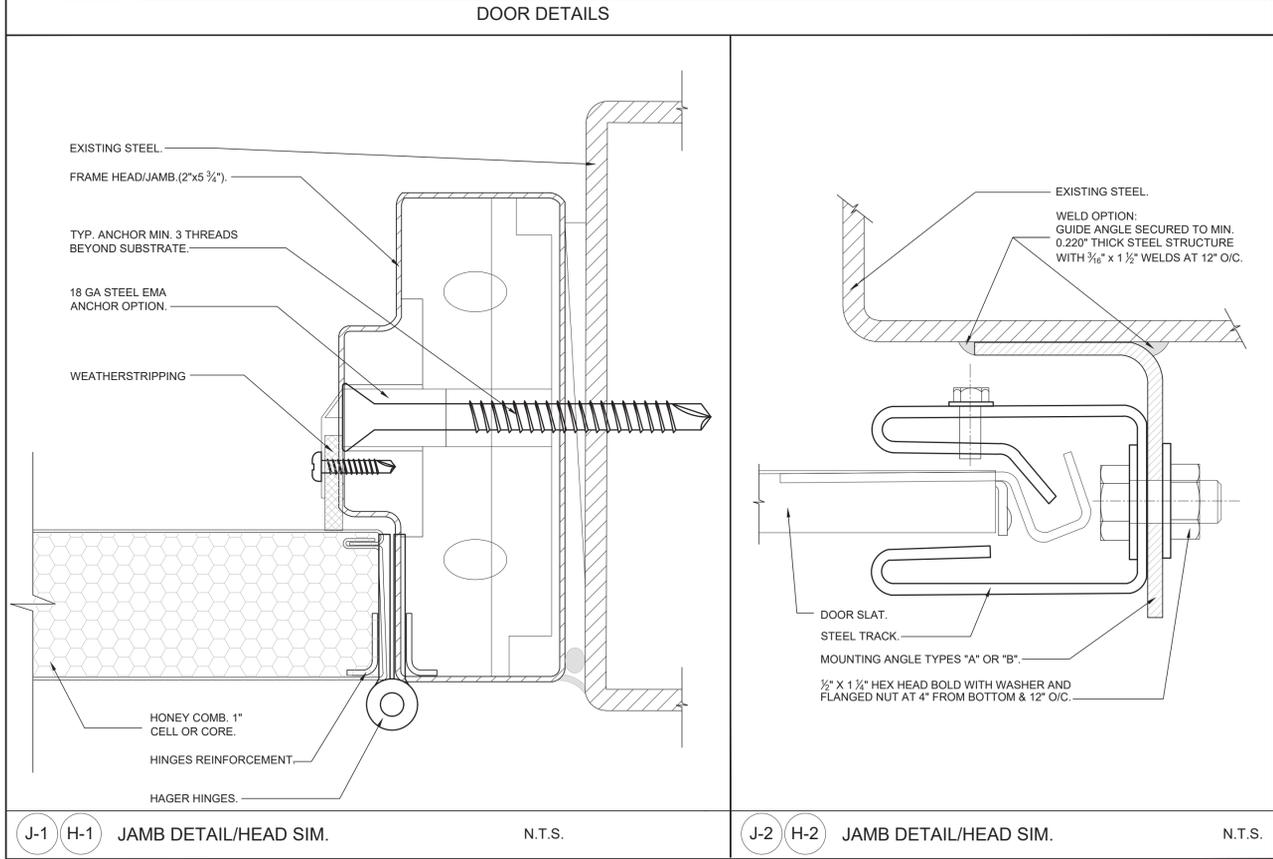
1) INTERIOR REMODELING, KITCHEN AND BATHROOM AREA.

WORK TO BE PERFORMED:

- 1) REMOVED EXISTING PARTITION.
- 2) REMOVED EXISTING BATHROOM AND KITCHEN FIXTURE.
- 3) REMOVED AND REPLACE EXISTING INFERIOR DOOR.
- 4) PLUMBING WORKS, NEW AND EXISTING BATHROOM.
- 5) ELECTRICAL WORKS.
- 6) MECHANICAL WORKS.
- 7) NO STRUCTURAL WORK.

GENERAL NOTES:

1. IN AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, AND 24" IN HEIGHT, 5.7 SQ. FT. IN AREA THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.
2. REFER TO FOUNDATION PLAN (SHEET S-2.0) FOR CONCRETE FILLED BLOCK CELL LOCATION, SIZE AND REINFORCING.
3. ALL GLASS USED INSIDE OF DWELLING SHALL BE TEMPERED.
4. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
5. GLAZING ON EXTERIOR DOORS AND SIDE LIGHTS SHALL BE CAT II SAFETY GLASS AS PER 2405.2 FBC.
6. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200, FBC R315.1 AND SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450, FBC R315.2.



DOOR SCHEDULE

FLR.	DOOR NO.	DOOR TYPE	DOOR MAT.	DOOR SIZE			FRAME MAT.	DETAILS			HDW. SET NO.	LABEL ASSEM.	AUTO. DOOR (A.D.)	REMARKS
				WTH.	HGT.	TH.		JAMB	HEAD	TRESH.				
1 ST FLOOR	D1	B	METAL	3'-4"	7'-2"	1-3/4"	H.M.	J-1	H-1	MTL	-	-	-	SWING DOOR
	D2	A	METAL	8'-0"	8'-0"	-	H.M.	J-2	H-2	MTL	-	-	-	ROLL UP DOOR
	D3	A	METAL	9'-0"	9'-0"	-	H.M.	J-2	H-2	MTL	-	-	-	ROLL UP DOOR
	D4	A	METAL	10'-0"	13'-0"	-	H.M.	J-2	H-2	MTL	-	-	-	ROLL UP DOOR

DOOR NOTES

1. ALL HARDWARE AND FRAMES SHALL MAINTAIN THE INTEGRITY OF THE FIRE RATING OF THE DOORS.
2. ALL DOORS NOT MARKED ON FLOOR PLANS ARE EXISTING TO REMAIN.
4. PROVIDE SMOKE TIGHT CAULKING AROUND ENTIRE PERIMETER OF FRAMES.
5. USE DOUBLE (ATTACHED) 20 GAUGE METAL STUDS AT JAMB OF ALL DOOR OPENINGS IN METAL STUD PARTITIONS.
6. CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY EXISTING DOORS (FIRE RATED OR OTHERWISE) ARE FOUND DEFECTIVE OR NOT MEETING STANDARDS SET IN THIS CONSTRUCTION DOCUMENT SET.
8. CONTRACTOR SHALL FIELD VERIFY THICKNESS OF ALL EXISTING PARTITIONS ACCOMMODATING NEW DOORS IN ORDER TO DETERMINE THE "THROAT" DIMENSIONS OF NEW FRAMES.
9. CONTRACTOR SHALL VERIFY SIZE OF ALL DOOR OPENINGS AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND BEFORE ORDERING DOORS AND/OR FRAMES.
10. SEE FLOOR PLAN FOR EXACT DOOR SWING.

PROPOSE FLOOR PLAN
SCALE: 3/4"=1'-0"

VENT NOTE;

VENTS SHALL COMPLY WITH FEMA TECHNICAL BULLETIN I-93 FOR THE MINIMUM CRITERIA OF TWO OPENINGS HAVING A TOTAL NET AREA OF NOT LESS THAN ONE SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING SMALL BE PROVIDED IF REQUIRED. THE BOTTOM OF ALL OPENING SHALL BE NO HIGHER THAN ONE FOOT ABOVE GRADE. THE OPENINGS SHALL BE INSTALLED ON AT LEAST TWO SIDES OF THE ENCLOSED AREA.

DATE	REVISION
09/08/23	O.C

PROJECT : NEW DETACHED GARAGE FOR:

OWNER : DANIEL & MADELYN GUZMAN

ADDRESS : 181 SW 7th STREET, HALLANDALE FLORIDA, 33009

PROFESSIONAL ENGINEER: ROSARIO MONTERO, No. 78464, STATE OF FLORIDA

PROPOSE FLOOR PLAN.

SCALE: AS SHOWN

DRAWN BY: LAH, CHK'D: RM

PROJECT NO.: 22-072

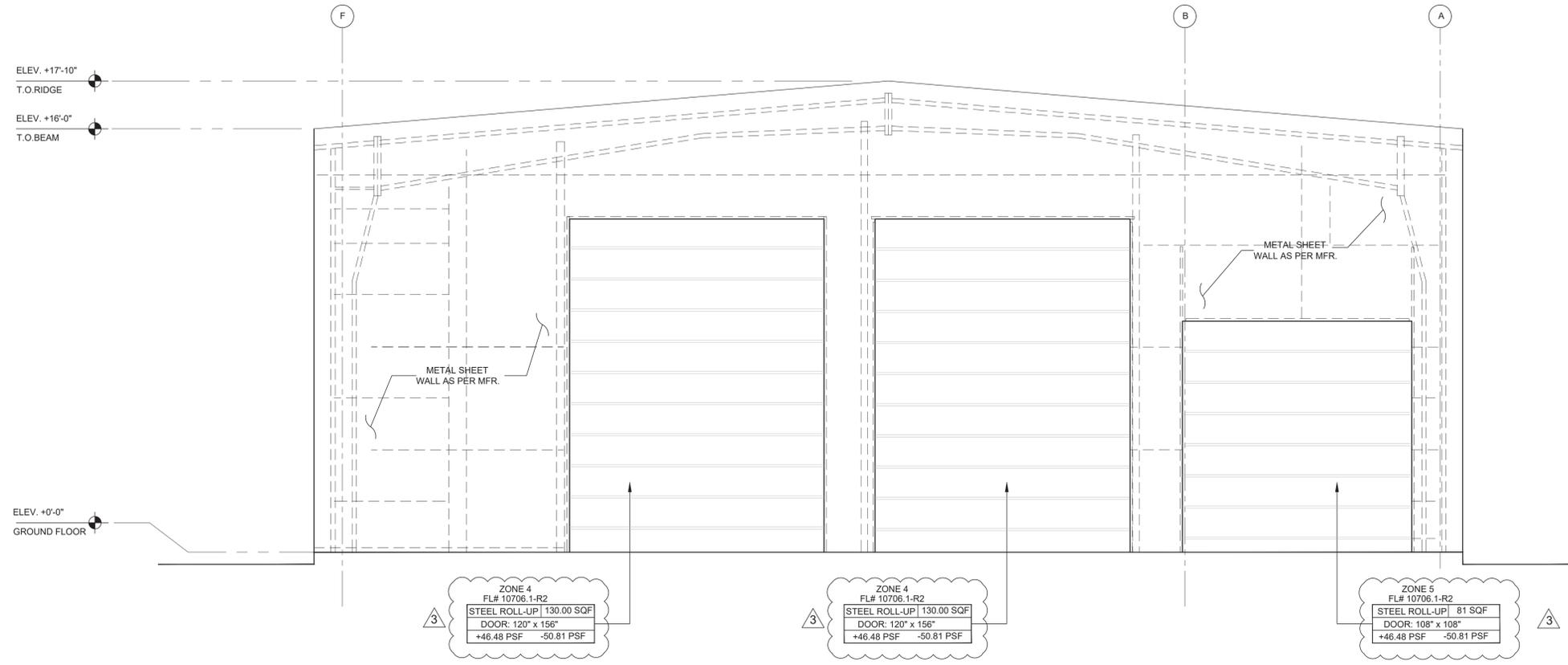
DATE: 09/08/2023

SHEET NUMBER: A-1.0

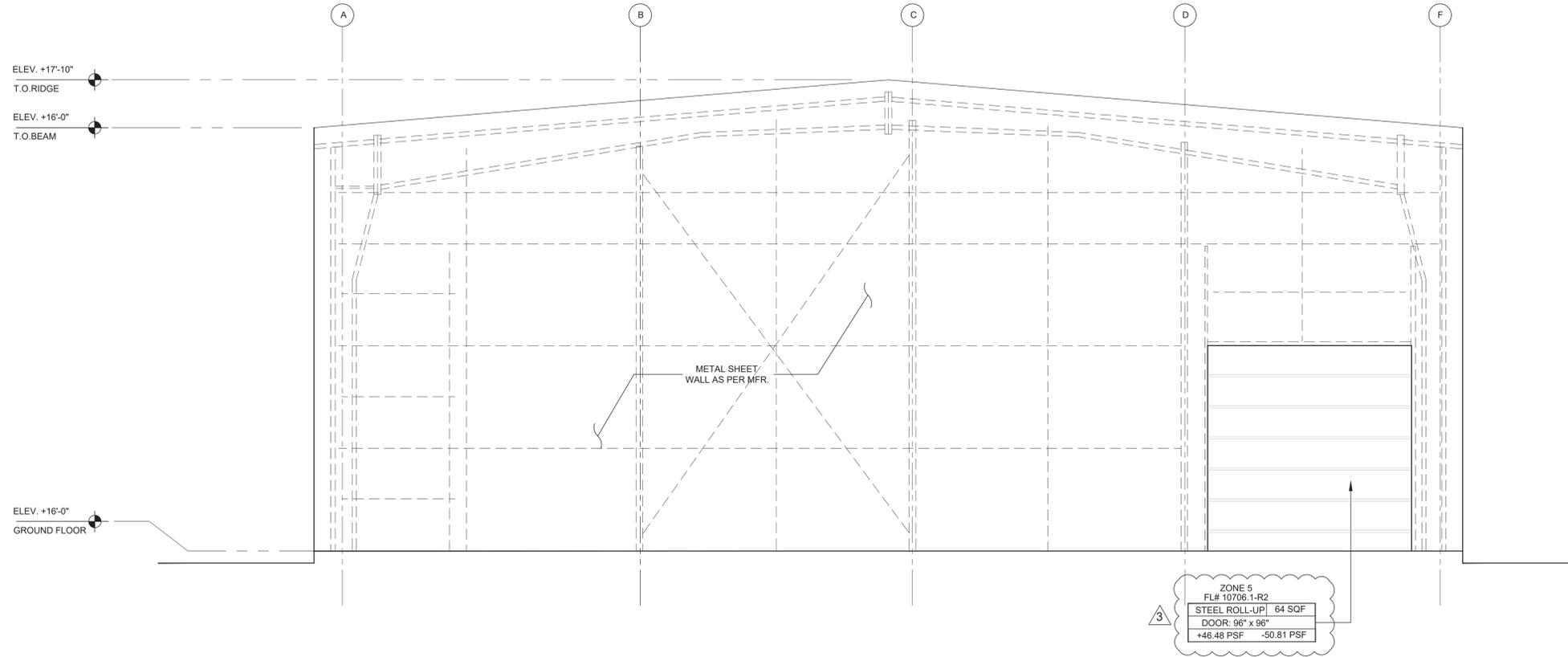
PERMIT SET FOR CONSTRUCTION

NOTE: CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY ROSARIO MONTERO, P.E. OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. DRAWINGS

DATE	REVISION
03/28/24	O.C



NORTH ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

PROJECT : **NEW DETACHED GARAGE FOR:**

OWNER : **DANIEL & MADELYN GUZMAN**
ADDRESS : **1411 SW 7th STREET, HALLANDALE FLORIDA, 33009**



ROSARIO MONTERO P.E.
PE LIC.# 78464
9581 FONTAINEBLEAU BLVD # 101
MIAMI, FLORIDA 33172
PH: (786) 294-8305

DWG. TITLE	ELEVATIONS
SCALE	AS SHOWN
DRAWN BY	CHK'D
LAH	RM
PROJECT NO.	22-072
DATE	09/08/2023
SHEET NUMBER	A-3.0

PERMIT SET FOR CONSTRUCTION

NOTE: CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY ROSARIO MONTERO, P.E. OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. DRAWINGS

GENERAL STRUCTURAL NOTES

FOUNDATION:

- SOIL STATEMENT:** VISUAL INSPECTION REVEALS SAND AND GRAVEL WITH AN ESTIMATED ALLOWABLE MINIMUM BEARING CAPACITY OF 2,000 P.S.F. IF OTHER CONDITIONS OR MATERIALS BE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED IN WRITING BEFORE PROCEEDING WITH THE WORK. GEOTECHNICAL ENGINEER WILL PROVIDE A SIGNED AND SEAL SOIL COMPACTION CERTIFICATION LETTER TO THE BUILDING OFFICIAL AFTER THE COMPACTION HAS BEEN FINALIZED TO ATTEST THE SOIL CONDITIONS AND THE ESTIMATED SOIL BEARING CAPACITY.
- ALL FOOTING EXCAVATION AND COMPACTION SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER FOR THE BEARING CAPACITY INDICATED ABOVE PRIOR TO CONCRETE PLACEMENT.
- FOOTINGS SHALL BE FOUND ON WELL COMPACTED VIRGIN SOIL OR ON ENGINEERED FILL AT THE ELEVATIONS SHOWN.
- KEEP FOUNDATION EXCAVATIONS FREE OF WATER AT ALL TIMES. REPLACE SOFT OR WEAKENED SOIL WITH STRUCTURAL FILL.
- ELEVATIONS SHOWN AT FOOTINGS ARE TOP OF FOOTING ELEVATION (T.O.F.).
- ALL EXTERIOR FOOTINGS TO BEAR MINIMUM 1'-4" BELOW ADJACENT GRADE. UNLESS OTHERWISE NOTED, ADJUST BOTTOM OF FOOTING AS REQUIRED.
- FOR CONTINUOUS WALL FOOTINGS, SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN (48) BAR DIAMETERS AND REINFORCEMENT SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER (48) BAR DIAMETERS OR BY ADDING MATCHING REINFORCING STEEL WHICH SHALL EXTEND (48) BAR DIAMETERS FROM EACH CORNER OR CHANGE IN DIRECTION. WHEN THREE OR MORE BARS ARE REQUIRED, THE BARS SHALL BE HELD IN PLACE AND ALIGNMENT BY TRANSVERSE BARS SPACED NOT MORE THAN (4) FEET APART.

SOIL COMPACTION:

- COMPACTED SOIL IS TO PROVIDE A SATISFACTORY SUBGRADE FOR THE LOAD BEARING CONCRETE SLAB ON GRADE. BACKFILL MATERIAL SHALL BE GRAVELLY SOILS, WELL-GRADED SANDS, AND SAND-GRAVEL MIXTURES RELATIVELY FREE OF PLASTIC FINES.
- FILL AND BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 98% AASHTO T-180C DENSITY AND SHALL CONFORM TO ABOVE REFERENCED GEOTECHNICAL ENGINEER'S REQUIREMENTS.
- MINIMUM SUBGRADE MODULUS, k_v , SHALL ACHIEVE 200 LBIN² PER IN (OR pc) AFTER COMPACTION.

CONCRETE CONSTRUCTION NOTES:

- CAST-IN-PLACE CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM 28-DAY COMPRESSIVE STRENGTHS (f'_c):

A) FOOTINGS AND GRADE BEAMS	3000 PSI
B) SLAB-ON-GRADE	3000 PSI
C) COLUMNS AND ELEVATED BEAMS	3000 PSI
D) WALLS	3000 PSI
E) CONCRETE SLAB ON METAL DECK	3000 PSI
F) ALL OTHER CONCRETE	3000 PSI
- CONCRETE DENSITY SHALL BE NORMAL WEIGHT UNLESS SPECIFICALLY OTHERWISE NOTED.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS INDICATED. IN NO CASE SHALL REINFORCEMENT COVER BE LESS THAN THE REQUIREMENTS OF ACI 301.

	BOTTOM	TOP	SIDES
A) FOOTING	3"	2"	2"
B) BEAMS	1-1/2"	1-1/2"	1-1/2"
C) COLUMNS	—	—	1/2"
D) SLABS	1"	3/4"	1"
E) WALLS	—	—	1 1/2"

- CONCRETE REINFORCING STEEL MARKED STANDARD HOOK SHALL HAVE A 90 DEGREE HOOK WITH A MINIMUM EXTENSION BEYOND THE BEND OF 12 BAR DIAMETERS IN LENGTH, UNLESS OTHERWISE NOTED. STIRRUP, TIE AND 180-DEGREE HOOKS SHALL CONFORM TO THE REQUIREMENTS OF ACI 318.
- PROVIDE 1/2" THICK JOINT FILLER MATERIAL WHERE SLABS ON GRADE ABUT VERTICAL SURFACES.
- REINFORCING STEEL SHALL BE SPREAD AT SLEEVES, TIEBACKS, RECESSES AND OTHER EMBEDDED ITEMS UNLESS OTHERWISE INDICATED. REINFORCEMENT SHALL NOT BE CUT TO FACILITATE PLACEMENT OF EMBEDDED ITEMS.
- ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED 3/4" OR AS INDICATED.
- ALUMINUM SHALL NOT BE PLACED IN DIRECT CONTACT WITH CONCRETE UNLESS EFFECTIVELY COATED OR COVERED TO PREVENT ALUMINUM-CONCRETE REACTION AND ELECTROLYTIC ACTION BETWEEN ALUMINUM AND STEEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTIMATING AND SUPPLYING ANY ADDITIONAL CONCRETE REQUIRED TO ACHIEVE SPECIFIED FLOOR FLATNESS CRITERIA.
- A MIN. OF 5 CONCRETE SPECIMENS SHALL BE TAKEN FROM EACH 50 CU. YD. OR PORTION THEREOF SPECIMENS SHALL BE TESTED ACCORDING TO A.S.T.M. C-39, ONE AT 3, ONE AT 7, AND 3 AT 28 DAYS.

TERMITE PROTECTION

PER FBC SECTION 1816. TERMITE PROTECTION SHALL PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

CONCRETE CYLINDER AND SLUMPS TESTS

- AT LEAST ONE SET OF CYLINDERS SHALL BE PROVIDED FOR STRENGTH AND SLUMP TESTS PER POUR OR FOR EACH 50 CUBIC YARDS OF CONCRETE, WHICHEVER IS LESS. AT LEAST TWO SETS OF TESTS ARE RECOMMENDED FOR COLUMN POURS. FOR EACH POUR THE ENGINEER SHALL BE PROVIDED WITH ONE (1) 3-DAY TEST, ONE (1) 7-DAY TEST, ONE (1) 28-DAY TEST, ONE (1) SPARE, AND ONE (1) SLUMP TEST.

CONCRETE SLAB ON GRADE:

- ISOLATION JOINTS MUST BE USED AT JUNCTIONS WITH WALLS AND COLUMNS, USE 1/2" THICK PREMOLDED JOINTS FULL DEPTH OF SLAB.
- PLACE CONTROL JOINTS AT CENTERLINE OF COLUMNS. PROVIDE INTERMEDIATE JOINTS IF COLUMN SPACING IS GREATER THAN 20 FT. IN ANY CASE JOINT SPACING SHALL NOT BE GREATER THAN 15 FT. IN SIDE WALKS TOOLED JOINTS SHALL BE SPACED AS THE WIDTH OF THE SLAB.
- CONTROL JOINT DEPTH SHALL BE 1" TOOLED FOR SLAB THICKNESS 4" TO 5". JOINTS SHALL BE SAWS AT 15' INTERVALS WITHIN 24 HOURS AFTER CONCRETING.
- CONSTRUCTION JOINT MUST BE PLACED IN THE SLAB WHERE BUILDING EXPANSION JOINTS ARE SHOWN.
- WHEN CONCRETING AND OPERATING ARE CONCLUDED FOR THE DAY, CONSTRUCTION JOINTS SHALL BE FORMED WITH BURKE KEYED KOLD METAL JOINT FORM OR APPROVED EQUAL.
- WATERPROOF MEMBRANES, OVERLAPPED 6" AT JOINTS, WITH A PERMEANCE OF LESS THAN 0.3% PERMS IN ACCORDANCE WITH A.S.T.M. E-98 SHALL BE PROVIDED UNDER INTERIOR SLAB. SHERE NO VAPOR BARRIER IS USED, THE SUBGRADE MUST BE DAMPENED WITH WATER IN ADVANCE OF CONCRETING TO FREE WATER STANDING ON THE SUBGRADE NOR ANY MUDDY OR SOFT SPOT IS PERMITTED.
- ANY STRUCTURAL MEMBER PENETRATING SLAB ON FILL IS TO BE 1/4" PRE-MOLDED JOINT FILLER COMPLYING WITH ASTM D-1752, TYPE I.
- PREMATURE FINISHING IS NOT ALLOWED. IMMEDIATE FOLLOWING FLOATING TROWELING WITH STEEL TROWELS SHOULD BE COMMENCED IF REQUIRED. BROOMING SHALL BE AFTER THE STEEL TROWELING OPERATION.
- SLAB FINISH TYPE: INSIDE BUILDING - STEEL TROWELED; OUTSIDE SLAB - BROOMED, UNLESS OTHERWISE NOTED.

DESIGN CRITERIA:

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE FOLLOWING CODES AND SPECIFICATIONS:
 - A) THE FLORIDA BUILDING CODE (FBC), 2020, 7th EDITION, SECTIONS OF "HIGH VELOCITY HURRICANE ZONE".
 - B) ACI 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
 - C) ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
 - D) ACI 530-13/ASCE 5-13/TMS 402-2016, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
 - E) ANSI/AWC SDPWS—2015/ SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC.

DESIGN LOAD CRITERIA:

LIVE LOADS:
NON-ACCESSIBLE ROOF _____ 30 PSF

DEAD LOADS:
ROOF _____ 25 PSF

WIND LOAD _____ (PER ASCE 7-16):
ULTIMATE DESIGN WIND SPEED: $V_{ult} = 175$ MPH
NOMINAL DESIGN WIND SPEED: $V_{asd} = 135$ MPH
IMPORTANCE FACTOR: $I = 1.00$
EXPOSURE: C
INTERNAL PRESSURE COEFFICIENTS: $G_{Cpl} + 0.18$

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC STEEL CONSTRUCTION MANUAL AND SHALL CONFORM TO LATEST ASTM A36 SPECIFICATIONS. BOLTS TO CONFORM TO ASTM A325. ANCHOR BOLTS SHALL CONFORM TO ASTM A307. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS (AMERICAN WELDING SOCIETY).
- ALL CONNECTIONS SHALL DEVELOP THE STRENGTH OF THE PART BEING CONNECTED. SHOP CONNECTIONS SHALL BE WELDED. FIELD CONNECTIONS SHALL BE BOLTED UNLESS OTHERWISE NOTED ON THE PLAN.
- PROVIDE ONE SHOP COAT OF RUST-INHIBITIVE PAINT (MINIMUM 3 MIL DRY FILM), TOUCH UP ALL ABRASIONS AFTER ERECTION. APPLY FIELD FINISH PAINT COATS AS SPECIFIED, FOR INTERIOR STEEL COLUMNS, AND MISC. FABRICATIONS.
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OR ERECTION OF STRUCTURAL STEEL.
- ALL STRUCTURAL STEEL, MISCELLANEOUS PLATES, EMBED ITEMS, BOLTS, NUTS, WASHERS, ANGLES, BRACKETS, NAILS, SCREWS AND CONNECTORS USED IN NON-CONDITIONED SPACES AND EXTERIOR AREAS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION NO EXCEPTIONS WILL BE PERMITTED (GALVANIZED SPRAY NOT DEEMED EQUIVALENT).
- THE STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - a) W HOT-ROLLED SHAPES.....ASTM A992, $F_y = 50$ Ksi
 - b) SQUARE AND RECTANGULAR HSS.....ASTM A500, GRADE B, $F_y = 46$ Ksi
 - c) PLATES, ANGLES.....ASTM A36/ A 36M
 - d) HOT-ROLLED CARBON STEEL SHEETS AND STRIPS.....ASTM A 245
 - e) HIGH STRENGTH BOLTS.....ASTM A325
 - f) HOOKED ANCHOR RODS.....ASTM F1554, GRADE 36
 - g) HEADED ANCHOR RODS.....ASTM F1554, GRADE 36
 - h) THREADED ANCHOR RODS.....ASTM F1554, GRADE 36
 - i) WELDING ELECTRODES.....AWS D1.1/D1.1M, E70XX
 - j) WELDED WIRE MESH.....ASTM A185
- FIELD CUTTING OF STRUCTURAL STEEL MEMBERS BY ANY TRADE SHALL NOT BE PERMITTED. BOLT HOLES SHALL NOT BE CUT OR ENLARGED BY FLAME CUTTING IN THE FIELD.
- ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.
- DELETE PAINT ON ALL STEEL TO RECEIVE SPRAYED ON FIREPROOFING OR CONCRETE ENCASEMENT.

REINFORCING STEEL:

- CONCRETE REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615/A615M, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. PROVIDE SHEET-TYPE WELDED WIRE FABRIC. SHEET LAPS SHALL BE TIED AND LAPPED ONE FULL MESH SPACING.
- CONCRETE REINFORCING STEEL SHALL BE CONTINUOUS UNLESS OTHERWISE INDICATED. CONTINUOUS REINFORCING STEEL SHALL BE LAPPED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318.
- FABRICATION AND DETAILING ACCORDING TO A.C.I.-315.
- ALL ACCESSORIES TO HAVE UPTURNED LEGS AND BE PLASTIC DIPPED AFTER FABRICATION.

MASONRY WALLS:

- DESIGN MASONRY ASSEMBLAGE STRENGTH, $F'_m = 1500$ PSI. NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS SHALL BE A MINIMUM OF 1900 PSI.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND BE MANUFACTURED WITH LIGHTWEIGHT AGGREGATE, PLACE IN RUNNING BONDS.
- MORTAR SHALL CONFORM TO ASTM C 270 TYPE "M" (2500 PSI). GROUT FOR FILLED CELL SHALL CONFORM TO ASTM C476 AND SHALL NOT CONTAIN ADMIXTURES. GROUT SHALL ATTAIN A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI, SLUMP 9 IN.
- REINFORCEMENT SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 / A615M, GRADE 60 AND SHALL HAVE FABRICATION TOLERANCES IN ACCORDANCE WITH ACI 315. SHOP-FABRICATE REINFORCING BARS WHICH ARE INDICATED TO BE BENT OR HOOKED.
- PROVIDE 9 GAGE HORIZONTAL REINFORCEMENT AT 16" SPACING LADDER TYPE FOR NON-LOAD BEARING WALL, TRUSS TYPE FOR LOAD BEARING WALL.
- ALUMINUM CONDUITS, PIPES, AND ACCESSORIES SHALL NOT BE EMBEDDED IN MASONRY GROUT, OR MORTAR, UNLESS EFFECTIVELY COATED OR COVERED TO PREVENT ALUMINUM-CEMENT CHEMICAL REACTION OR ELECTROLYTIC REACTION BETWEEN ALUMINUM AND STEEL.
- PROVIDE VERTICAL REBARS ACCORDING TO PLAN OR WALL SCHEDULE. SEE "TYPICAL WALL END AND CORNER DETAILS" FOR SPECIAL REINFORCING DETAIL.
- VERTICAL REINFORCEMENT MUST HAVE A MINIMUM 48 BAR DIAMETER LAP SPLICE. UNLESS OTHERWISE NOTED, CENTER WALL REINFORCEMENT IN BLOCK CELLS. USE NONMETALLIC BAR POSITIONERS.
- PROVIDE DOWEL REINFORCEMENT IN FOUNDATION OF SAME SIZE AND SPACING AS VERTICAL WALL REINFORCEMENT.
- BRACE TOP OF INTERIOR, NON-LOAD BEARING MASONRY WALLS TERMINATING AT THE UNDERSIDE OF FLOOR OR ROOF STRUCTURE AGAINST OUT-OF-PLANE MOVEMENT IN ACCORDANCE WITH THE "TYPICAL NON-BEARING CMU WALL BRACING" DETAIL.
- PROVIDE CONCRETE LINTEL AND WINDOW SILL ACCORDING TO SCHEDULES IN TYPICAL OPENING DETAIL.
- BEARING MASONRY SHOWN IN PLAN SHALL BE ERECTED PRIOR TO THE STRUCTURE ABOVE HAS BEEN POURED.
- NON-BEARING MASONRY SHOWN IN PLAN SHALL BE ERECTED AFTER THE STRUCTURE ABOVE HAS BEEN POURED.
- PROVIDE 9 GAGE LADDER TYPE HORIZONTAL REINFORCEMENT AT 16" O/C (FOR REINFORCED WALLS).
- WHENEVER ANCHORS BOLTS ARE TO BE SET IN MASONRY. TWO CELLS AT THE SETTING LOCATION SHALL BE FILLED WITH CONCRETE.

SAFETY OSHA AND LABOR LAWS

- THE ARCHITECT OF RECORD DOES NOT POSSESS NOR PRESUMES TO POSSESS ANY KNOWLEDGE OR EXPERTISE IN MATTERS TO JOB SITE EMPLOYEE SAFETY, OSHA OR LABOR LAW REQUIREMENTS FOR A CONSTRUCTION PROJECT SAFETY AND COMPLIANCE WITH OSHA AND LABOR LAWS ARE THE ABSOLUTE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS CONSULTANTS TO ADDRESS THESE MATTERS. THE ARCHITECT OF RECORD SPECIALIZES IN STRUCTURAL DESIGN ONLY. THE BOARD OF PROFESSIONAL REGULATION FORBIDS HIM FROM ASSUMING RESPONSIBILITY OUTSIDE HIS AREA OF EXPERTISE.

SHORING, RESHORING AND TEMPORARY BRACING

- THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR HIRING A FLORIDA PROFESSIONAL ENGINEER SPECIALIZED IN THE FIELD OF FORM WORK AND SHORING DESIGN.
- SHORING AND RESHORING DESIGN MUST INCLUDE CONSIDERATION OF THE RATE AND METHOD OF PLACING CONCRETE.
- GC SHALL SUBMIT SIGNED AND SEALED SHORING AND RESHORING DESIGN DRAWINGS FOR REVIEW AND APPROVAL. SHORING INSTALLATION MUST BE INSPECTED BY THE SHORING DESIGN ENGINEER PRIOR TO PLACEMENT OF CONCRETE.

ASTM INTERNATIONAL

- STANDARD SPECIFICATION FOR GENERAL REQUIREMENTS FOR ROLLED STEEL PLATES, SHAPES, SHEET PILING AND BARS FOR STRUCTURAL USE, ASTM A6.
- STANDARD SPECIFICATIONS FOR HIGH-STRENGTH BOLTS FOR STRUCTURAL STEEL JOINTS, ASTM A325.
- STANDARD SPECIFICATION FOR HEAT-TREATED STEEL STRUCTURAL BOLTS, ALLOY STEEL, HEAT TREATED 150 KSI MINIMUM TENSILE STRENGTH, ASTM A490.
- STANDARD SPECIFICATION FOR SHEET STEEL, CARBON, METALLIC, AND NONMETALLIC COATED FOR COLDFORMED STEEL FRAMING MEMBERS, ASTM A1003- A1003M.

WELDING:

- ALL WELDING SHOULD BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY A.W.S. BY CERTIFIED WELDERS.
- CONTRACTORS TO USE E-70 SERIES LOW HYDROGEN ELECTRODES.

FOOTING SCHEDULE				
MARK	SIZE $W \times L \times D$	REINFORCEMENT		REMARKS
		LONG.	TRANS.	
WF-24	24" x CONT. x 12"	3 #5	#5 @ 48" O/C.	BOTTOM
CF-40	48" x 48" x 12"	3 #5	3 #5	TOP AND BOTTOM

STRUCTURAL LEGEND	
SYMBOL	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
AHR	ANCHOR
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
BOC	BOTTOM OF CONCRETE
BOS	BOTTOM OF STEEL
BRG	BEARING
CJ	SLAB CONSTRUCTION JOINT
CL	CENTER LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONN	CONNECTION
CONC	CONCRETE
CONT	CONTINUOUS
DN	DOWN
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
ELEV	ELEVATION
EOS	EDGE OF SLAB
EQ	EQUAL
EXP	EXPOSED
FFE	FINISHED FLOOR ELEVATION
FOB	FACE OF BRICK
FTG	FOOTING
GA	GAGE
HORIZ	HORIZONTAL
HS	HIGH STRENGTH
JBE	JOIST BEARING ELEVATION
LG	LONG
LF	LINEAR FEET
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NO.	NUMBER
OC	ON CENTER
OPP	OPPOSITE
PJF	PREMOLDED JOINT FILLER
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
REINF	REINFORCEMENT
SCHED	SCHEDULE
SF	SQUARE FEET
SIM	SIMILAR
SJ	SLAB CONTROL JOINT
STD	STANDARD
SS	SURFACE SPALL
T&B	TOP AND BOTTOM
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOS	TOP OF STEEL
TE	THICKENED SLAB
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
VERT	VERTICAL
WP	WORKING POINT
WWF	WELDED WIRE FABRIC
DN	SLOPE DIRECTION
FSx	CONCRETE SLAB TYPE (SEE SCHEDULE)
[+X'-X"]	TO FINISHED FIRST FLOOR INDICATES ELEVATION REFERENCED
1	KEYED CONSTRUCTION NOTE
①	COLUMN REFERENCE LINE (CENTER LINE OF COLUMN)
[+X'-X"]	SPOT ELEVATION
////	STOOP SLAB DELAMINATED AREAS
XXXX	STOOP SLAB SPALLED AREAS

RUBEN J. PUJOL
 A.R.C.H.I.T.E.C.T.
 A.I.A. # 0010458
 N.A.C.A.
 PHONE: (305) 968-2155
 1237 S.W. 204 TERRACE
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SEAL: Digitally signed by Ruben J. Pujol
 Date: 2023.05.03 18:09:41 -0400
 CONSULTANTS:
 NEVYS RODRIGUEZ

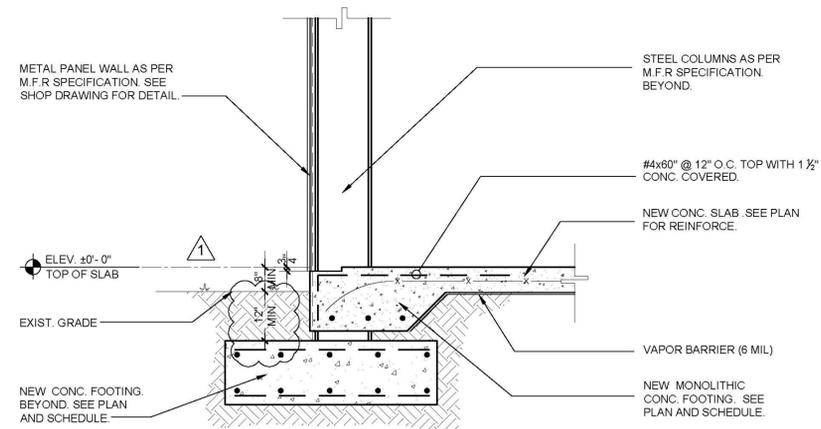
Project Information:
NEW DETACHED GARAGE FOR:
 Owner: DANIEL & MADELYN GUZMAN
 Address: 491 SW 7th Street, Hallandale, Florida, 33009



project history:
 REV 03/28/2023 B.D.C.
 REV
 REV

DATE: DEC 8, 2021
 JOB NUMBER:
 TITLE:
 GENERAL NOTE
S-1.0

- NOTES**
- FOR GENERAL NOTES, SCHEDULE AND DETAIL REFER TO SHEET S-1.0
 - CENTERLINE OF COLUMNS AND/OR WALL SHALL COINCIDE WITH THE CENTERLINE OF BEAMS AND/OR FOUNDATIONS BELOW.
 - CENTERLINE OF BEARING WALL OR COLUMN BELOW IS CENTER LINE OF WALL OR COLUMN THIS LEVEL UNLESS OTHERWISE NOTED.
 - COORDINATE ALL ROOF SLOPES AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
 - FOR EXACT LOCATION OF ANY OPENING AND/OR EQUIPMENT, COORDINATE WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
 - FOR NON-LOAD BEARING MASONRY WALLS AND/OR PARTITIONS, REFER TO ARCHITECTURAL DRAWINGS.
 - TOP OF NEW ISOLATED FOOTING SHALL BE MIN. 1'-0" UNDER GROUND LEVEL.

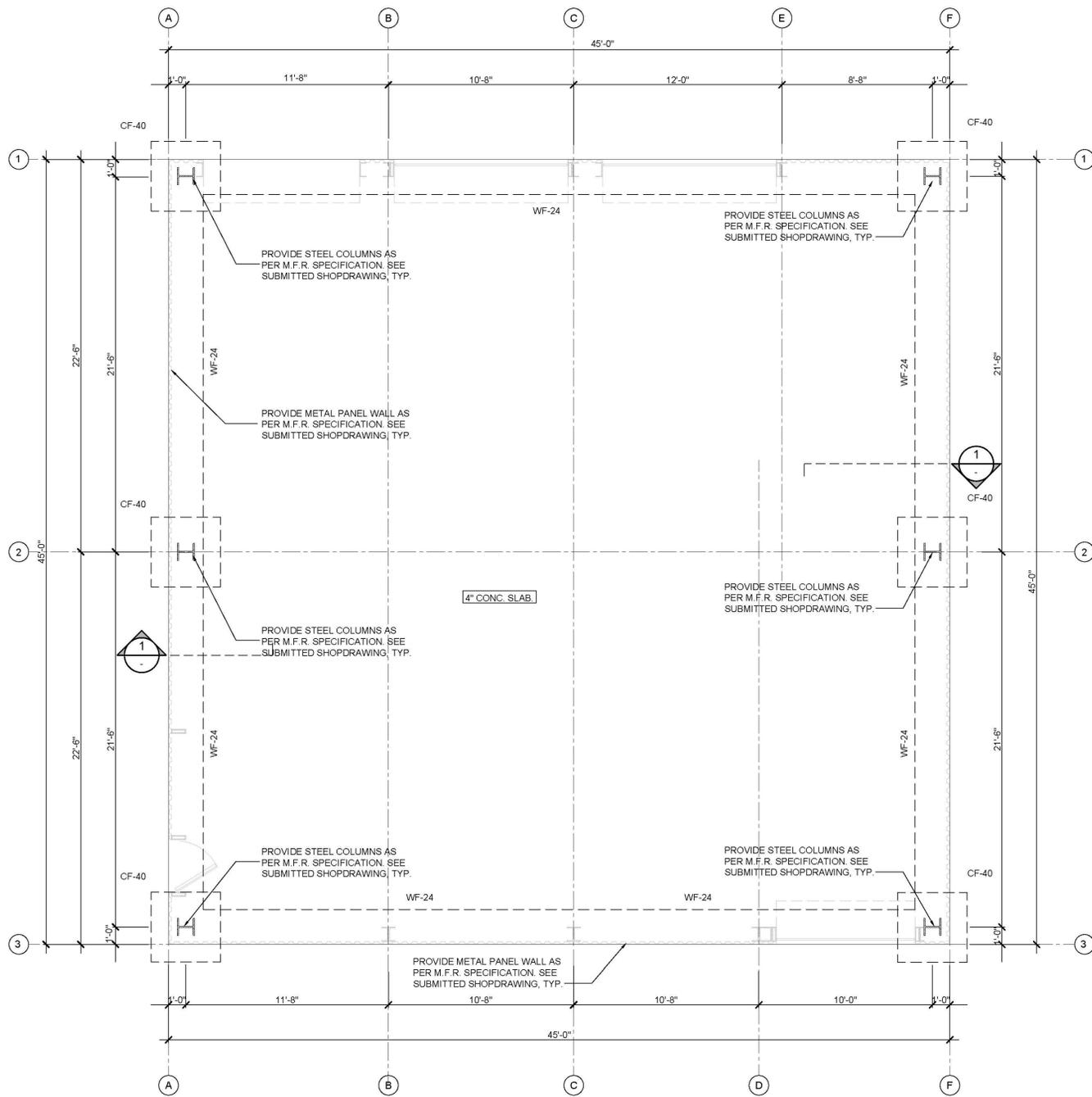


DETAIL B
3/4" = 1'-0"

LEGEND:

	DENOTES OUTLINE OF NEW FOOTING.
	DENOTES OUTLINE OF NEW CONC. SLAB.
	DENOTES OUTLINE OF NEW METAL PANEL WALL.
	DENOTES NEW STEEL COLUMN, SEE SHOP DRAWING.

SOIL STATEMENT
PLEASE BE ADVISED THAT THE UNDERSIGNED HAS PERFORMED A VISUAL INSPECTION OF THE SOILS UNDERNEATH THE PROPOSED FOUNDATIONS AND SAID FOUNDATIONS WILL BEAR IN CORAL ROCK BASED ON OUR OBSERVATIONS, IT IS OUR OPINION THAT THE EXISTING SOILS WILL SAFELY SUPPORT THE ASSUMED SOIL BEARING CAPACITY OF 2000 PSF.



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



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Date: 2023.05.03 18:06:40 -04'00'

CONSULTANTS:
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